



# SACKVILLE DEVELOPMENT

Image: Concept Rendering Only by Nuvo Architects

## CONSTRUCTION MANAGEMENT PLAN

1108 & 1132 Sackville Drive,  
Middle Sackville, NS

Prepared By Lindsay  
Construction

Revision 1 – December 2023



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## Section 1 – Introduction

### Section 1.1- Project Description and Objectives

Marchand Developments has engaged Lindsay Construction as the Construction Manager to lead the proposed multi-unit residential developments located at 1108 and 1132 Sackville Drive

The Sackville Drive Multi-Unit Residential Development consists of two 50-unit buildings, four stories, with a single level of underground parking and outdoor parking spaces in each building. The design includes one-bedroom, two-bedroom, and two-bedroom plus den units that range from 818 sf to 1001 sf, and indoor and outdoor amenity spaces.

The purpose of the CMP is to help mitigate impacts of the development to the surrounding community/ The CMP is intended to evolve as required and any changes will be submitted to HRM in the form of a CMP Change Request. The CMP document was prepared in coordination with Lindsay Construction (Construction Manager), the developer (Marchand Developments), the Civil Engineer (KVM Consultants), the Prime Consultant (Nuvo Architects), and a certified traffic control company following HRM's CMP (2020) guidelines and administrative order (2018-005-ADM).

A current approved version of the CMP will always be kept on site for reference during construction. Lindsay Construction will ensure the CMP is followed and all contractors are aware of the document and requirements.

Section 1.2- Project Contact Information

Role	Name	Contact	Address	Phone
Developer	Marchand Developments	Jeff Marchand	P.O. Box 404 Lower Sackville, NS B4C 2T2	902-225-4662
Construction Manager	Lindsay Construction	Danny Foran	105-134 Eileen Stubbs Ave, Dartmouth NS B3B 0A9	902-441-9815
Construction Coordinator	Lindsay Construction	Sami Farah	105-134 Eileen Stubbs Ave, Dartmouth NS B3B 0A9	782-640-7358
Traffic Control Company	Frontline Traffic Services	Phil Pruneau	6 Belmont Ave, PO Box 89, Eastern Passage NS B3G 1M7	902-818-5548

## Section 2- Construction Schedule and Logistics

The following is a summary of the proposed project schedule assuming all issuance of all permits. The total duration of the project is anticipated at 24 months.

### Section 2.1- Schedule

Project Phase	Duration	Start Date	Finish Date
Excavation	4 months	January 2024	April 2024
Substructures	2 months	April 2024	June 2024
Superstructures	6 months	May 2024	December 2024
Exterior Framing	6 months	July 2024	January 2025
Windows & Cladding	6 months	January 2025	September 2025
Interior Finishes	6 months	June 2025	January 2026
Flat works	1 month	September 2025	October 2025
Service Installs	0.5 months	May 2024	June 2025

### Section 2.2 - Work within the Public Right-of-Way

Work within the right-of-way will include main service connection tie-ins. A Right-of-Way Development Permit will be obtained prior to commencement of any work. Work will be completed as per HRM By-laws and Municipal Guidelines, and will acknowledge the below conditions:

- Peak hour restricted (no on street work between 7-9am or 4-6pm on weekdays).
- Always maintain two lanes of vehicular traffic.
- Altered center line required. Traffic Authority approval for centerline not required because speed limit is 50km/hr (not >50km/hr).
- Minimum narrowed lane width shall be 3.0m to accommodate busses.
- Always maintain one sidewalk (either side of the road). Sidewalk barricades to include signage “sidewalk closed up ahead – cross here”.
- Contact HRM a minimum of 5 days prior to commencement of any work to notify them of plan.
- Hand-delivered notices to affected property owners within 30m (100ft) of planned work.

### Section 2.3 - Hours

Construction work will generally take place during normal working hours 7:00am-5:00pm, Monday-Friday.

We will ensure adherence to HRM’s Noise By-Law and Traffic Control Manual Supplement, as follows:

Monday to Friday	7:00am-9:30pm
Saturdays	8:00am-7:00pm
Sundays & Statutory Holidays	9:00am-7:00pm
Service Installs	Noted above

Work outside these hours is not expected, but if for any unforeseen reason is required, we will apply to HRM for approval at least 5 business days in advance.

## Section 3- Relevant Regulations & Guidelines

### Section 3.1- Occupational Health and Safety Regulations

Lindsay Construction has a stringent safety program that is followed for all projects and put in place by the Safety Department. Including site hazard assessments, weekly safety site visits, reporting, tool box talks, safety meetings, and safety documentations and records. All trade contractors are also responsible for following and providing all required documentation to adhere to the Lindsay Construction Safety Program. In addition to the Lindsay Construction Safety program, all applicable Provincial and Federal Occupational Health & Safety Regulations will be met. At a minimum, this includes adherence to:

- a. National Building Code of Canada, as adopted and modified under the Building Code Act and the NS Building Code Regulations made under that Act;
- b. Nova Scotia occupational Health & Safety Act, and the NS Occupational Safety General Regulations made under that Act;
- c. The Transportation Association of Canada (TAC)'s Manual of Uniform Traffic Control Devices for Canada (MUTCDC); and
- d. Nova Scotia Temporary Workplace Traffic Control Manual (NSTCM)

### Section 3.2- Municipal Regulations and Guidelines

The CMP will be utilized in agreement with and meet the standards of all relevant municipal by-laws including, but not limited to:

- a. S-300 Streets;
- b. E-200 Encroachments;
- c. B-201 Building;
- d. N-200 Noise;
- e. T-600 Trees;
- f. S-900 Controlled Access Streets;
- g. T-400 Truck Routes;
- h. W-101 Discharge into Public Sewers;
- i. B-600 Blasting;
- j. HRM TCM Supplement;
- k. L-400 – General Permit for Grade Alteration
- l. G-200 Grade Alteration and Stormwater Management;
- m. Admin Order 2018-005-ADM regarding encroachments;
- n. Admin Order 2020-010-OP regarding stormwater management standards for development activities
- o. HRM Design Guidelines and Standard Details



## Section 4- Vehicle and Pedestrian Management

In advance of any construction activities on site, all temporary workplace traffic & pedestrian control devices and signage will be in place as per NS Temporary Workplace Traffic Control Manual (latest edition). The Traffic Control Company will install the signage and maintain it throughout construction. Refer to Appendix A for TCPs.

### Section 4.1- Vehicular Traffic Control

All Traffic Control Plans are provided in Appendix A. Traffic Control will be required during any street closures, specifically during service installations.

#### Section 4.1.1- Payment of Applicable Fees

Payment of all applicable fees will be made in accordance with HRM Administrative Order 15. Requests for lane and street closure will be submitted to HRM at least 5 days prior to the proposed work.

#### Section 4.1.2- Vehicular Hazard Assessment

Refer to Appendix I for vehicular and hazard assessment information.

#### Section 4.1.3 – Traffic Control Plan Preparation and Monitoring

All construction phases were considered when preparing the TCPs. The TCPs were prepared in accordance with the TAC Manual of Uniform Traffic Control Devices, the NSTIR Temporary Workplace Traffic Control Manual, and the HRM Traffic Control Manual Supplement. The TCPs were prepared by Frontline Traffic Control Services, a certified temporary workplace signer.

#### Section 4.1.4 – Notification of Traffic Closures

HRM and the public will be notified of any traffic closure as outlined in Section 8.3.

#### Section 4.1.5 – Traffic Control Element Inspection & Maintenance

All TCPs will be implemented by a certified Traffic Control Company (recognized by the NS Department of Transportation and Infrastructure Renewal). Construction warning signage will be placed on all approaches to the site in accordance with the NS Temporary Workplace Traffic Control Manual. The Traffic Control Company will inspect and monitor all devices at the start and end of each workday. See Appendix G for sample inspection sheets.

#### Section 4.1.6 – Changes to Traffic Control Plans

Any changes to TCPs will be sent to HRM for approval at least 10 days prior to the implementation and no change will occur until HRM approval is received.

#### Section 4.1.7 – Emergency Vehicle Access

Emergency vehicle access will be always maintained for the duration of the project. There will be no obstructions to the fire hydrants located on Sackville Drive near existing civic addresses 1108 and 1132 Sackville Drive.

#### Section 4.1.8 – Traffic Control Plans & Haul Route Plan

Refer to Appendix A for all TCPs, Haul Route Plans, Fencing/Hoarding Plans, Service Installation Plans, and Street/Lane Closure Plans.

#### Section 4.1.9 – Haul Route Plan

A Haul Route Plan (HRP) is provided in Appendix A and will be implemented throughout all phases of the development project. The HRP adheres to the HRM Traffic Control Manual Supplement and includes proposed routes which construction and delivery trucks will use throughout the project. Haul Routes will be by streets approved in the HRM Truck Route Bylaw (T-400).

#### Section 4.1.10 – Parking

On-street parking will not be affected by the project.

##### *Section 4.1.10.1 – Contractor Parking*

On site workers will be encouraged to carpool to minimize any parking in the adjacent neighborhoods. Contractor parking will be available on the construction site.

#### Section 4.2 – Pedestrian Management

Pedestrian management and safety are top priority during all phases of the construction project. Sidewalk encroachments were assessed and required only during the service tie-in portion of the project as shown in Appendix B. Site fencing and required hoarding enclosures with anchored gated access will be in place with appropriate signage to secure the construction site from pedestrians.

##### Section 4.2.1 – Bus Stop Relocation

Bus stops will only be relocated during service tie-ins and are noted on the traffic controls plans in Appendix A.

##### Section 4.2.2 – Payment of Applicable Fees

Payment of all applicable fees will be made in accordance with HRM Administrative Order 15 (AO15). Requests for lane and street closures will be submitted to HRM at least 10 days prior to the proposed work.

##### Section 4.2.3 – Pedestrian Hazard Assessment

See Appendix I for Pedestrian Hazard Assessment information.

##### Section 4.2.4 – Pedestrian Management Plan Preparation & Monitoring

Pedestrian Management Plans (PMPs) have been prepared for as required for each project phase. The PMPs have been prepared by Frontline Traffic Services, certifies temporary workplace signer (TWS), Phil Pruneau. The PMPs illustrate the proposed signage to be installed to warn pedestrians of the construction zone. The PMPs and renderings are provided in Section 5.3 and in Appendices A & B.

##### Section 4.2.5 – Notification of Pedestrian Closures

HRM and the public will be notified of proposed pedestrian closures as outlined in Section 8.3. Notification of pedestrian disruptions will be distributed to affected residents and businesses at least 5 days in advance of disruption.

##### Section 4.2.6 – Pedestrian Management Plan Compliance

All PMPs will be implemented and monitored by Frontline Traffic Services. Construction warning signage will be displayed at approaches to the construction zone and the construction site. Frontline Traffic Services will inspect all pedestrian management devices and signage at the start and end of each work day to ensure correctly implemented. Refer to Appendix I for a sample inspection sheet.

#### Section 4.2.7 – Changes to Pedestrian Management Plans

Requests for changes to the PMPs will be sent to HRM for approval at least 10 days prior to the proposed implementation.

#### Section 4.2.8 – Pedestrian Management Plans

Frontline Traffic Services certified temporary workplace signer, Phil Pruneau, prepared the PMPs. All phases of the project have been analyzed and separate PMPs are submitted as required (Refer to Appendix B).

#### Section 4.2.9 – Pre-Project Hazard Assessment

Refer to Appendix I for vehicular and pedestrian hazard assessment information.

Lindsay Construction's safety department also performs a hazard assessment prior to starting each phase of the project and requires each contractor to submit a hazard assessment for their contracted work.

#### Section 4.2.10 – Visually Impaired Persons

Braille text will be provided on all Pedestrian Management Plan Renderings signs. This braille text will assist the visually impaired when navigating the sidewalk areas adjacent to construction site. Section 5.3 and Appendix B provide additional information regarding these signs.

#### Section 4.2.11 – Accessibility

All pedestrian routes shall be barrier-free, utilizing existing curb cuts and sidewalk ramps. Lindsay Construction will ensure all pedestrian routes are always kept clean and clear of any obstructions.

## Section 5 – Construction Site Protection and Hoarding

### Section 5.1 – Site Protection and Hoarding Materials

#### Section 5.1.1 – Concrete F-type Barriers

Not required, as we do not intend to encroach on municipal right-of-way for any phase of the project other than during service tie-ins.

#### Section 5.1.2 – Fencing

Prior to excavation or construction activity, a strongly constructed fence not less than 1.8 m high in accordance with the NSBC shall be erected at all open sides of the site. The site shall be designed to prevent unauthorized access to the excavation and unfinished building during times the site is unattended. The fencing system will be inspected regularly to ensure integrity and a secure site is maintained. Refer to Appendix A for Site Fencing Plans.

#### Section 5.1.3 – Snow Removal

No snow or ice will be dumped from site onto adjacent properties or the municipal right-of-way; all snow will be trucked off site as required to prevent unsafe build-up of snow piles. Snow and ice will be removed as required to ensure emergency access is maintained throughout the project.

#### Section 5.1.4 – Site Lines

Rigid fencing and signage will be placed as per the CMP guidelines, as to not impede site lines of vehicular traffic or pedestrians around a corner of an intersection.

#### Section 5.1.5 – Emergency Access & Egress

The site will be accessed from Sackville Drive through two twelve-foot anchored gates, this will be the only access/egress location for the site and all deliveries will follow this path. The gates will be locked after work hours to maintain a secure site. During work hours, the gates will be unlocked to allow for quick access/egress in case of an emergency. The two gates will be marked with signage to indicate the Entrance and the Exit.

#### Section 5.1.6 – Reinstatement of Public Property

Any damage caused by construction access, damage to sidewalks, curbs, sodding, to the municipal right-of-way will be repaired to HRM standards. No encroachments are intended for the duration of this project. The installation of site services (see Appendix L for site servicing plan) will be completed and the municipal ROW will be repaired to HRM standards.

### Section 5.2 – Site Protection Aesthetics

Pedestrian Management Plan Renderings (see Section 5.3) will provide public with information related to the project and improve the construction site aesthetic. The project site will be kept clean and tidy, regular inspections will be performed to ensure a clean site is maintained along with adjacent areas to the construction site fencing.

### Section 5.3 – Signage

#### Section 5.3.1 – Project Management Plan Renderings

Renderings will be posted at various locations which will provide the public with information of general project details and project contact information.

## Section 6 – Lifting, Hoisting and Crane Operations

### Section 6.1 – Navigation Canada & Transport Canada Regulatory Approvals

A single tower crane will be used for the construction of both buildings. Navigation Canada & Transport Canada Regulatory approvals will be required for this construction project and will be obtained accordingly. Please refer to Appendix I for the Tower Crane Plan.

### Section 6.2 – Operations Above the Public Realm

Loads will never be lifted or suspended over the public realm.

## Section 7 – On-site Conditions

### Section 7.1 – Site Safety and Security

Lindsay Construction's stringent safety program will be always in place and must be followed by all contractors and anyone entering the construction site. At a minimum, all provincial & federal safety codes and regulations will always be followed. All persons entering the site will be required to have a site safety orientation provided by Lindsay Construction and must always wear the proper personal protection equipment (PPE).

A qualified person with certified first aid training will be always on site during the construction of the project. First aid kits and safety boards and stations will be accessible to everyone on the construction site. Signage noting muster points will also be visible on the construction site. Fire extinguishers and burn kits will be always available on site. Safety inspections and reporting will be carried out on a regular basis to ensure all safety elements are always available and in place. All visitors will be required to check in on site and go through the site safety training.

#### Section 7.1.1 – Access & Egress Gates

Signage indicating "Entrance Gate" and "Exit Gate" will be mounted directly on the gates and will be made easily visible.

#### Section 7.1.2- Hazard Warning Signage

Hazard warning signs will be mounted on the gates as well as the site fencing. This signage will warn persons of the hazards and will note that proper personal protective equipment (PPE) is required when entering the site.

#### Section 7.1.4 – Gate Locking, Site Monitoring & Inspections

The gates will remain locked during non-construction hours and ensure all fencing and gates are secure and in place prior to leaving each day. A video surveillance system will be in place during construction to detect any break-ins and ensure the site is continuously monitored. Inspections of the site fencing and hoarding will be done on a regular basis; any deficiencies will be rectified immediately. Inspection reports will document on site.

#### Section 7.1.5 – Hoarding Signage

"No Trespassing – Authorized Personnel Only" signage will be in place at each of the entrances and exits as well as along the site fencing. In addition, PPE requirements signage will be posted along the fencing.

#### Section 7.1.6 – Dangerous Activities

Safety of the public and workers is paramount throughout the duration of construction. All work will follow Lindsay's Safety Program procedures and in accordance with Nova Scotia Occupational Health and Safety Act.

##### *Section 7.1.6.1 – Hot Works*

Lindsay Construction's safety program details hot works procedures to ensure the safety of persons on and off site. All hot works will be performed at least 3m inside the project site boundary and fire extinguishers and first aid kits will be readily available. Hot works will *not* occur near heavy equipment or in the travel route of equipment.

#### *Section 7.1.6.2 – On-Site Smoking*

Two designated smoking areas, with smoking receptacles, will be setup on site, away from all construction activities and personnel. Lindsay Construction and the client have the right to ban all smoking on the construction site if deemed necessary. No smoking or open flames will be permitted near combustible or explosive materials.

#### *Section 7.1.6.3 – Ignition Source Controls*

Any ignition sources will be identified and monitored on the construction site to ensure safety of workers and the public. Material and equipment specifications will be followed during all phases of construction to reduce any risk of ignition.

#### *Section 7.1.6.4 – Storage of Combustible Materials*

All materials and equipment will be safely stored on the construction site and protected to avoid any safety concerns. Storage will be in accordance with the product and equipment specifications.

#### *Section 7.1.6.5 – Waste Management Practices*

Lindsay Construction will ensure a clean and tidy site is maintained as part of the site safety program. All contractors will be required to clean up at the end of each workday to help maintain a clean and hazard free site. Lindsay Construction will perform inspections to ensure a clean and tidy work environment. Garbage & recycling facilities will be available on site for personal garbage. Construction debris bins will also be available on site to maintain a clean environment.

Construction debris chutes will be installed on both concrete superstructure towers with debris bins at the bottom. This will allow for safe disposal of construction debris as the superstructure construction is completed. Each level of the superstructure will have access to the debris chute for safe debris disposal. This measure will help ensure a clean work environment.

#### *Section 7.1.7 – Emergency Contact Information*

Emergency contact information will be posted on PMPRs around the perimeter of the site and adjacent to the site. Refer to Section 5.3.

#### *Section 7.1.9 – Fire Suppression System*

There are fire hydrants located in front of the construction site on Sackville Drive that will remain in place and unobstructed during all phases of construction. The fire hydrant will be always accessible and protected from construction activities.

#### *Section 7.2 – Material Handling, Loading/Unloading, Delivery, and Vehicle Staging*

All site deliveries, loading/unloading will be completed within the construction site. The Haul Route Plan shows the routes for trucks travelling to and from the project site. Refer to Appendix A.

All materials will be stored on site in a safe manner, protected from the weather elements. Any loose materials will be tied down and stored properly to ensure no safety hazards to the public or workers on site.

## Section 7.3 – Environmental Controls

### Section 7.3.1 – Street & Right-of-Way Cleaning

Streets around the construction site will be swept and kept clean of any construction dust or debris as required. Sidewalks will also be swept and kept clean from any construction dust or debris and inspected on a regular basis.

### Section 7.3.2 – Stormwater Management and Runoff Pollution

An engineered sedimentation and erosion control plan will be in place to prevent sediment from entering all adjacent catch basins. In accordance with HRM bylaw W-101, a silt fence system will be installed, along with sediment traps in existing catch basins, and gravel pads at site entrance and exit locations to prevent soil from being tracked off site. The erosion and sedimentation control plan devices will be cleaned and maintained regularly.

A stormwater management plan designed by a civil engineer will be in place and in accordance with HRM bylaw W-101 when dewatering the construction site. Water will be directed to a low point (typically, the elevator pit) to allow sediments to settle out prior to pumping directly into a catch basin that also has a sediment trap for added protection.

### Section 7.3.3 – Noise Pollution

HRM Noise Bylaw (N-200) will be always followed during all phases of the project. No work will take place outside the hours noted in Section 2 of this report.

### Section 7.3.4 – Dust Pollution

### Section 7.3.5 – Emissions Control

All vehicles' engines on site will be turned off, unless otherwise needed for construction activities. No idling will be allowed on the construction site, this will help reduce exhaust emissions. No idling signage will be posted and easily visible when entering the construction site.

### Section 7.3.6 – Rodent Control

Rodent control will not be required for the construction of this project.

### Section 7.3.7 – Light Pollution

Any project site lighting required within the construction zone will be a maximum of 3m above the highest elevation of the structure or excavation and will be directed inwards toward the property.

### Section 7.3.8 – Utility Services

NSPI has been contacted and attended a project startup meeting to review temporary power requirements, disconnects/removals and start planning for the new service. A water permit has been applied for new lateral service tie-ins.



## Section 8 – Community Engagement & Notification

### Section 8.1 – Pre-CMP Community Engagement

The prime consultant (Nuvo Architects) under the direction of the client (Marchand Developments) has been in contact with the local councilor to provide details of the proposed project. The councilor will remain engaged throughout the design and construction of the development and act as a main point of contact for the community. The community engagement requirements have been fulfilled for this application. The owner (Marchand Developments) will implement a website for further project information and details relating to the development. The website will be listed on project signage.

The goal is to work closely with the public to keep the community informed about the project, construction activities and to answer any questions or concerns the public may have. Project contact information will be visible on PMPRs mounted around the construction site as noted in the PMPs (Appendix A) during all phases of the project.

### Section 8.2 – Scheduled Community Engagement

The project website will provide updates on construction activities and overall brief development updates to the community. Important information regarding construction activities that may affect the community will be published on the website. Refer to Appendix E for a sample Project Update Letter.

### Section 8.3 – Closures Notification Requirements

HRM will be notified in accordance with the HRM Traffic Control Manual Supplement of any street closures or public service interruptions. HRM will be notified at least 5 days in advance with a request for a street closure, no street closures will take place until approved by HRM. The public will be notified at least 5 days prior to the disruption and notifications will be hand delivered. A list of all effectively notified property owners will be kept and available to HRM. Refer to Appendix D for a Draft Notification Letter.

## Section 9 – Permit Notification Requirements

A pre-construction meeting will be coordinated at least 10 days prior to the start of construction activities to review the CMP on site with the following attendees:

1. Construction Manager Representative (Lindsay Construction)
2. An Owner Representative (Marchand Developments)
3. HRM Representative
4. Halifax Water Representative
5. Utility Companies Representatives
6. Community Councilor

## Section 10 – Regulation & Enforcement

Lindsay Construction will ensure the CMP is always implemented during construction and monitor on a regular basis to ensure proper procedures are being followed. Any deficiencies to the CMP will be corrected immediately and any changes will follow the HRM CMP change request process using the CMP Change Request Form in Appendix F. Changes to the CMP will not be implemented until approved by HRM.

Appendix C – Development Information Sign



## Section 11 – Summary

The purpose of the CMP is to mitigate negative impacts to the community, pedestrians, and traffic surrounding the development site and during all phases of the project. The CMP will be used in conjunction with provincial, federal and Lindsay Constructions regulations to carry out a safe and effective construction project.

Refer to Section 1.2 for all project contact details if you have any further questions or comments. Sami Farah at Lindsay Construction can be contacted at any time to discuss details relating to the project or CMP.

## Appendices

Appendix A – CMP Drawings

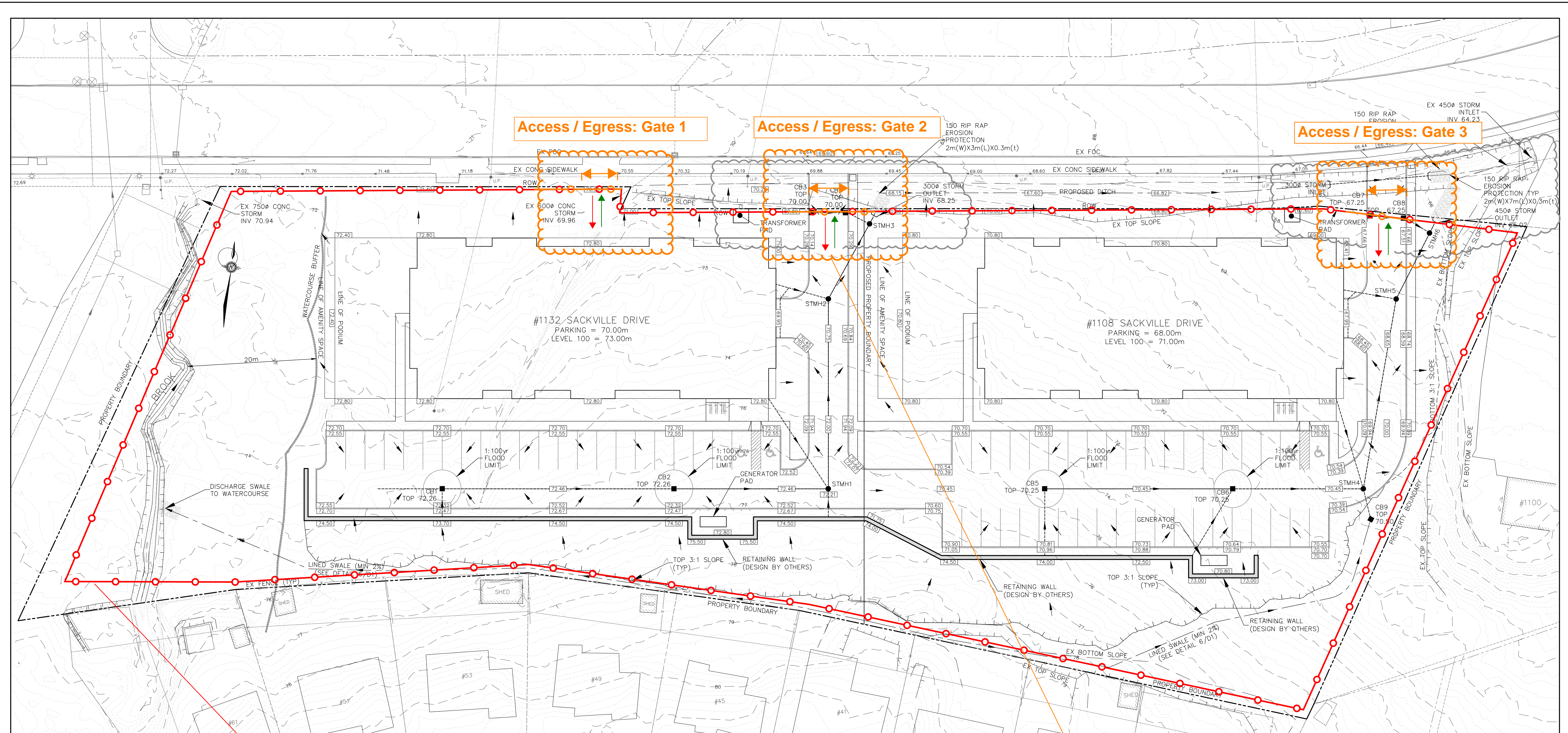
Site Fencing & Hoarding Plan – All Phases

Traffic Control Plan – All Phases

Services Installation Traffic Control Plan

Haul Route Plan – All Phases

# 1108 & 1132 Sackville Drive - Site Fencing Plan - All Phases of Construction



Strongly constructed fence, minimum 1.8m high and in accordance with NSBC.

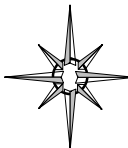
Fencing to be within property line, and will close all sides of the properties.

Gates to be 20' in width, and will be locked during non-construction hours.

Signage to be placed as per CMP.



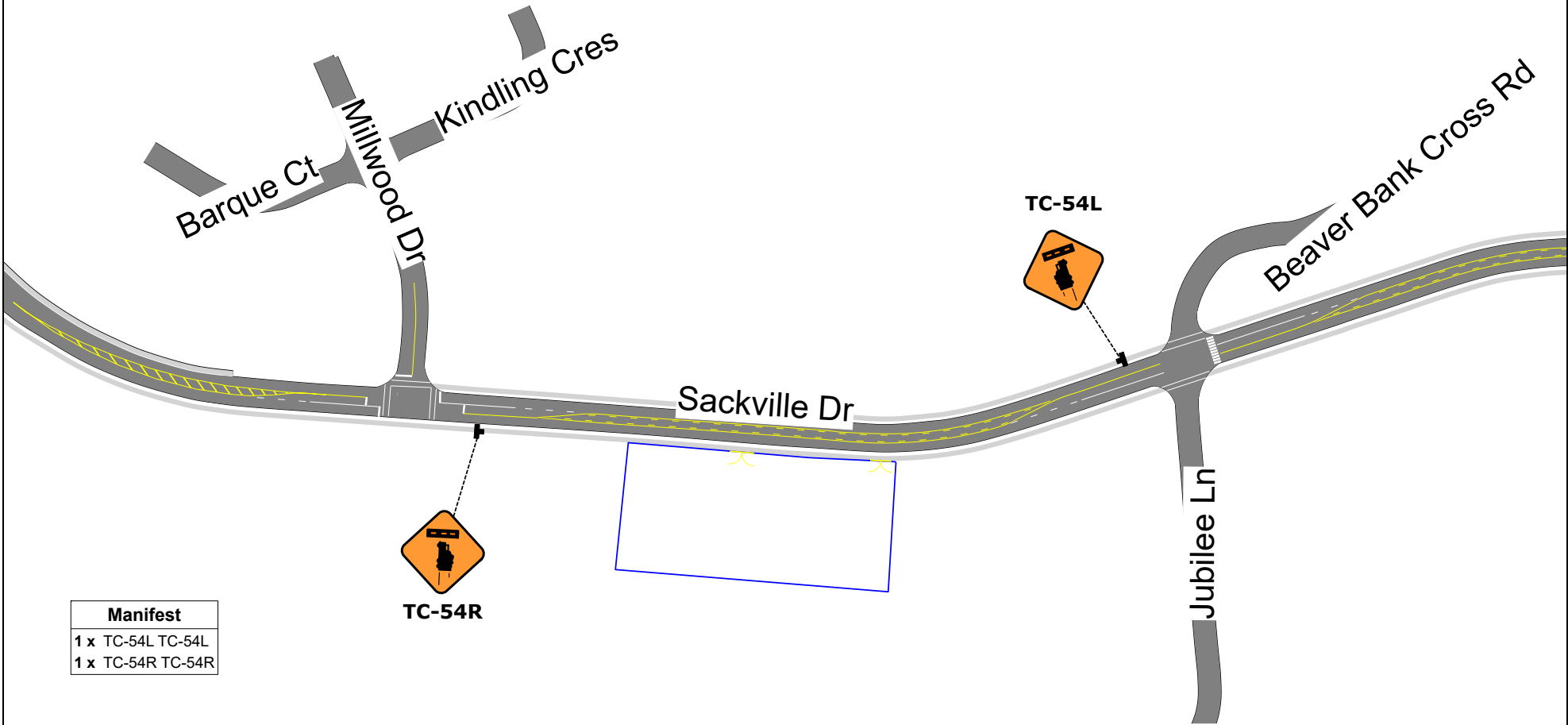
# Encroachment Signage Plan



**Date:** 2023-08-23 **Author:** Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 **Project:** 1108 and 1132 Sackville Dr  
**Contractor:** Lindsay Construction Ltd **Contact:** Sami Farah, 782-640-7358

**Comments:**  
Not to Scale  
Off shoulder work area.  
Sidewalk to remain open unless closure required by construction activities.  
See Pedestrian Management Plan for sidewalk closure details

Legend	
	Gate
	Perimeter Fencing



Manifest
1 x TC-54L TC-54L
1 x TC-54R TC-54R



# Southside Lane Closure Plan

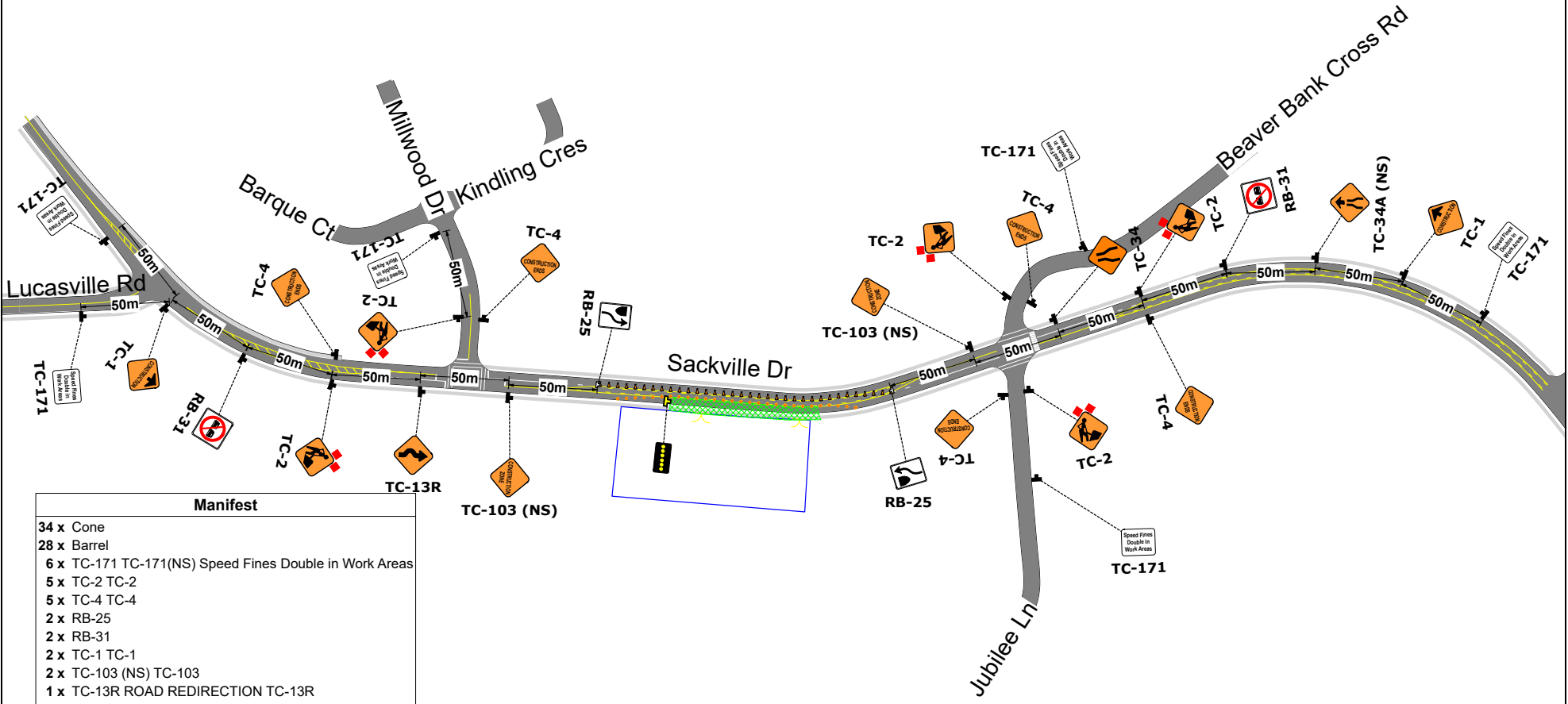
**Date:** 2023-08-23 **Author:** Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 **Project:** 1108 and 1132 Sackville Dr  
**Contractor:** Lindsay Construction Ltd **Contact:** Sami Farah, 782-640-7358

**Comments:**

Not to Scale  
Application Guides A48 and B23 Blended  
Signing procedure: 13.5.14  
Delineation procedure: 13.5.18  
See Pedestrian Management Plan for sidewalk closure details

**Legend**

- Barrel
- Cone
- Gate
- Perimeter Fencing
- Work Area



Manifest	
34 x	Cone
28 x	Barrel
6 x	TC-171 TC-171(NS) Speed Fines Double in Work Areas
5 x	TC-2 TC-2
5 x	TC-4 TC-4
2 x	RB-25
2 x	RB-31
2 x	TC-1 TC-1
2 x	TC-103 (NS) TC-103
1 x	TC-13R ROAD REDIRECTION TC-13R
1 x	TC-34 TC-34
1 x	TC-34A (NS) TC-34A

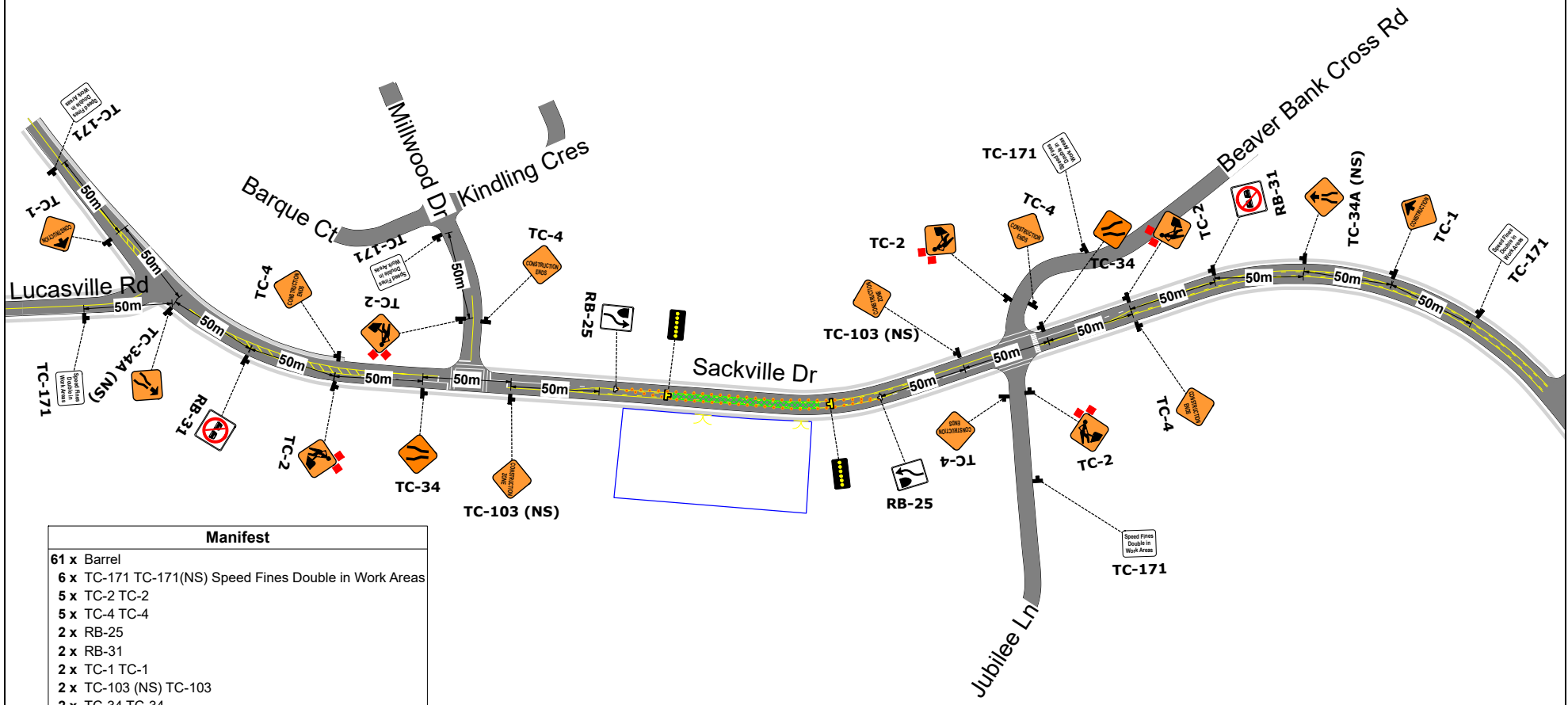


# Center Lane Closure Plan

**Date:** 2023-08-23 **Author:** Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 **Project:** 1108 and 1132 Sackville Dr  
**Contractor:** Lindsay Construction Ltd **Contact:** Sami Farah, 782-640-7358

**Comments:**  
 Not to Scale  
 Application Guides A48 and B23 Blended  
 Signing procedure: 13.5.14  
 Delineation procedure: 13.5.18  
 No Pedestrian Impact Anticipated

Legend	
	Barrel
	Gate
	Perimeter Fencing
	Work Area



Manifest	
61 x	Barrel
6 x	TC-171 TC-171(NS) Speed Fines Double in Work Areas
5 x	TC-2 TC-2
5 x	TC-4 TC-4
2 x	RB-25
2 x	RB-31
2 x	TC-1 TC-1
2 x	TC-103 (NS) TC-103
2 x	TC-34 TC-34
2 x	TC-34A (NS) TC-34A

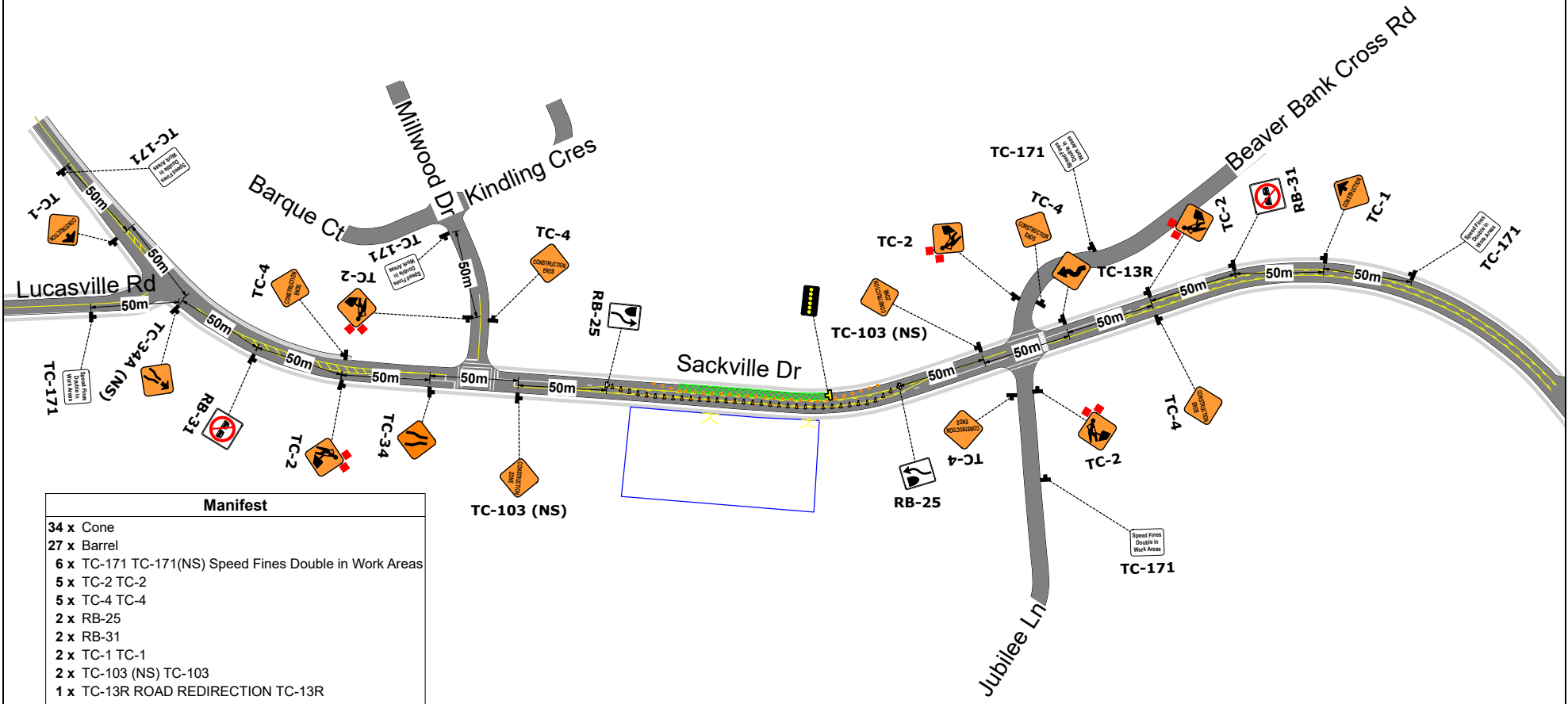
# Northside Lane Closure Plan



**Date:** 2023-08-23 **Author:** Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 **Project:** 1108 and 1132 Sackville Dr  
**Contractor:** Lindsay Construction Ltd **Contact:** Sami Farah, 782-640-7358

**Comments:**  
Not to Scale  
Application Guides A48 and B23 Blended  
Signing procedure: 13.5.14  
Delineation procedure: 13.5.18  
Should be no pedestrian impact

Legend	
	Barrel
	Cone
	Gate
	Perimeter Fencing
	Work Area



Manifest	
34 x	Cone
27 x	Barrel
6 x	TC-171 TC-171(NS) Speed Fines Double in Work Areas
5 x	TC-2 TC-2
5 x	TC-4 TC-4
2 x	RB-25
2 x	RB-31
2 x	TC-1 TC-1
2 x	TC-103 (NS) TC-103
1 x	TC-13R ROAD REDIRECTION TC-13R
1 x	TC-34 TC-34
1 x	TC-34A (NS) TC-34A

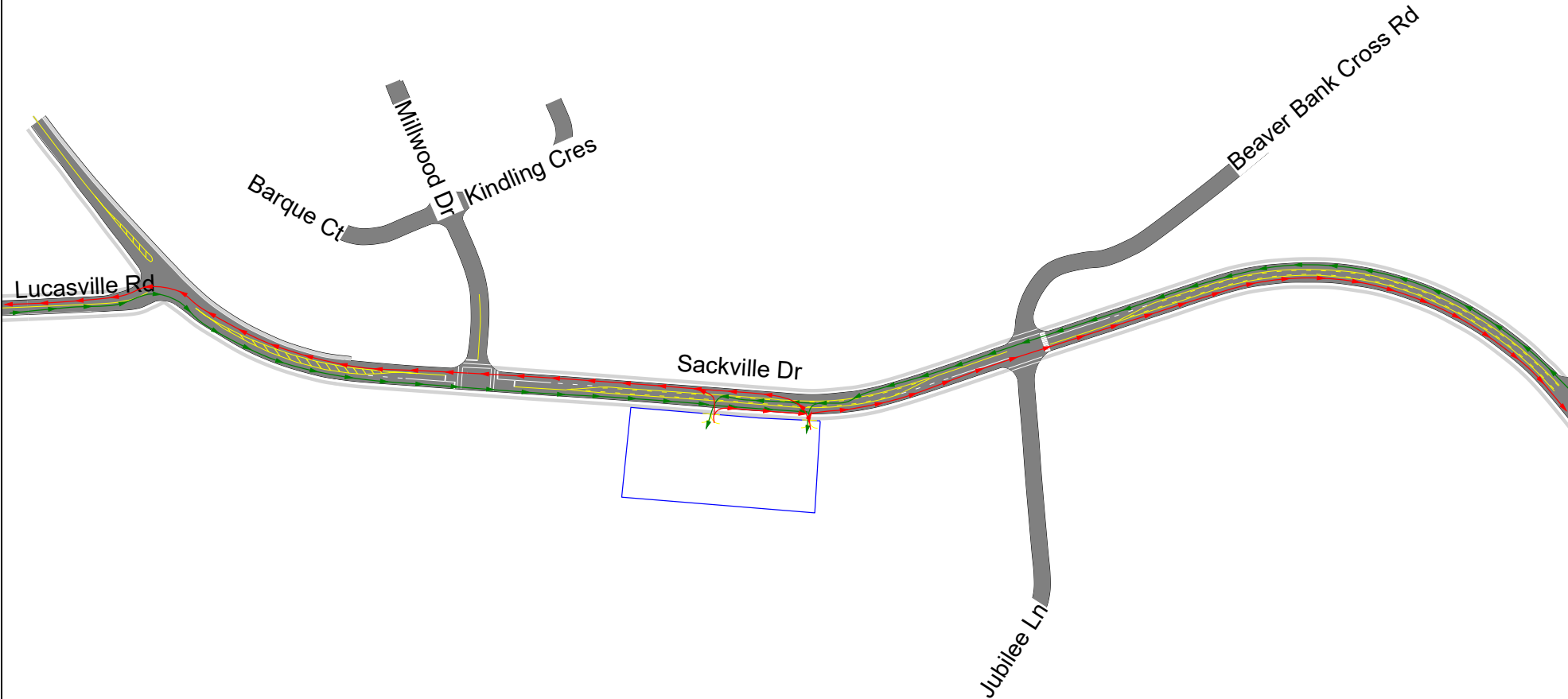
# Haul Route Plan



**Date:** 2023-08-23 **Author:** Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 **Project:** 1108 and 1132 Sackville Dr  
**Contractor:** Lindsay Construction Ltd **Contact:** Sami Farah, 782-640-7358

**Comments:**  
Not to Scale  
Haul route Plan  
Sackville Dr is a Full time Truck Route in this location  
Inbound via Lucasville Rd or via Hwy 101 to Beaver Bank Rd to Sackville Dr.  
Outbound via Sackville Dr to Lucasville Rd or to Beaver Bank Rd

Legend	
	Gate
	Haul route Inbound
	Haul Route Outbound
	Perimeter Fencing



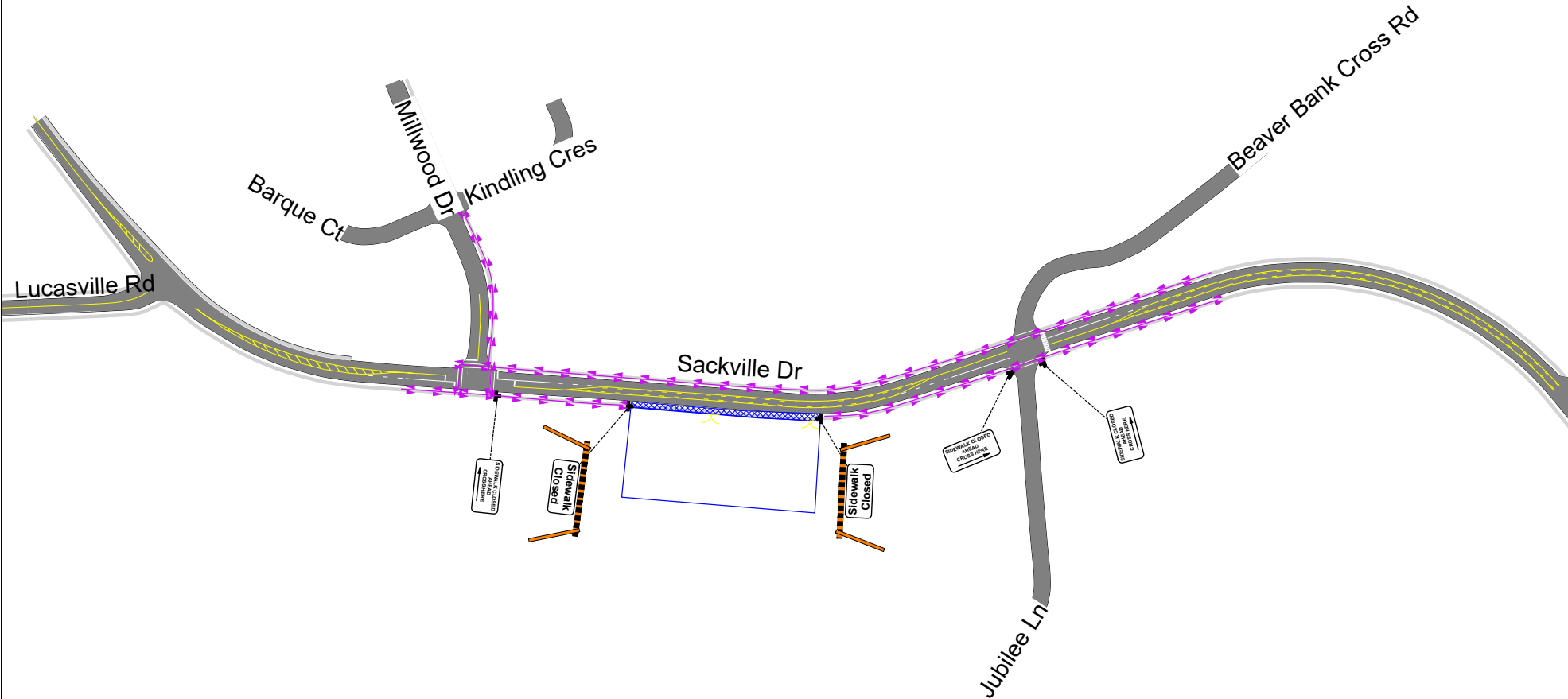
Appendix B – Pedestrian Management Plans

# Pedestrian Management Plan



**Date:** 2023-08-23 **Author:** Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 **Project:** 1108 and 1132 Sackville Dr  
**Contractor:** Value **Contact:** Value  
**Comments:**  
 Not to Scale  
 Pedestrian Management Plan  
 Closure of Sidewalk adjacent to 1108 and 1132 Sackville Dr  
 This plan to be used throughout the development project as required by construction activities. This may include long durations.

Legend	
	Area of Sidewalk Closure
	Gate
	Pedestrian Path
	Perimeter Fencing



Appendix C - Draft Notification Letter



## Residential Development

Draft Notification Letter

Marchand Developments  
P.O. Box 404  
Lower Sackville, NS B4C 2T2  
Jeff Marchand - Developer  
902-225-4662  
Date

NOTIFICATION OF UTILITY DISRUPTION: SACKVILLE DRIVE, MIDDLE SACKVILLE, NOVA SCOTIA

This is to inform you that to facilitate construction operations in association with the Residential Development project, Utility Disruptions will occur on or about DATE with an anticipated duration of approximately TIME.

Should you have any questions or concerns please feel free to contact the below:

CONTACT INFORMATION:  
Construction Manager: Lindsay Construction  
Name Title Number

Lindsay Construction has been retained by Marchand Developments as the Construction Manager to complete work on the Residential Development. Should any questions arise throughout construction, please feel free to contact the undersigned.

Yours Truly,  
Name  
Lindsay Construction



Appendix D – Project Update Letter



## Residential Development

Draft Project Update Letter

Marchand Developments  
P.O. Box 404  
Lower Sackville, NS B4C 2T2  
Jeff Marchand - Developer  
902-225-4662

Date

This is to inform you that construction is ongoing for the Residential Development project. In the past month, the concrete for the second floor was poured and work continued in the interior of the building.

Next month Contractor plans to pour the third-floor concrete. No street or service disruptions are expected at this time.

Should you have any questions or concerns please feel free to contact the below:

CONTACT INFORMATION:  
Construction Manager: Lindsay Construction  
Name Title Number

Lindsay Construction has been retained by Marchand Developments as the Construction Manager to complete work on the Residential Development. Should any questions arise throughout construction, please feel free to contact the undersigned.

Yours Truly,  
Name  
Lindsay Construction

Appendix E - Construction Management Plan Change Request



**1108 & 1132 Sackville Drive Development**

**CONSTRUCTION MANAGEMENT PLAN CHANGE REQUEST**

This is to request a change to the Construction Management Plan for the 1108 & 1132 Sackville Drive development. Lindsay Construction requests the following changes to the Construction Management Plan (CMP) to be reviewed and approved by Halifax Regional Municipality (HRM). These changes are required due to \_\_\_\_\_. The proposed date of implementation for these changes is \_\_\_\_, \_\_\_\_ and are expected to be required until \_\_\_\_, \_\_\_\_\_. These changes will impact traffic and pedestrians in the following ways by \_\_\_\_\_. Please see the attached sketch which outlines the changes being requested.

Should you have any questions or concerns please feel free to contact the below:

**CONTACT INFORMATION:**  
General Contractor: Lindsay Construction  
Contact:  
Ph:

Our company has been retained Marchand Developments as the Construction Manager to complete the development at 1108 & 1132 Sackville Drive. If any questions arise throughout construction, please feel free to contact the undersigned.

Yours Truly,  
Lindsay Construction  
Name

Appendix F - Construction Management Plan Inspection Sheet

Project: \_\_\_\_\_ Location: \_\_\_\_\_ Phase: \_\_\_\_\_ Date: \_\_\_\_\_ Inspector: \_\_\_\_\_

CONSTRUCTION MANAGEMENT PLAN - INSPECTION CHECKLIST								
CMP Element	Set-up per PMP?			Condition?		Action Required	Action Completed	Comments
	Yes	No	N/A	Good	Bad			

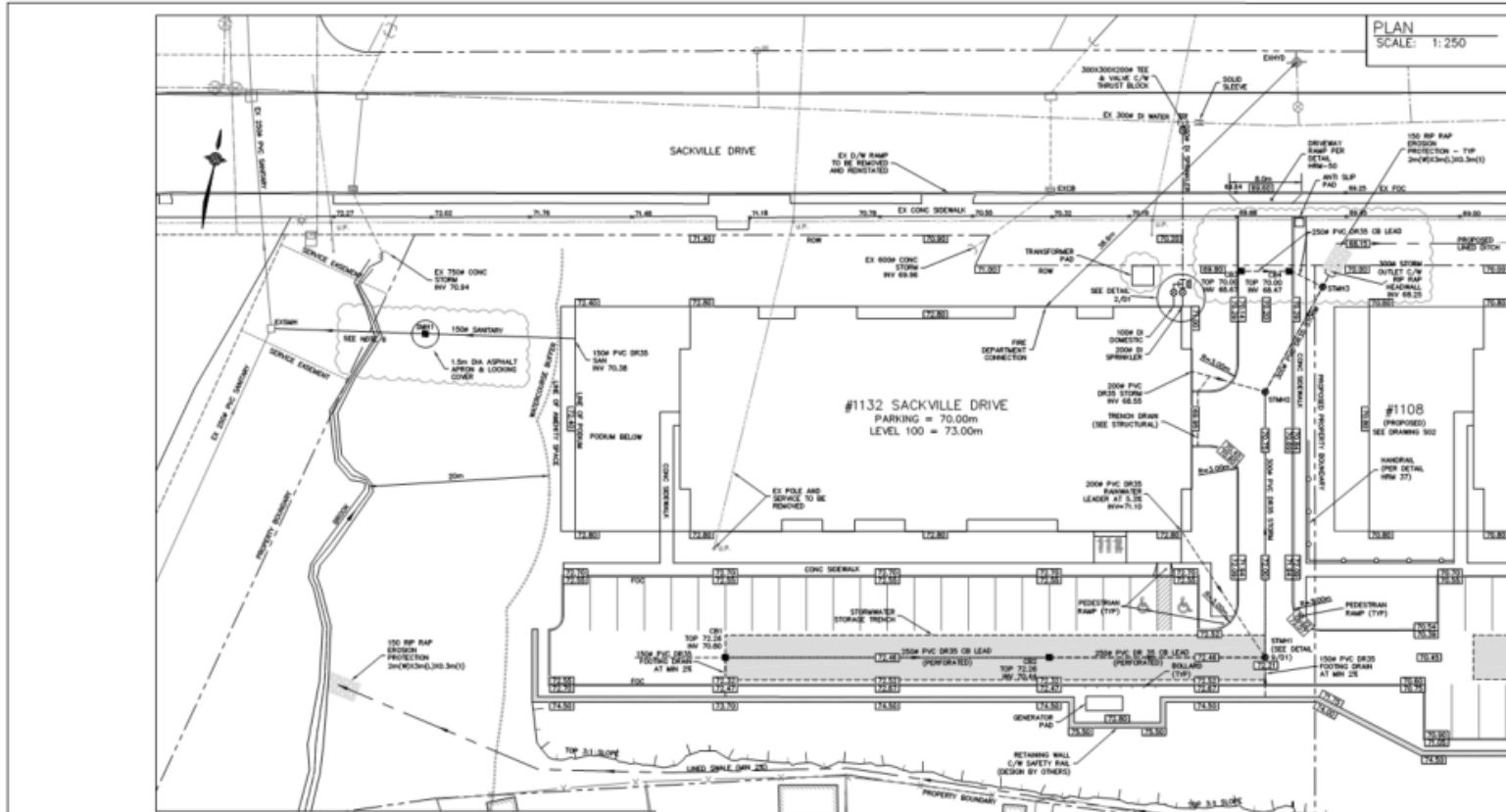
Appendix G - Hazard Assessment

No.	Hazard	Project Phase	Vehicular Impacts	Mitigation Methods	Pedestrian Impacts	Mitigation Methods
1	Snow & Ice Clearing	All Phase	Vehicle weight may surcharge excavation, causing excavation wall failure.	Close sidewalks adjacent to project site, moving vehicles farther away from excavation.	Pedestrians may become stuck in snow or slip on ice.	Fencing around entire project site. The contractor shall remove all snow on temporary sidewalks and shall salt sidewalks to prevent ice buildup.
			Vehicles may become stuck in snow or slip on ice	The contractor shall remove all snow on temporary sidewalks and within the loading.		
2	Construction Waste	All Phase	Vehicles may strike or be struck by construction waste.	The contractor shall keep the project site and surrounding areas clean and free of construction debris.	Pedestrians may strike or be struck by construction waste.	The contractor shall keep the project site and surrounding areas clean and free of construction debris.
4	Vehicular & Pedestrian	All Phase	Drivers and pedestrians may become confused or impatient with construction activities. Pedestrians may walk in unmarked crosswalks or in vehicular travel areas. Drivers may fail to obey traffic signage.	Vehicular and pedestrian signage will be posted prominently around the project site to facilitate pedestrian movement. Notification will be sent prior to all traffic interruptions.	Drivers and pedestrians may become confused or impatient with construction activities. Pedestrians may walk in unmarked crosswalks or in vehicular travel areas. Drivers may fail to obey traffic signage.	Vehicular and pedestrian signage will be posted prominently around the project site to facilitate pedestrian movement. Notification will be sent prior to all traffic interruptions.
3	Heavy Machinery Operation	All Phase	Heavy machinery or vehicles may break down or overturn, damaging other vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site.	Heavy machinery or vehicles may break down or overturn, injuring pedestrians.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery. Rigid fences will be installed to separate construction vehicles from pedestrians.
4 5	Project Site Lines	All Phase	Heavy machinery or vehicles may overturn due to uneven terrain, damaging other vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site and ensure travel routes are kept flat.	Heavy machinery or vehicles may overturn due to uneven terrain, injuring pedestrians. Pedestrians may walk on uneven terrain causing them to twist their ankles or fall.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery and ensure travel routes are kept flat.
			Fences and signs may impact vehicular site line visibility.	Signs will be placed such that they do not extend into vehicle and pedestrian routes.	Fences and signs may impact vehicular site line visibility causing drivers to be unaware of pedestrians.	Signs will be placed such that they do not extend into vehicle and pedestrian routes.
6	Construction Signage	All Phase	Construction signage may strike vehicular traffic.	Construction signage will be securely fixed to existing poles.	Construction signage may strike pedestrians.	Construction signage will be securely fixed to existing poles, temporary concrete sign bases, or rigid fences.
8	Dangerous Materials	All Phase	Flammable, explosive, & hot materials may damage vehicles if not properly maintained & stored.	The contractor will use and store dangerous materials properly as per manufacturers' specifications.	Flammable, explosive, & hot materials may injure pedestrians if not properly maintained & stored.	The contractor will use and store dangerous materials properly as per manufacturers' specifications.
7	Rodent Control Devices	All Phase	Vehicles may drive over and strike rodent control devices.	Rodent control devices will be placed outside vehicular travel ways	Pedestrians may trip over rodent control devices.	Rodent control devices will be placed outside pedestrian travel ways and be securely fixed or weighted to prevent unintended movement.
8	Hoisting Operations	Superstructure	Items hoisted may fall from heights and damage vehicles.	Proper hoisting and lifting techniques will be used to ensure that materials do not fall from heights	Items hoisted may fall from heights and injure pedestrians.	Proper hoisting and lifting techniques will be used to ensure that materials do not fall from heights.
9	Reinstatement of Public Infrastructure & Service Installation	Superstructure	Heavy equipment and hot concrete used during public infrastructure reinstatement and service installation may cause damage to vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site.	Heavy equipment and hot concrete used during public infrastructure reinstatement may injure pedestrians.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery. Sidewalks adjacent to the public infrastructure reinstatement and service installation.
10	Fallen debris	Superstructure	Debris may fall from upper stories of the new building causing damage to vehicles.	A safe distance will be maintained between the building envelope and vehicular traffic.	Debris may fall from upper stories of the new building injuring pedestrians.	A safe distance will be maintained between the building envelope and vehicular traffic.

Appendix H – Site Servicing Plan







**PLAN LEGEND**

EXISTING	PROPOSED
--- (Solid line)	- - - - - (Dashed line)
--- (Dashed line)	- - - - - (Dotted line)
--- (Dotted line)	--- (Long dashed line)
--- (Short dashed line)	--- (Dash-dot line)
--- (Dash-dot-dot line)	--- (Long dash-short dash line)
--- (Thin solid line)	--- (Thick solid line)
--- (Thin dashed line)	--- (Thick dashed line)
--- (Thin dotted line)	--- (Thick dotted line)
--- (Thin dash-dot line)	--- (Thick dash-dot line)
--- (Thin dash-dot-dot line)	--- (Thick dash-dot-dot line)
--- (Thin long dash-short dash line)	--- (Thick long dash-short dash line)
--- (Thin long dash-short dash-dot line)	--- (Thick long dash-short dash-dot line)
--- (Thin long dash-short dash-dot-dot line)	--- (Thick long dash-short dash-dot-dot line)
--- (Thin long dash-short dash-dot-dot-dot line)	--- (Thick long dash-short dash-dot-dot-dot line)

- NOTES**
1. KIM CONSULTANTS LIMITED RESPONSIBILITY IS LIMITED TO THE WATER SERVICE LATERALS, WASTEWATER AND STORM SEWER LATERALS EXTENDING TO THE STRUCTURE REFER TO ARCHITECTURAL DRAWINGS FOR LANDSCAPING, RETAINING WALLS, LANDSCAPE STONE AND RAMP DETAILS.
  2. SEE DRAWINGS D1 AND D2 FOR DETAILS AND DRAWING D11 FOR SITE GRADING AND STORMWATER MANAGEMENT CALCULATIONS.
  3. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR PODIUM LANDSCAPING AND DRAINAGE DESIGN. SEE ARCHITECTURAL DRAWINGS FOR PARKING LAYOUT DETAILS.
  4. EXISTING UTILITY POLES AND GUY WIRES TO BE SUPPORTED FOR HSP REQUIREMENTS.
  5. SEE ELECTRICAL DRAWINGS FOR TRANSFORMER PAD AND GENERATOR PAD REQUIREMENTS.
  6. REMOVE SAN SEWER WITH ONE FULL LENGTH OF 250MM OR 18 PFC PIPE CENTERED UNDER BRICK. COMPLETE WITH LHM SEAL.

No.	Date	Revision	Description	Appr'd
5				
4	23 OCT 23	REVISIONS AS PER HALIFAX WATER	KTM	
3	20 SEPT 23	REVISIONS AS PER HALIFAX WATER	KTM	
2	17 AUG 23	ISSUED FOR TENDER	KTM	
1	14 MAR 23	ISSUED FOR PERMIT	KTM	

**MARCHAND ROMES**

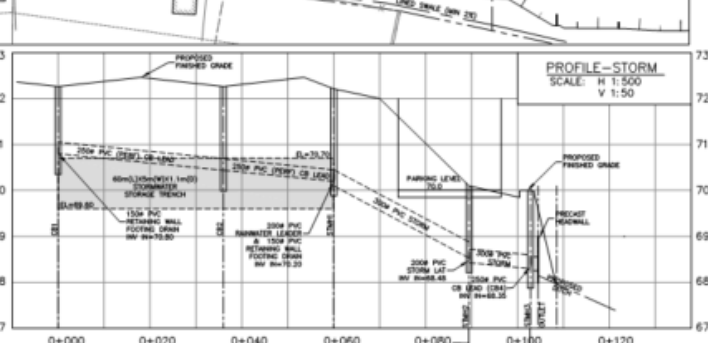
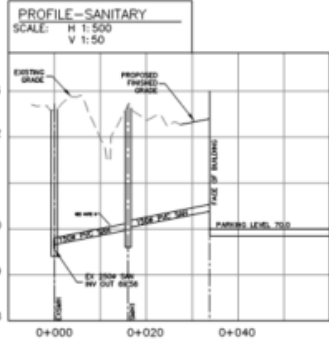
Original Sig  
Original Sig  
Original Sig

31 Campbell Road, Le Sackville, NS  
B0A 1G0  
1-888-828-8888  
www.marchandromes.com

**#1108 & 1132 SACKVILLE DRIVE**  
MIDDLE SACKVILLE, NOVA SCOTIA

**SITE SERVICING PLAN**  
#1132

Date: November 16, 2023	Drawn: STAFF	Project No: 658-4
Title: AS SHOWN	Engineer: KTM	FILE NAME:
Reference:	Approved:	658-4-327.dwg
Surveyed: WSP	Sheet: 001	



SANITARY	300mm Ø SPECIAL GLASS 52	SPRINKLER	200mm Ø SPECIAL GLASS 52
140mm Ø PFC Ø 1.000	SPRINKLER TO AREA C-101	200mm Ø PFC Ø 1.000	SPRINKLER TO AREA C-101
150mm Ø PFC Ø 1.000		200mm Ø PFC Ø 1.000	
150mm Ø PFC Ø 1.000		200mm Ø PFC Ø 1.000	
150mm Ø PFC Ø 1.000		200mm Ø PFC Ø 1.000	

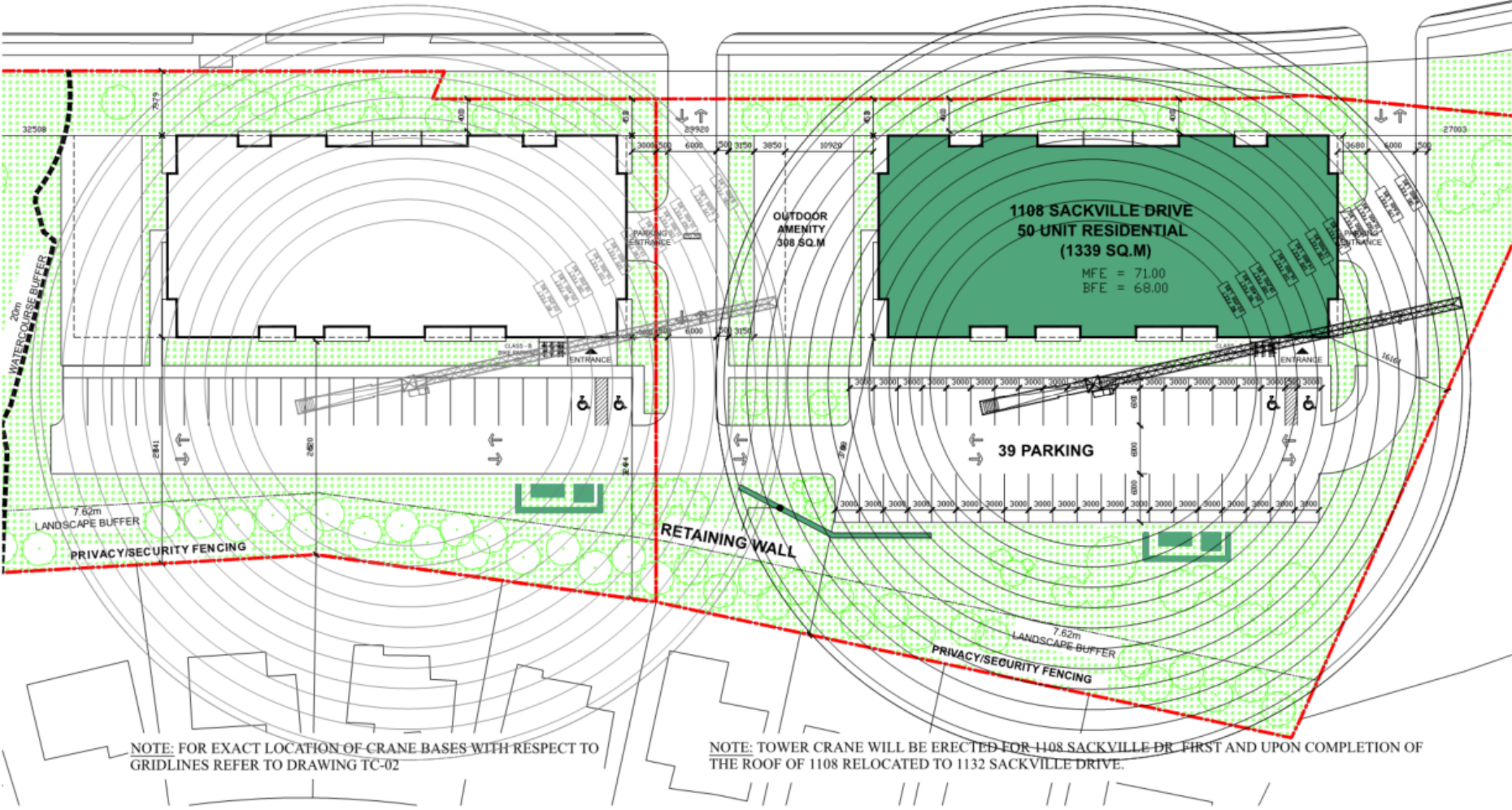
SPRINKLER	200mm Ø SPECIAL GLASS 52
SPRINKLER TO AREA C-101	

STORM	36.0m 250 Dia PFC ØR35	24.0m 250 Dia PFC ØR35	28.5m 300 Dia PFC ØR35	13.5m 300 Dia PFC ØR35	1.8m 300 Dia PFC ØR35
STORM (PROV) AT 1.000	STORM (PROV) AT 1.000	STORM AT 8.325	STORM AT 1.000	STORM AT 1.000	STORM AT 1.000

Appendix I - Tower Crane Plan



SACKVILLE DRIVE

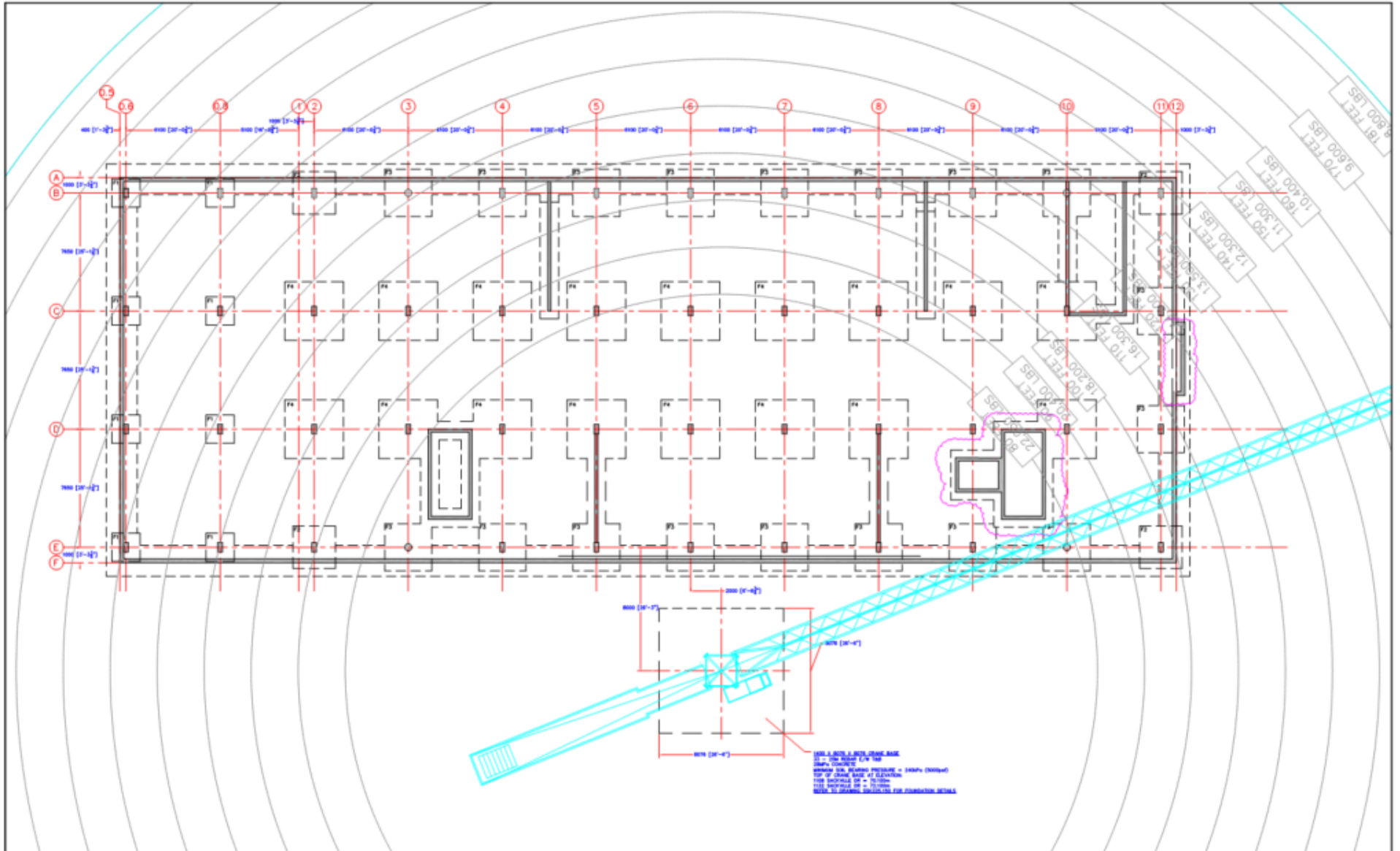


Design By:	OMEGA FORMWORK INC.	Date:	2023-12-01	Revision:	0	Description:	NOT FOR CONSTRUCTION (PROPOSAL ONLY)
Drawn By:	NOAH SALGUERO						

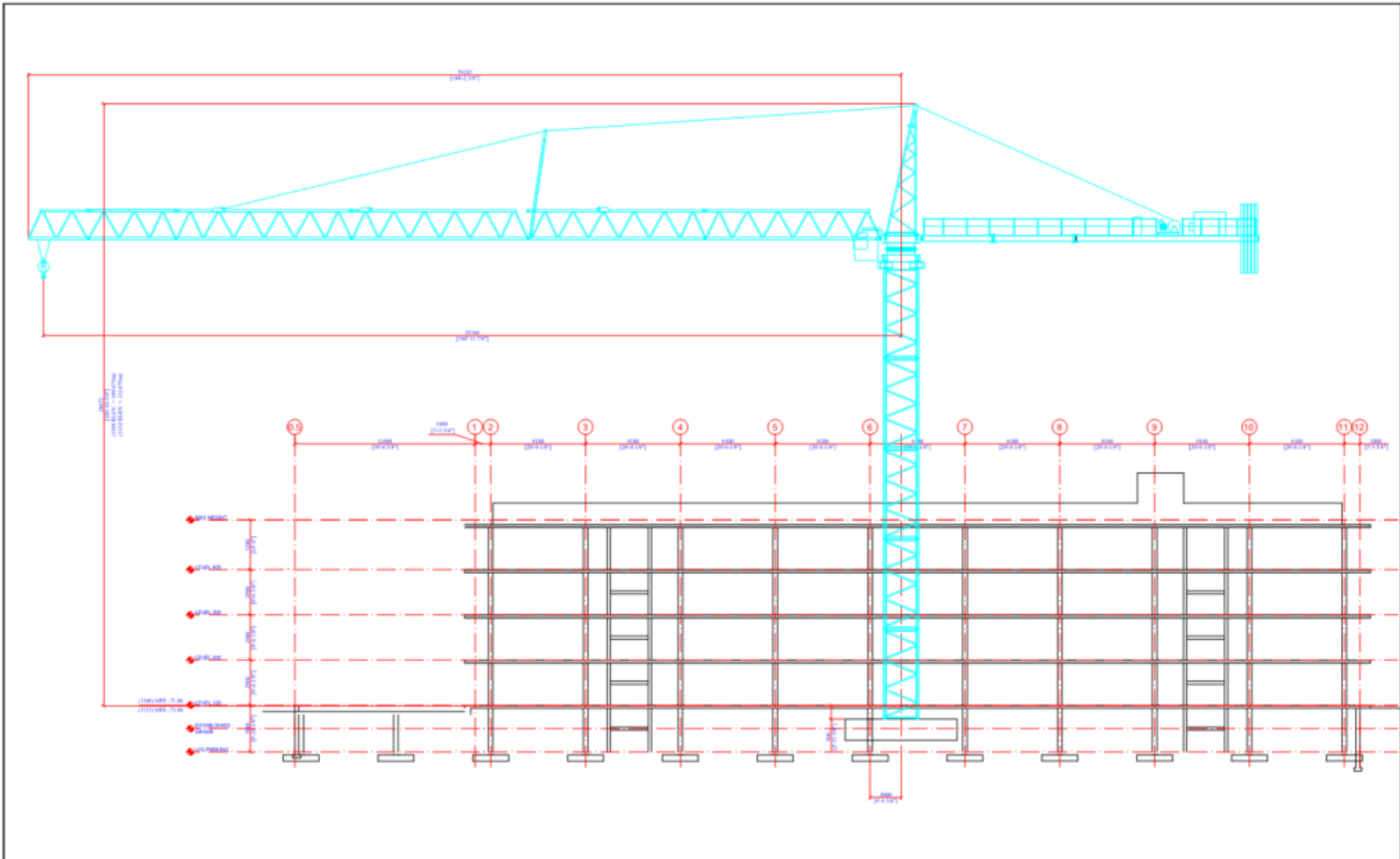
TOWER CRANE SITEPLAN

Project: MARCHAND HOMES MULTI-UNIT RESIDENTIAL BUILDING A (1108) & B (1132)

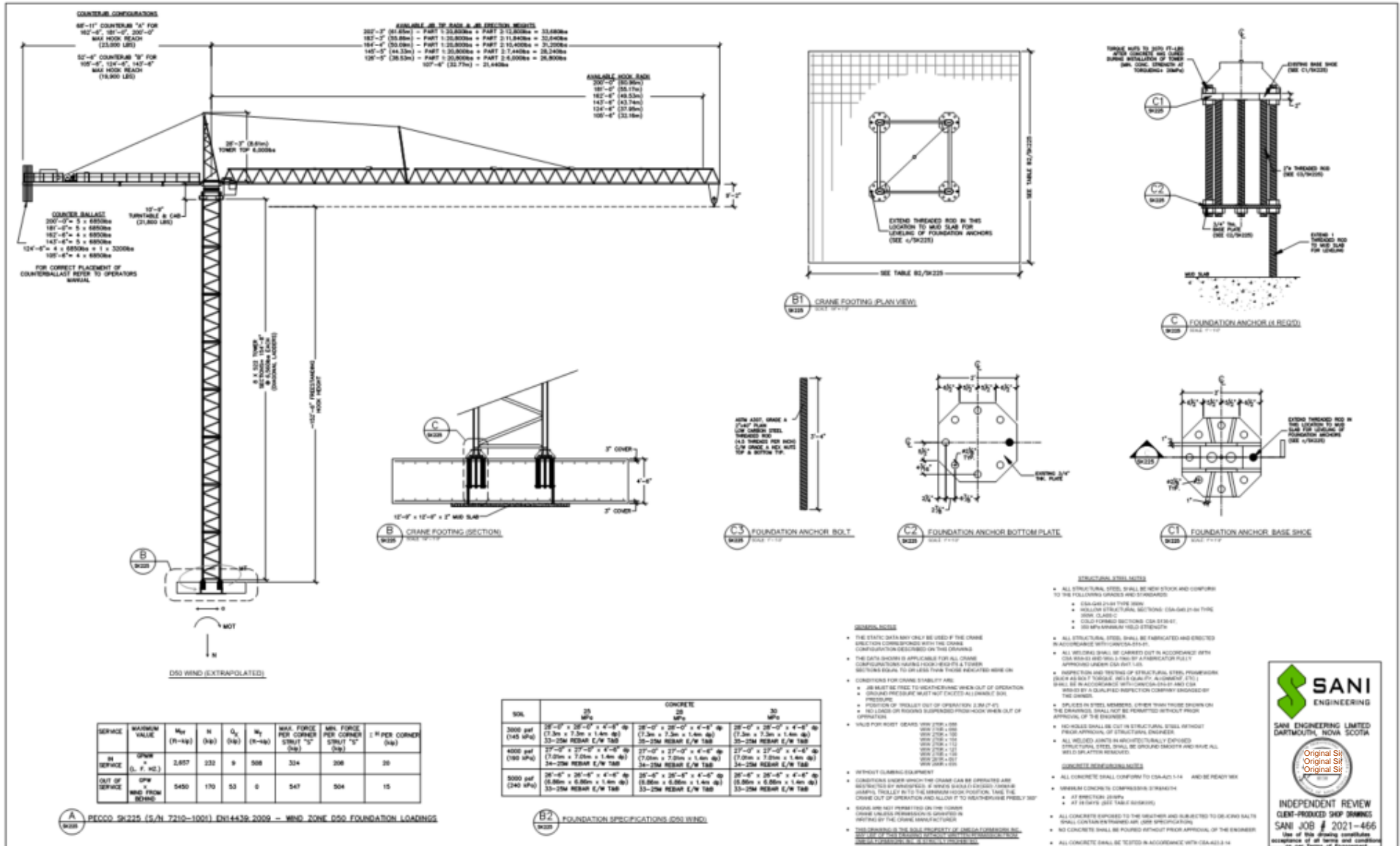
Scale:	NTS
Date:	December 1, 2023
Drawing No.:	TC-01



	Design By:	OMEGA FORMWORK INC.	Date:	2023-12-08	Revision:	0	Description:	NOT FOR CONSTRUCTION (PROPOSAL ONLY)	Title:	TOWER CRANE BASE	Project:	MARCHAN HOMES MULTI-UNIT RESIDENTIAL BUILDING A (1108) & B (1132)	Scale:	1 = 1/8"
	Drawn By:	NOAH SLAGTERO										Date:	December 12, 2023	Drawing No.:



	Design By:	OMEGA FORMWORK INC.	Date:	2023-12-08	Revision:	0	Description:	NOT FOR CONSTRUCTION (PROPOSAL ONLY)	Title:	TOWER CRANE ELEVATION	Project:	MARCHAND HOMES MULTI-UNIT RESIDENTIAL BUILDING A & B	Scale:	1 = 1/8"
	Drawn By:	NOAR SALGUERO											Date:	December 8, 2023
													Drawing No.:	TC-03



SERVICE	MAXIMUM VALUE	$M_y$ (T-14)	$H$ (S-6)	$Q_y$ (S-6)	$M_y$ (R-14)	MAX. FORCE PER CORNER (SPLIT "S") (S-6)	MIN. FORCE PER CORNER (SPLIT "S") (S-6)	[ H PER CORNER (S-6)
IN SERVICE	DNW (L, F, WC)	2,857	233	9	508	324	208	30
OUT OF SERVICE	DNW + WIND FROM WINDING	5450	170	53	0	547	504	15

SOIL	CONCRETE	
	20 MPa	30 MPa
3000 psf (145 kPa)	20'-0" x 20'-0" x 4'-4" @ (7.3m x 7.3m x 1.4m @) 33-25# REBAR E/W TAB	20'-0" x 20'-0" x 4'-4" @ (7.3m x 7.3m x 1.4m @) 33-25# REBAR E/W TAB
4000 psf (190 kPa)	22'-0" x 22'-0" x 4'-4" @ (7.0m x 7.0m x 1.4m @) 33-25# REBAR E/W TAB	22'-0" x 22'-0" x 4'-4" @ (7.0m x 7.0m x 1.4m @) 33-25# REBAR E/W TAB
5000 psf (240 kPa)	24'-0" x 24'-0" x 4'-4" @ (7.3m x 7.3m x 1.4m @) 33-25# REBAR E/W TAB	24'-0" x 24'-0" x 4'-4" @ (7.3m x 7.3m x 1.4m @) 33-25# REBAR E/W TAB

PECCO SK225 (S/N 7210-1001) EN14439-2009 - WIND ZONE D50 FOUNDATION LOADINGS

FOUNDATION SPECIFICATIONS (D50 WIND)

**OMEGA FORMWORK INC.**

Design By:	OMEGA FORMWORK INC.	Date:	APR 16/2021	Revision:	0	Description:	NOT FOR CONSTRUCTION (PROPOSAL ONLY)	Title:	
Drawn By:	Z. HARRISON	Date:	JUNE 21/2021	Revision:	1	Description:	STAMPED BY SANI ENGINEERING (PROPOSAL ONLY)	Title:	

PECCO SK225 (SN 7210-1001)

Project: ALL PROJECTS FALLING WITHIN CANADIAN WIND REGION D/ EUROPEAN WINDZONE D50 AS DEFINED BY CSA 2248-17, CLAUSE 4

SANI ENGINEERING LIMITED DARTMOUTH, NOVA SCOTIA

Original Sit  
Original Sit  
Original Sit

INDEPENDENT REVIEW  
CLIENT-PRODUCED SHEP DRAWINGS  
SANI JOB # 2021-466  
Use of this drawing constitutes acceptance of all terms and conditions on per Terms of Engagement.

SCALE:	AS NOTED
DATE:	JUNE 17, 2021
Drawing No.:	SK225.150