

HALIFAX

Welcome to Tonight's Virtual Meeting!

Meeting will Commence at 6pm

Wednesday, October 20th, 2021

Slide 1

Public Information Meeting for Case 23224

HALIFAX

Development Agreement for the
former Penhorn Mall lands, 535 –
569 Portland Street.

October 20, 2019

Slide 2

Acknowledgements

Slide 3



We are in the Decade for People of African Descent



We are in the Mi'kmaq District of Sipekne'katik, the ancestral and traditional lands of the Mi'kmaq people.

HALIFAX

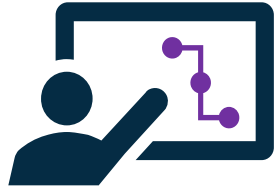
Presentation by HRM Planning Staff

Melissa Eavis, Planner

Slide 4

Agenda for Tonight's Meeting

Slide 5



HRM Planning Staff
Presentation



Presentation by Clayton
Developments



Public Participation:
Questions and Answers

***The website will detail
all status updates for
this application***



***Public feedback will be
collected until November
10th, 2021***

HALIFAX

Introductions

Slide 6

Melissa Eavis – HRM Planner

Carl Purvis – HRM Planning Applications Program Manager

Maggie Holm – HRM Principal Planner

Tara Couvrette – HRM Processing Coordinator

Sam Austin – Councillor

Stephanie Mah, Andrew Bone, Kevin Neatt – Applicant

Purpose of this Meeting

Slide 7

- Share information about the proposal
- Answer your questions.
- Feedback will be collected through the survey and through the planner by email or phone.



*Feedback provided will inform the process and will form part of the public record. **No decisions will be made tonight.***

Role of HRM Staff

- Manage the process of the planning application
- Main contact for the applicant and general public regarding questions, comments or concerns
- Draft reports, negotiate with the applicant and make recommendations to Council



Applicant Proposal

Slide 9

Applicant: Clayton Developments on behalf of property owners, Crombie Penhorn Mall Ltd.

Location: 535 – 569 Portland Street (former Penhorn Mall lands)

Proposal: To redevelop the site as a mixed-use community with apartment buildings, townhouses, new public streets, and parks.



HALIFAX

Site Context

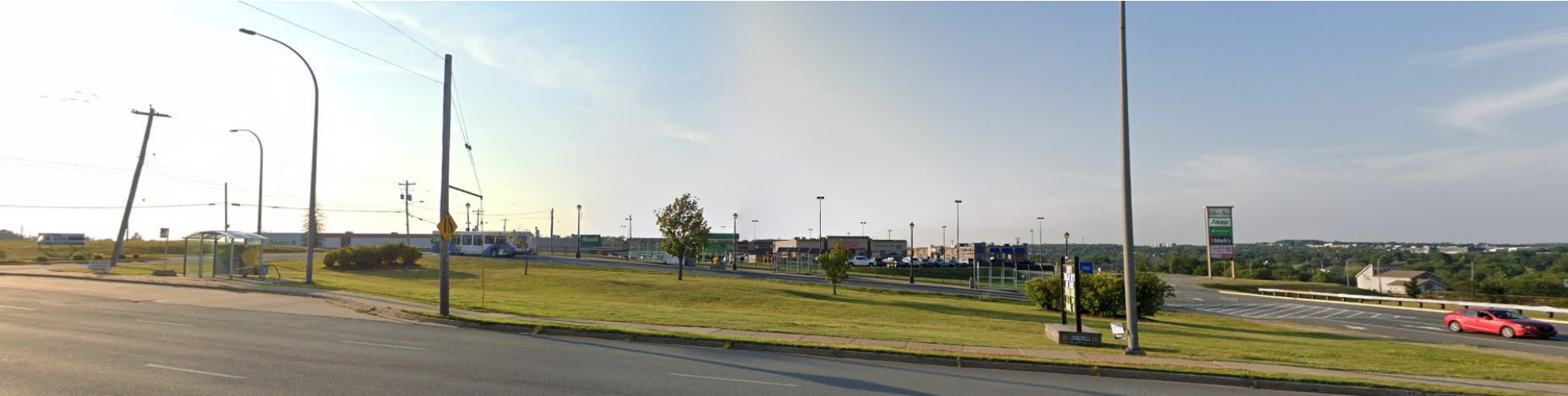


General Site location in Red



Site Boundaries in Red

Site Context/Photos







Site Context/Photos



Proposal

Slide 15

- 8 new development blocks containing 10 buildings, ranging from 3 to 15 storeys
- Approximately 905 residential units and 45 townhouse units
- An active transportation network with a trail next to the Circumferential Highway connecting Penhorn Lake to Portland Street
- A multi-use greenway through the site connecting Penhorn Lake and Brownlow Park



Proposal

Slide 16

- A central public park approximately 2,636 square meters in size
- Ground floor commercial spaces located in Blocks A and B
- New streets and municipal services
- Additional park space and a new surface parking lot for users of Brownlow Park



HALIFAX

Regional Plan & Subdivision Bylaw

Guides where population growth and the investment of services like transit, piped water and sewer should occur

Community Plan

Outlines where and how different types of development may occur. Particular uses may not be permitted in some areas, other uses may only be allowed by going to Council for approval and getting feedback from the community

Land Use Bylaw (Zoning)

Specifies what can be approved without going to Council and engaging with the public

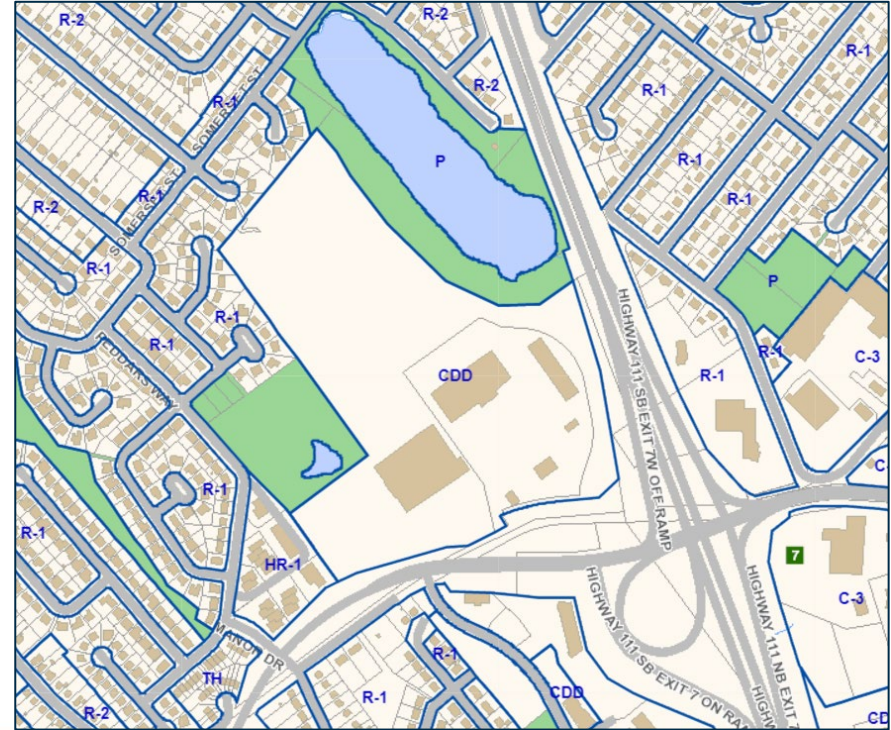
- A development agreement enables construction of a project under local planning policy
- A binding legal contract that clearly establishes standards on matters such as site plan, architecture, landscaping, and infrastructure
- Can be approved by Community Council provided that any development complies with local planning policy

Policy & By-law Overview

Slide 19

Regional Centre Secondary Municipal Planning Strategy – Regional Centre LUB

- **Zone**
 - CDD (Comprehensive Development District) Zone
- **Designation**
 - FGN (Future Growth Node)
- **Existing Use**
 - Commercial / Vacant Lands
- **Enabling Policy**
 - Policy 3.32 – DA policy
 - Policy 3.35 – Site specific



Enabling Policy 3.32:

Future Growth Node DA policy requires Council consider the following in rendering their decision on a Development Agreement:

- Urban Design
- Site specific policies
- Regional Plan Policies
- Subdivision and phasing
- Road network and transit
- Open Space
- Built form as per the LUB
- Identify pedestrian oriented streets, view corridors and view terminus sites
- Wind and Shadow
- Bonus zoning

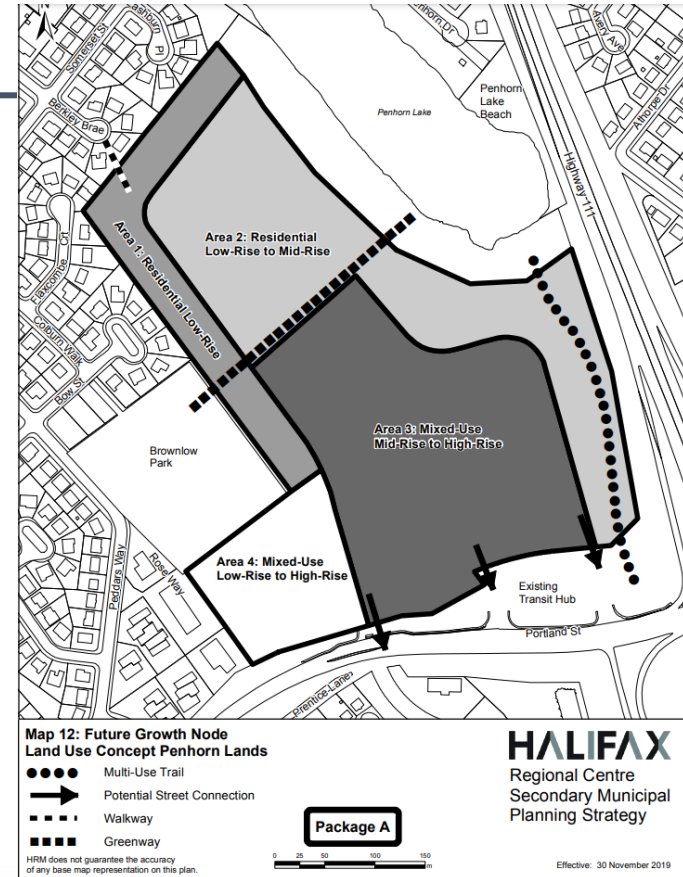
Policy Consideration

Regional Centre Secondary Municipal Planning Strategy

Enabling Policy 3.35: Site specific policies for Penhorn:

1. Consist with Map 12
2. Compact mixed-use neighborhood
3. Environmental protection, water quality, and Urban Forest Master Plan
4. Parks and open space
5. Transportation network prioritizes walking, mobility devices, cycling, and transit

Slide 21



Planning Process

We Are Here



Application Received

Slide 22

HRM Internal Circulation & Review

Public Information Meeting

Plan Revisions & Refinement

Staff Report with Policy
Review and Recommendation

Community Council – Public Hearing

14-day Appeal

Presentation by Applicant

Clayton Development



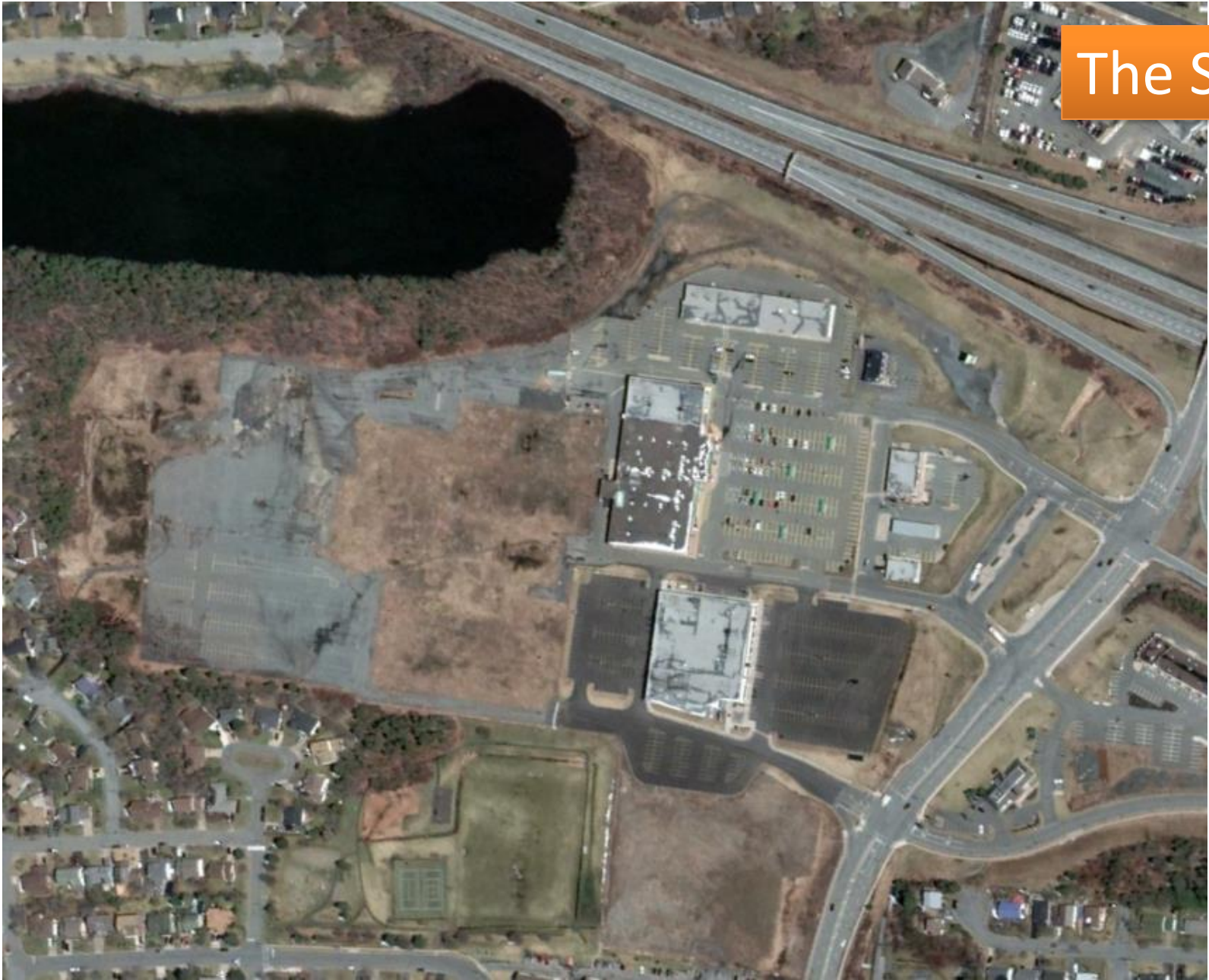
- Clayton Developments Limited is a subsidiary of The Shaw Group.
- Clayton Developments Limited has been operation since 1959.
- To date, Clayton has developed eleven master planned communities throughout Atlantic Canada.
- These communities provide residential homes for over 75,000 people and include over 1.5 million square feet of office space, retail stores, and institutional uses.



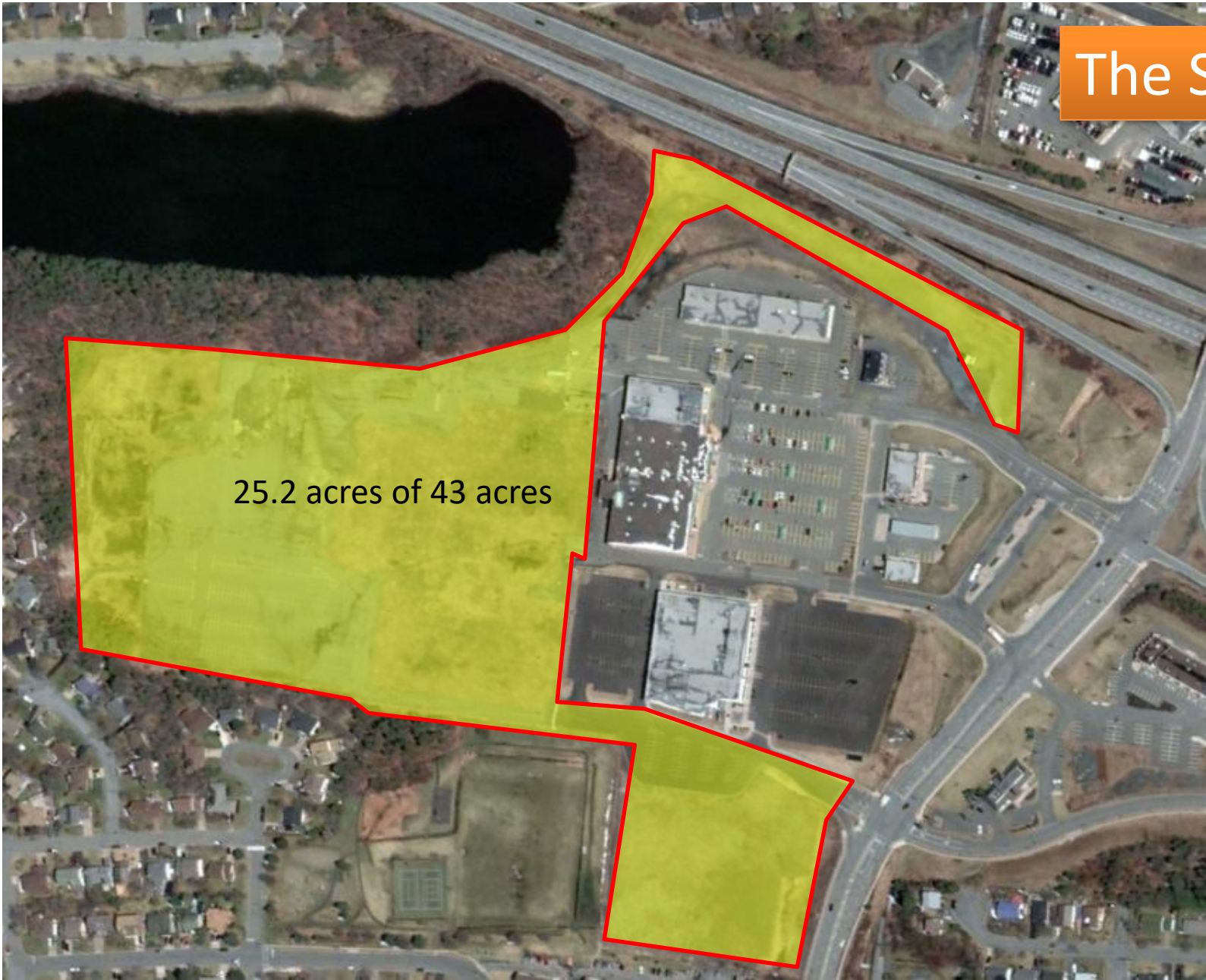
Crombie

- Crombie has owned, operated, and developed real estate since 1964 and enjoys a strategic partnership with Empire Company Ltd. (Sobeys).
- We invest in quality real estate that enhances local communities, and are committed to building spaces where the people who live, work, shop, and play there can thrive.
- Our portfolio includes grocery-anchored, needs-based retail, office, industrial, and residential mixed-use developments across Canada.

The Site



The Site



25.2 acres of 43 acres

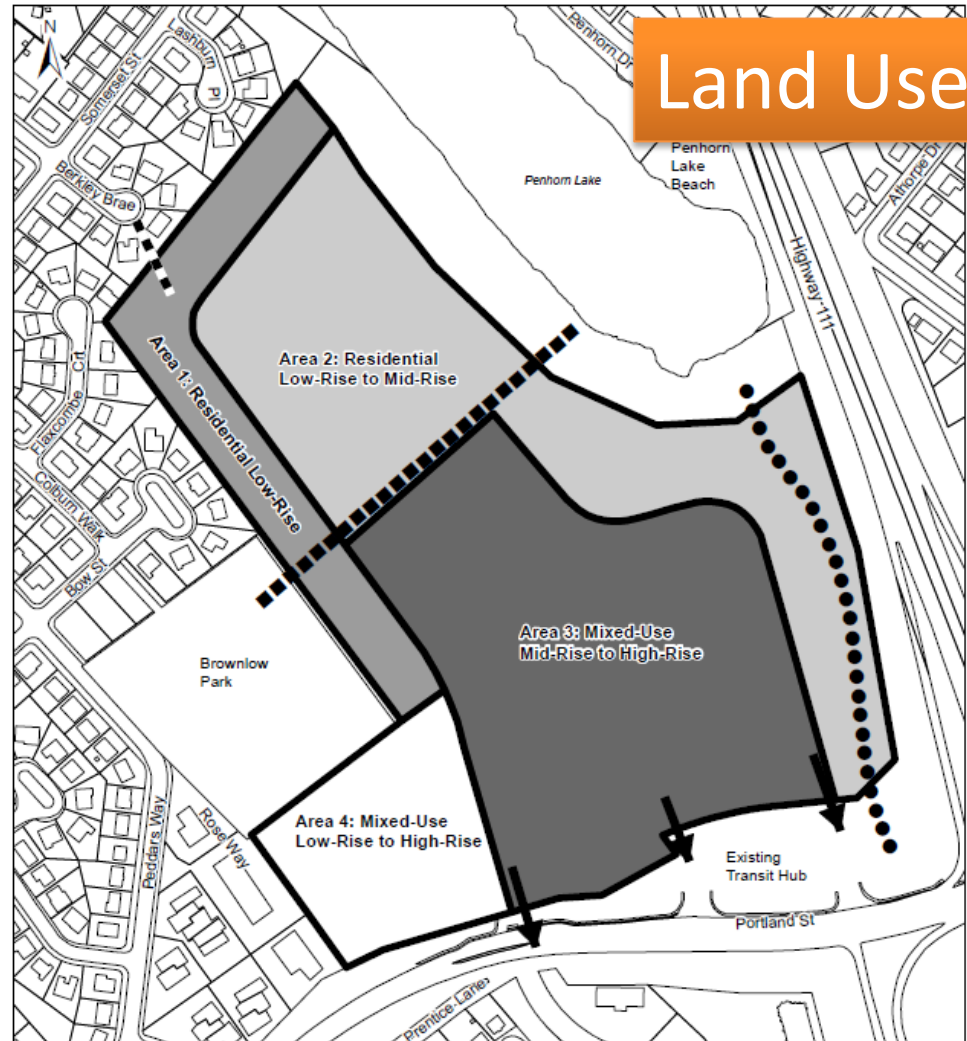
The Centre Plan

Key Policy Items:

- Defined Access
- Transit Oriented
- Approximately 3,500 – 4,000 People
- Four Distinct Development Areas
- Key Connections to Transit Terminal
- Linear Parkland Connection

Our Vision

To create a welcoming, inclusive, accessible, and naturally beautiful multi-residential community, connecting the natural surroundings to the modern comfort of a well designed environment.



Land Use

**Map 12: Future Growth Node
Land Use Concept Penhorn Lands**

- Multi-Use Trail
- ➔ Potential Street Connection
- - - - Walkway
- ■ ■ ■ Greenway

Package A

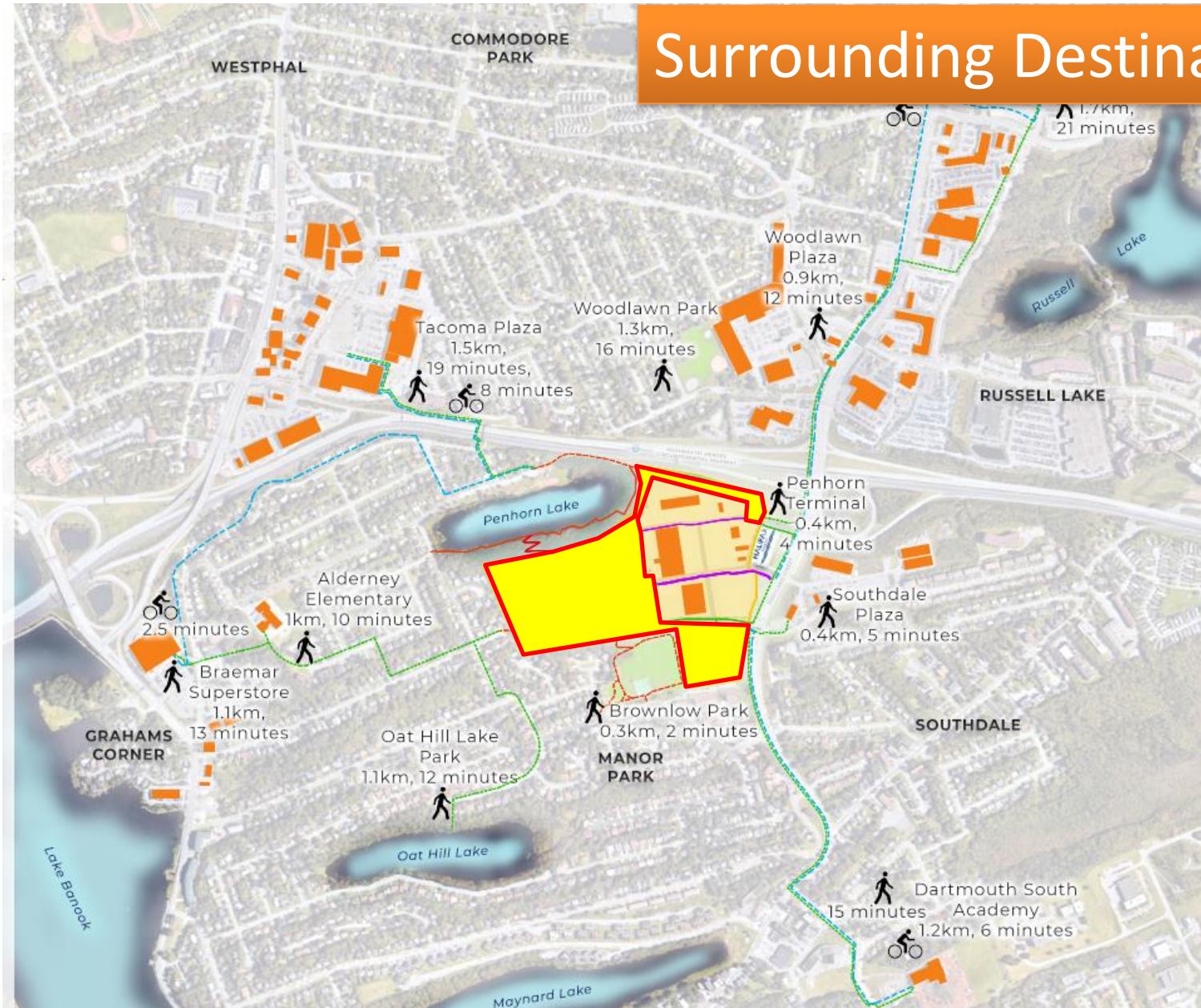
HRM does not guarantee the accuracy of any base map representation on this plan.



HALIFAX
Regional Centre
Secondary Municipal
Planning Strategy

Effective: 30 November 2019

Surrounding Destinations





Pedestrians/Bicycles, etc.

Mark's

GoodLife
FITNESS.

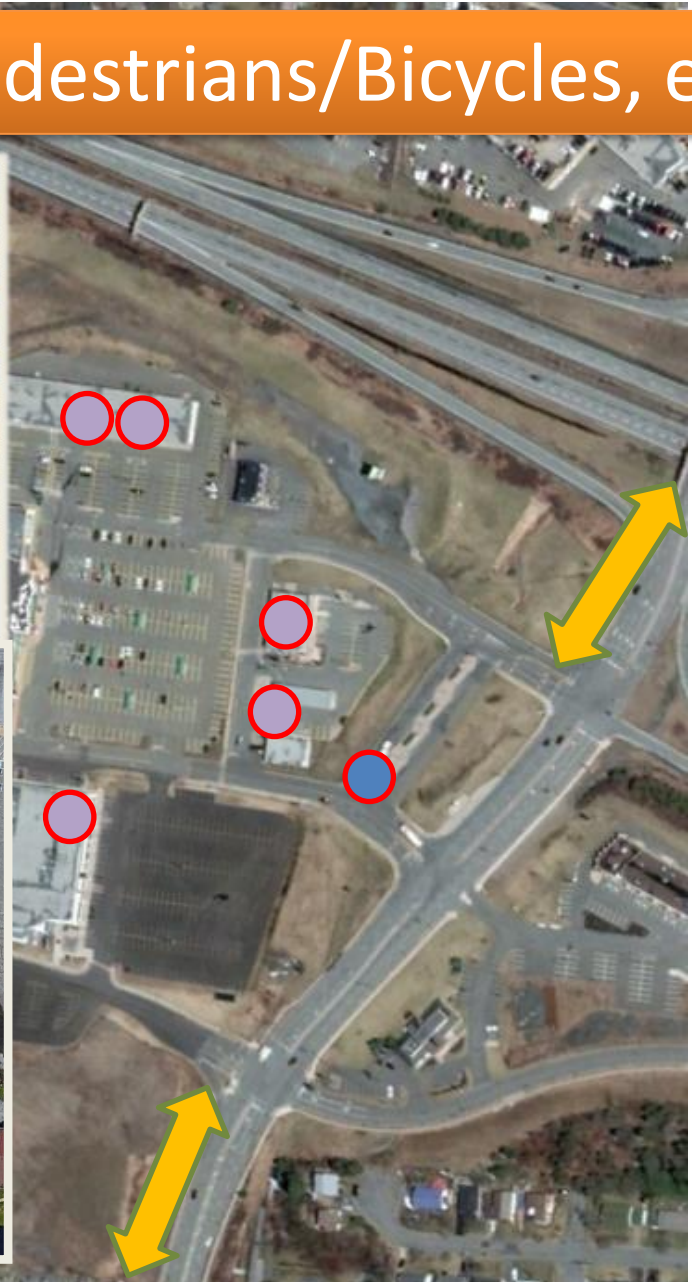
Sobey's

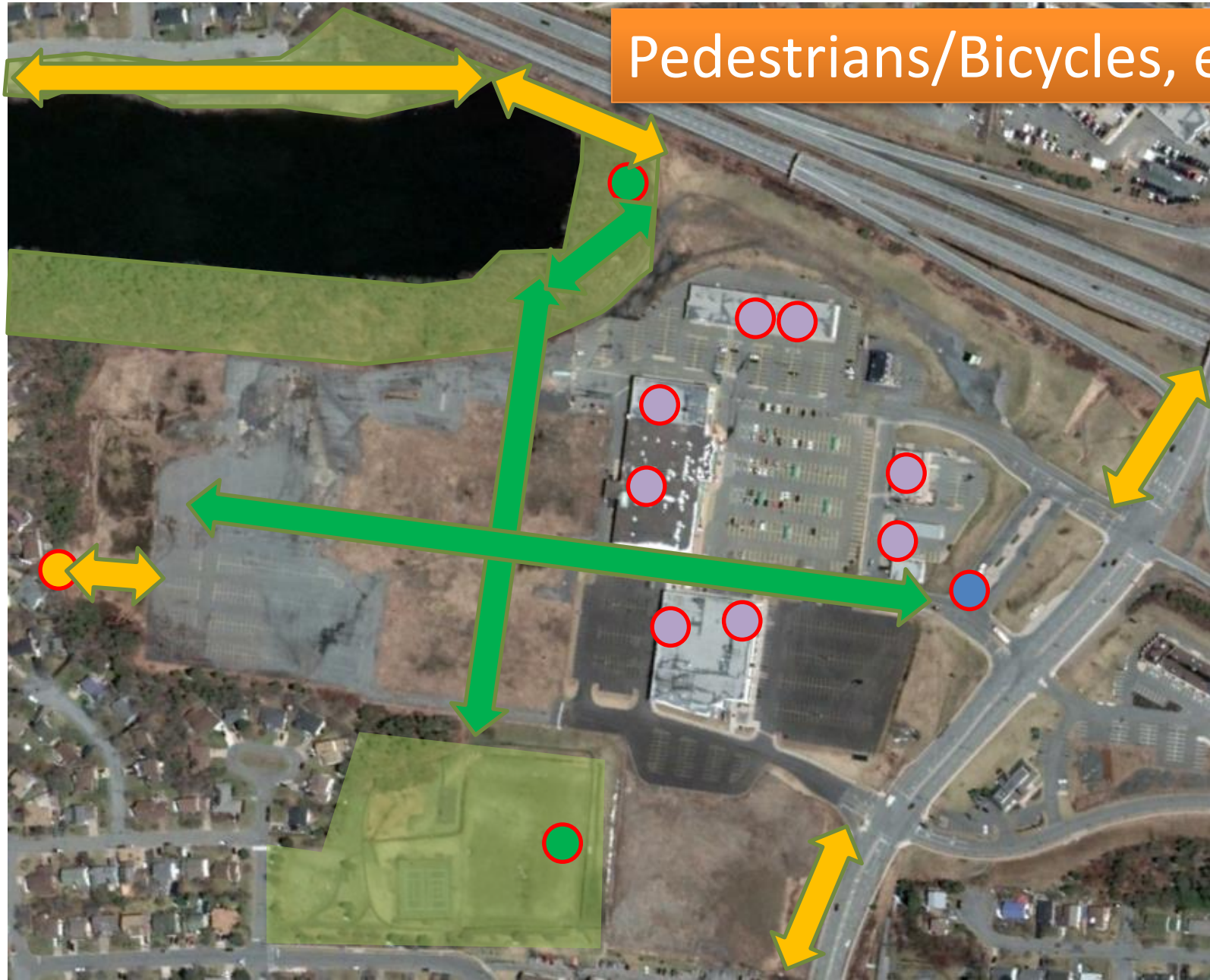


Needs

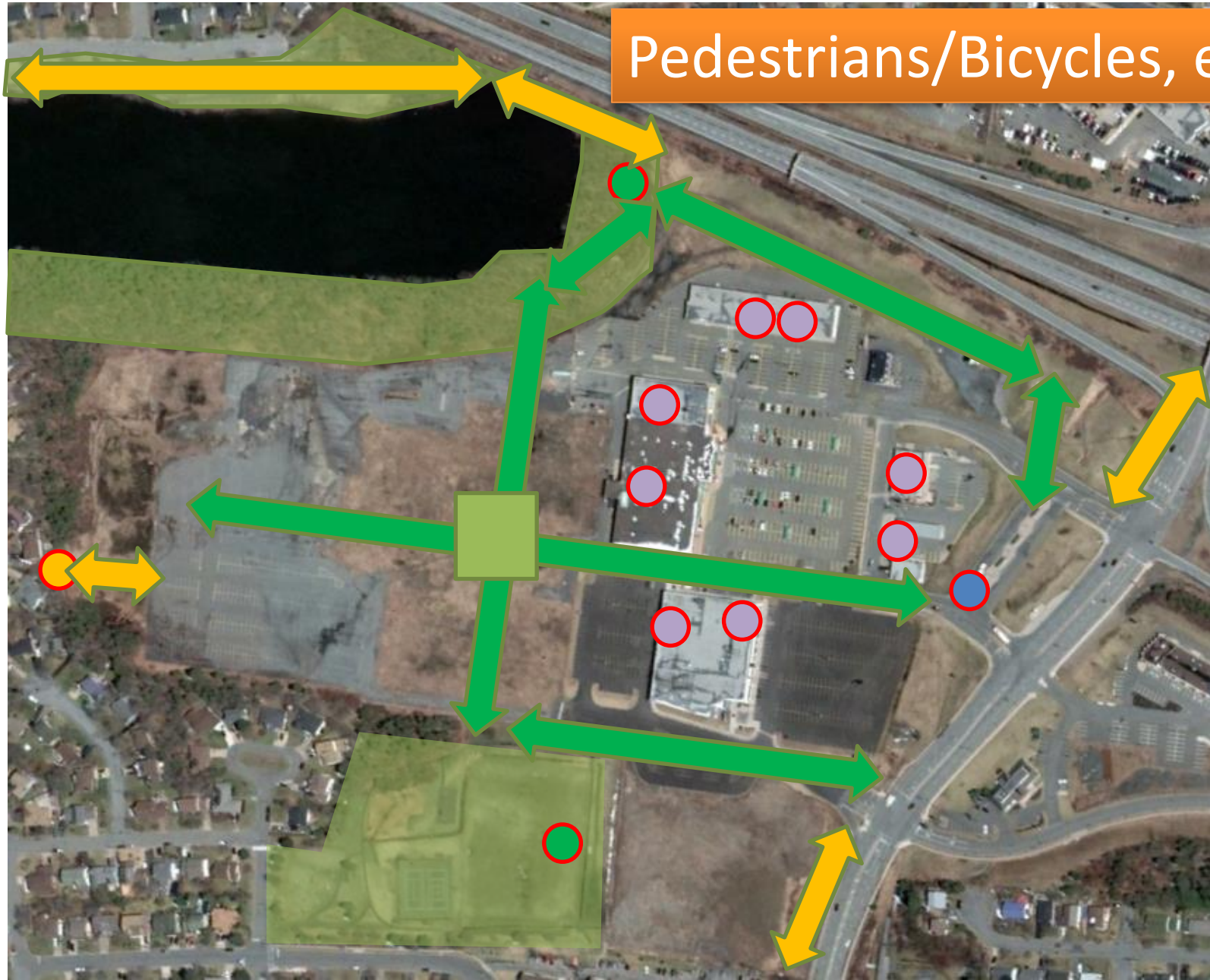
HALIFAX
TRANSIT

Pedestrians/Bicycles, etc.





Pedestrians/Bicycles, etc.



Pedestrians/Bicycles, etc.



Vehicles

Vehicles



Concept Plan



LEGEND

- High Density (Multiple Residential/Podium)
- Medium Density (Rental Townhouses)
- Stage 2 Potential Future Development
- Active Streetfront (Commercial/Institutional Street Frontage)
- Grade Related Units
- Buried Podium/Private Green Area
- Project Boundary (42.0 ACRES)
- Walkway
- Sidewalk
- Multi-Use Path/Asphalt Path (See Schedules J-1 to J-4)
- Potential Future Local Road
- Future Trail
- Future Trail to be built by Penhorn Lake Trail Association (2021)
- Existing Asphalt Path/ Multi-Use Path
- Park/ Public Green Area
- Planted/ Existing Vegetation

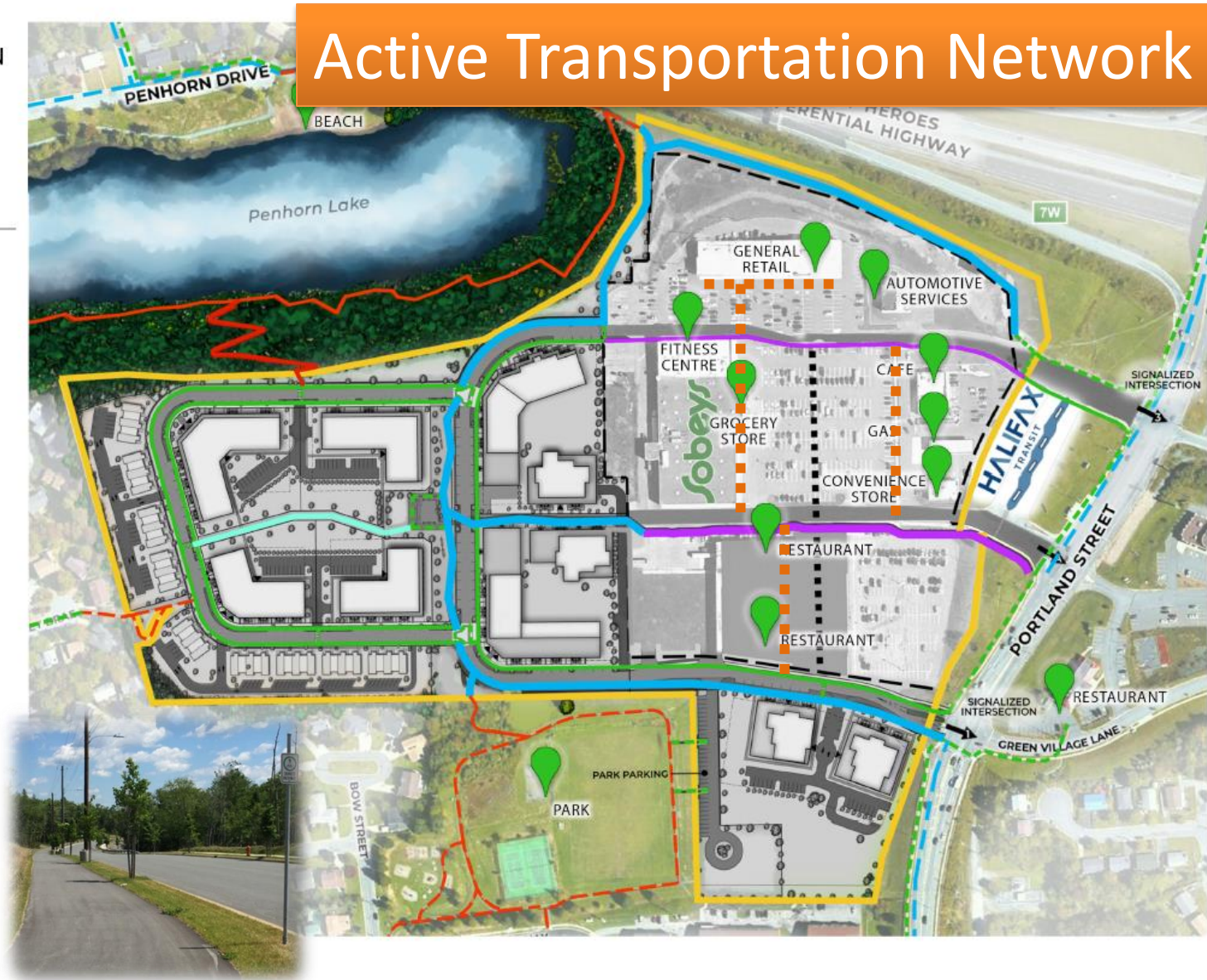
ACTIVE TRANSPORTATION PLAN - ONSITE



LEGEND

-  Public Multi-Use Path
-  Multi-Use Path
-  Sidewalk
-  Sidewalk
-  Sidewalk
-  Future Trails
-  Existing Asphalt Path/
Multi-Use Path
-  Bike Route
-  Walk Route
-  Project Boundary
-  Amenity Destination

Active Transportation Network



Parkland

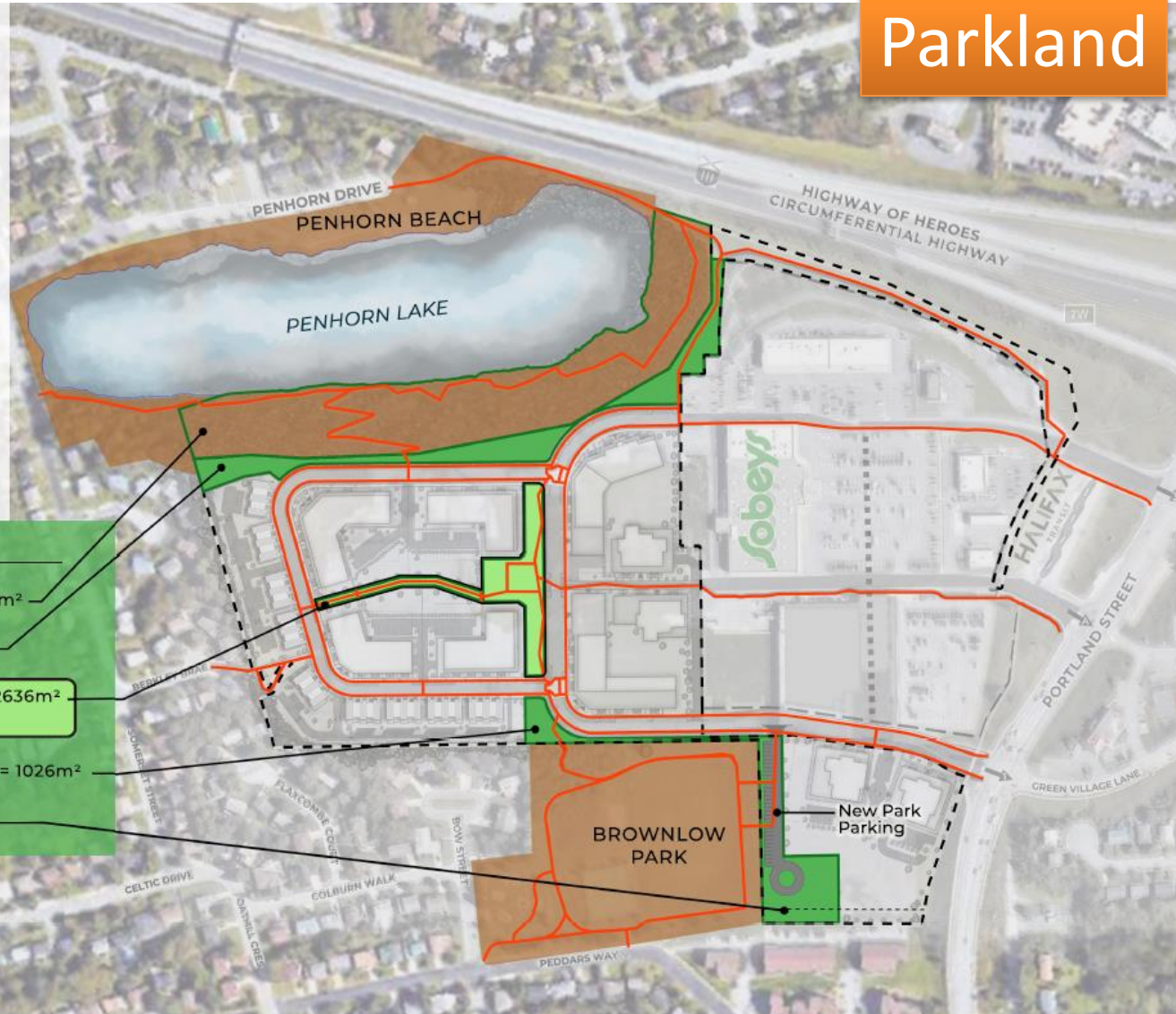
PARKS AND OPEN SPACE

LEGEND



- Future Municipal Parkland = 4.18 Acres
- Previous Dedication* of Municipal Parkland (Existing) = 5.0 Acres

- Total Dedication of Municipal Parkland = 9.18 Acres**
- Existing Municipal Parkland = 9.0± Acres
- Public Pedestrian Connectivity
- Stage 1 Boundary
- Existing Easement



PARK AREAS

(PD*) PENHORN LAKE BEACH = 20234m²

P1 - LAKE SIDE PARK AREA = 5335m²

P2 - LINEAR GREENWAY & SQUARE = 2636m²
(NOTE: DOES NOT INCLUDE R.O.W.)

P3 - BESIDE BROWNLOW PARK AREA = 1026m²

P4 - BLOCK H PARK AREA = 4216m²

LINEAR GREENWAY & SQUARE

Greenway and Central Park



LINEAR TREE PLANTINGS



HARDSCAPED SQUARE WITH GREEN SPACE, SEATING & PLANTINGS



PUBLIC HAMMOCKS



FOOD TRUCK



BICYCLE RACK



PARK LIGHTING



LINEAR GREENWAY WITH ASPHALT PATH



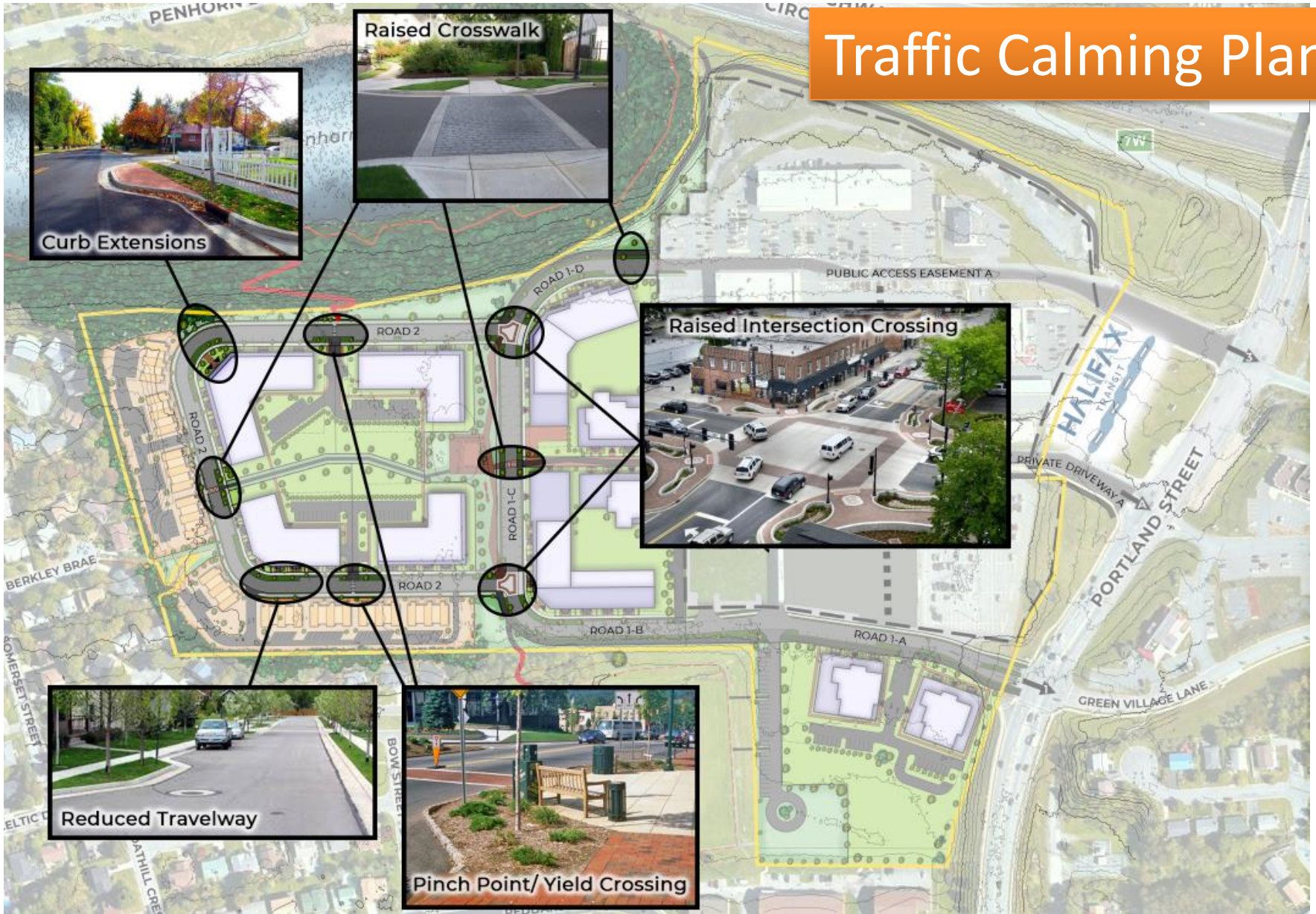
SITTING STEPS



MULTI-USE PATH



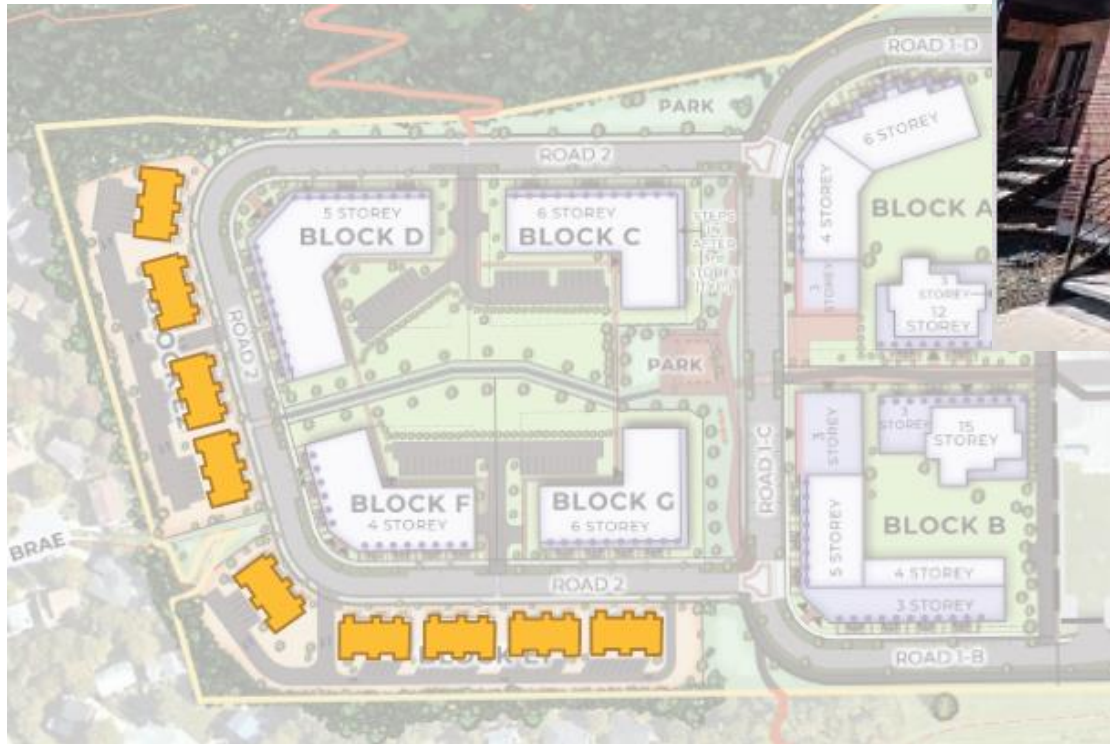
Traffic Calming Plan







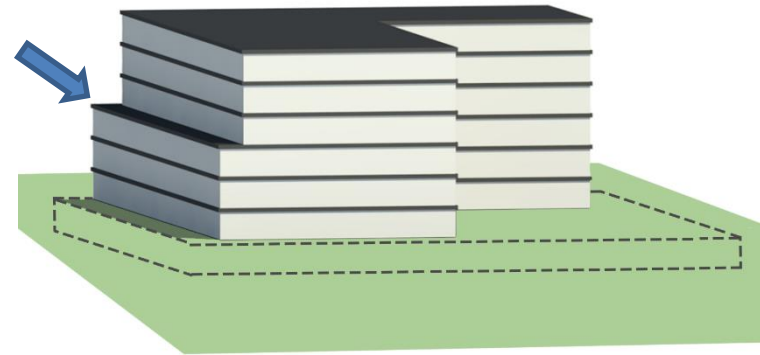
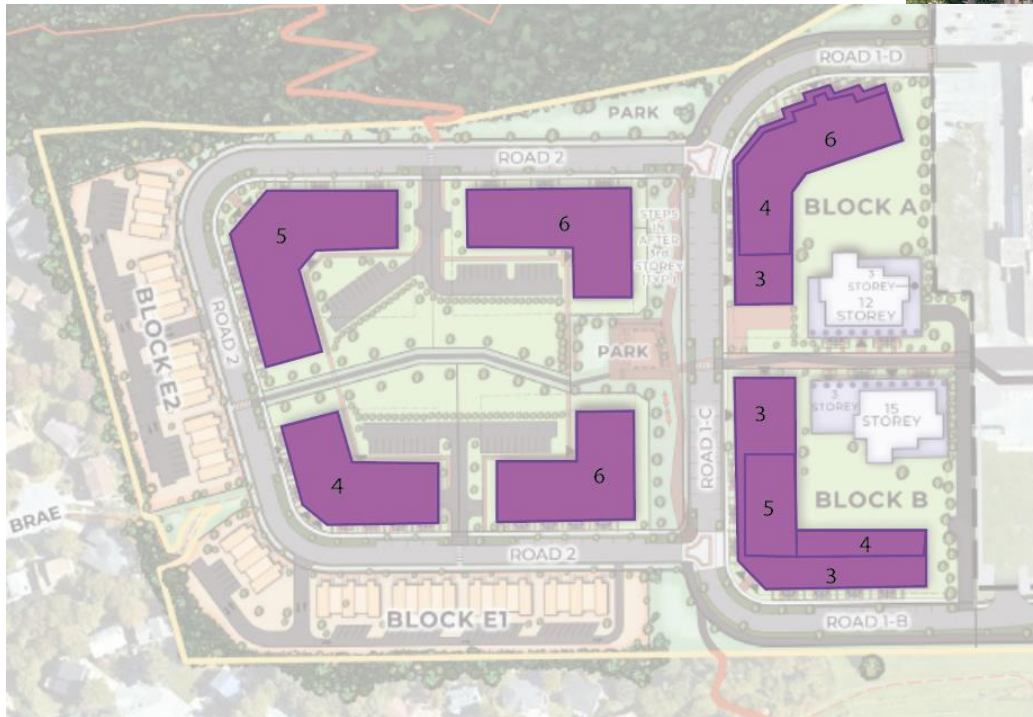
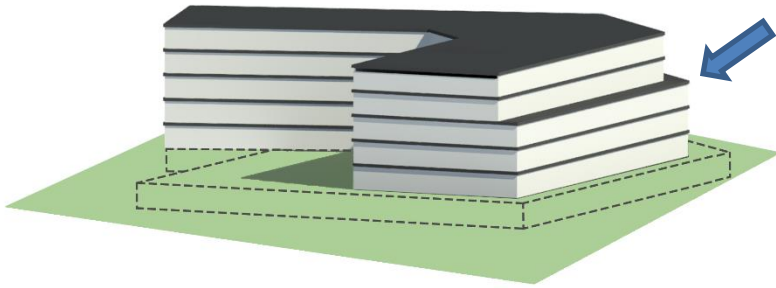
Townhouses



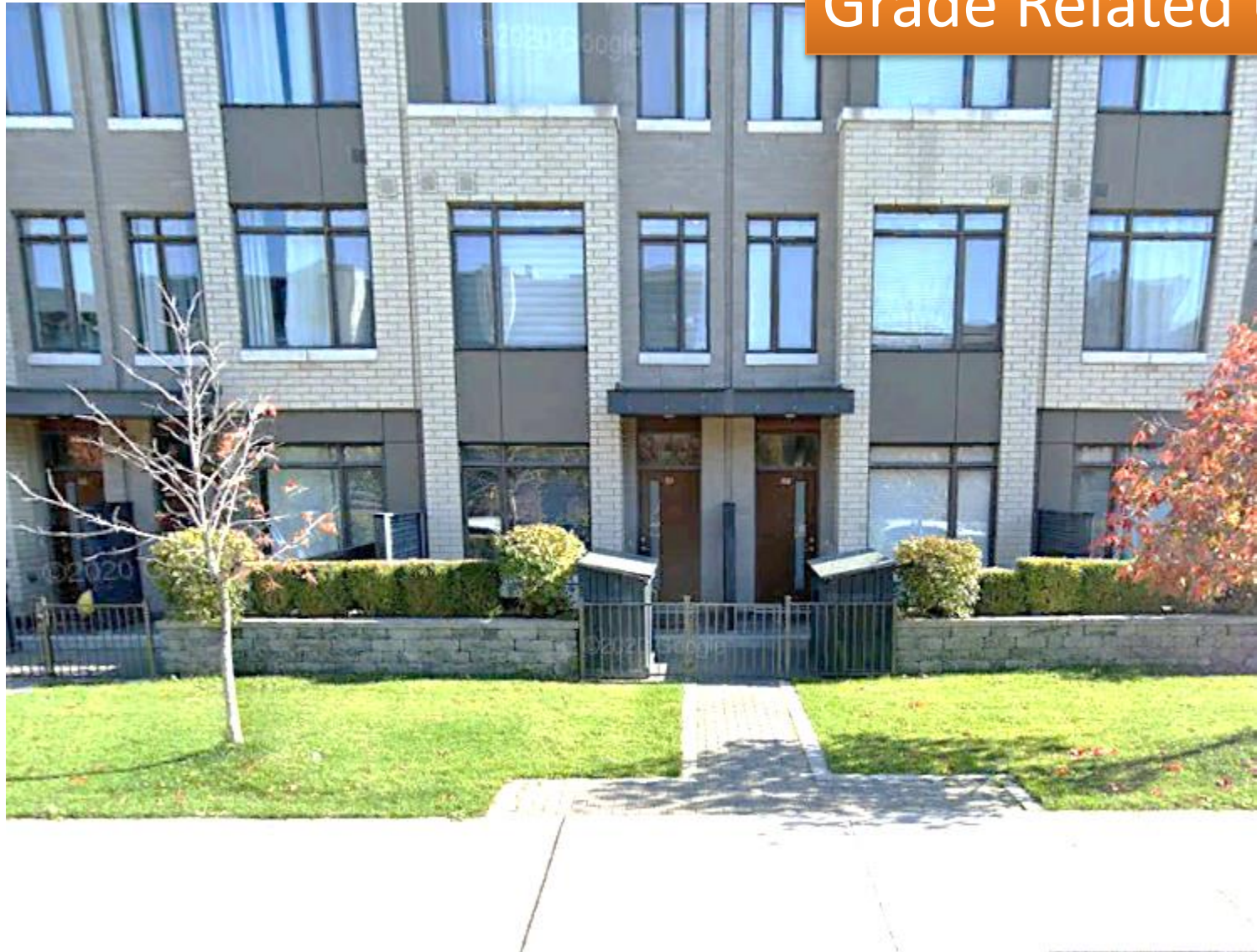
Townhouses



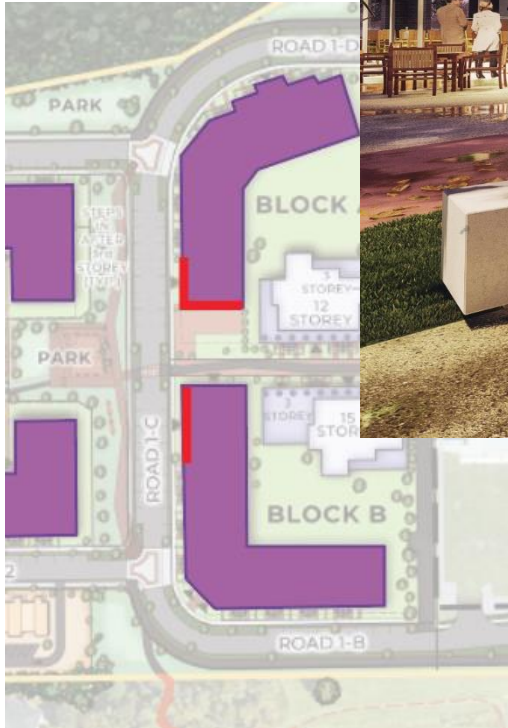
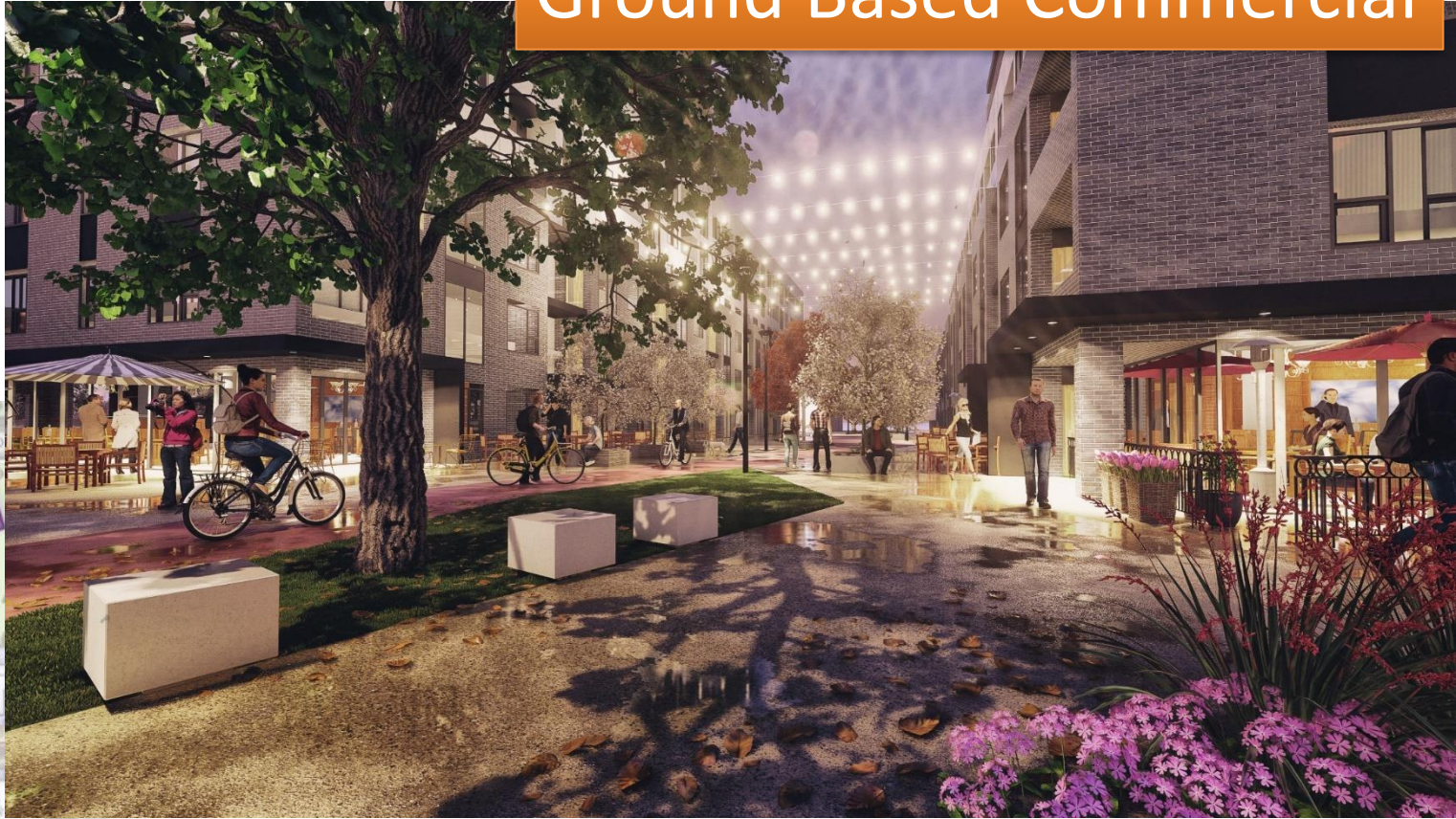
Mid-Rise



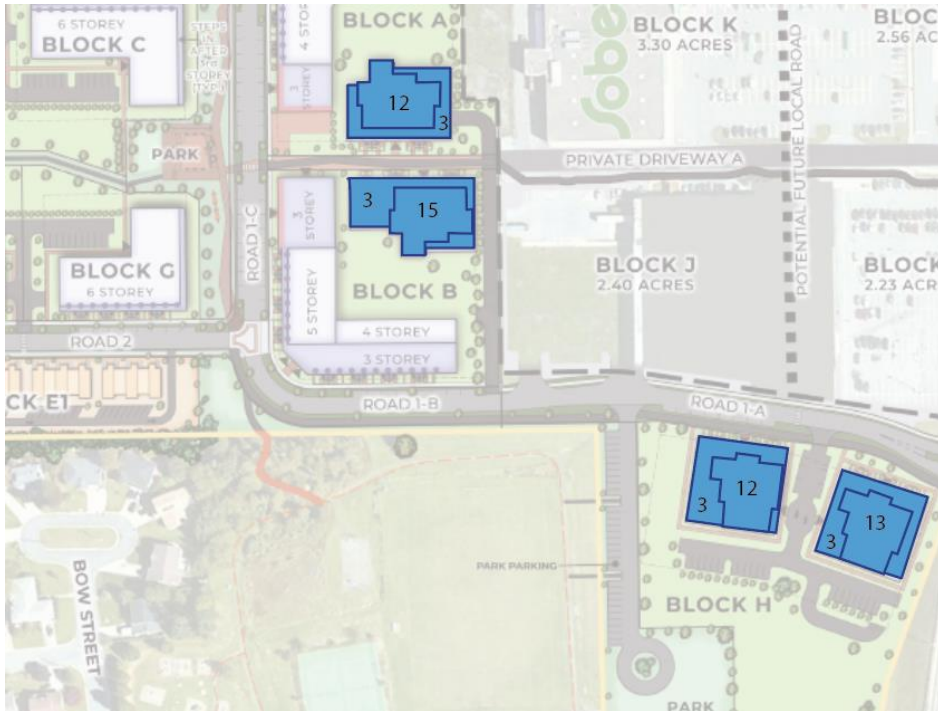
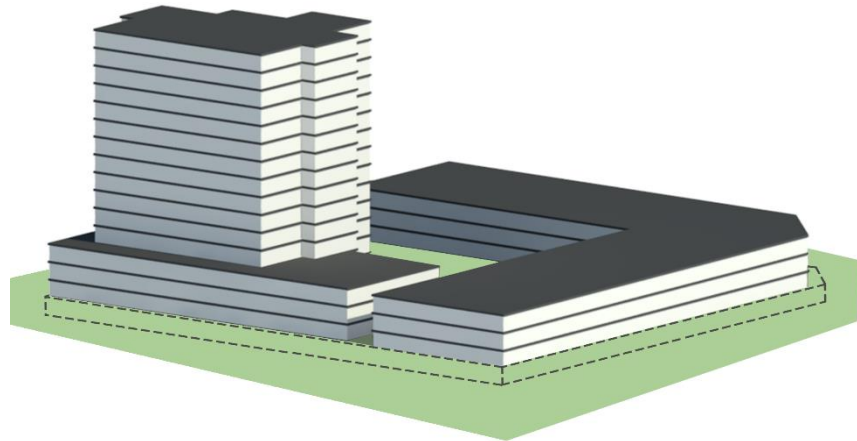
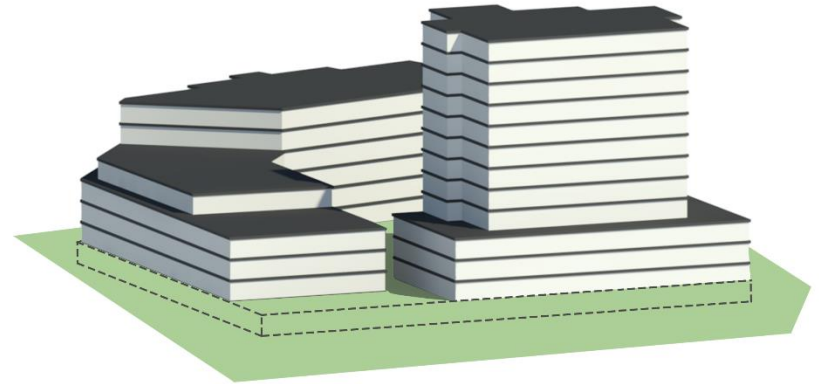
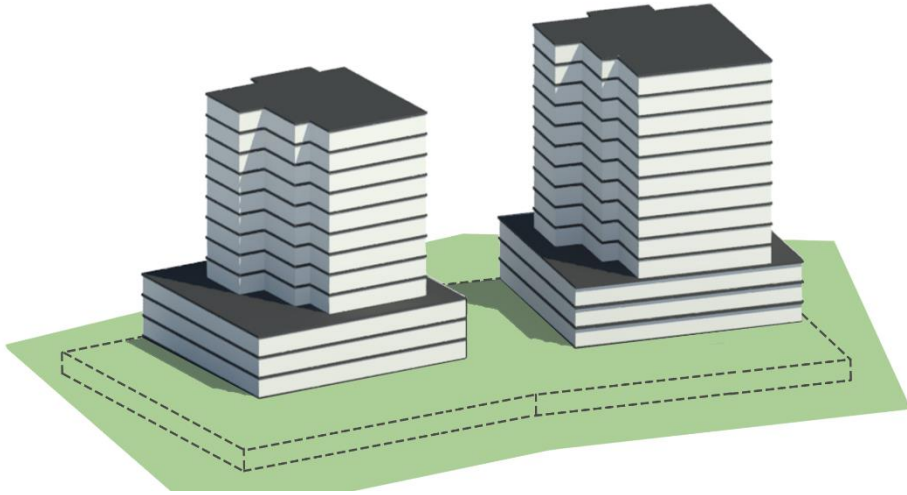
Grade Related Units



Ground Based Commercial



High-Rise



Conceptual Rendering



Conceptual Rendering



Conceptual Rendering



SCHEDULE 'M'
LANDSCAPE MASTER PLAN
PENHORN
AUGUST 9 2021



Landscape Plan



GRADE RELATED
TOWNS DETAIL (TYPICAL)



LEGEND

- | | | |
|---|--|---|
|  Canopy Cover Trees
(See TREE SPECIES SELECTION table,
pg 2 of Landscape Plan Description) |  Hedging with Gate |  Asphalt Multi-Use Path |
|  Existing Vegetation |  Low Bush/ Shrub |  Beachstone |
|  Ornamental Trees |  Outdoor Seating |  Hardscape |
|  Sod/ Turf |  Raised Planter |  Concrete Sidewalk |
|  Seed |  Perennial Flower Bed |  Podium & Rooftop
Sod/ Turf/ Ground Cover |
| |  Wetland Plants/
Flood Resistant Trees | |

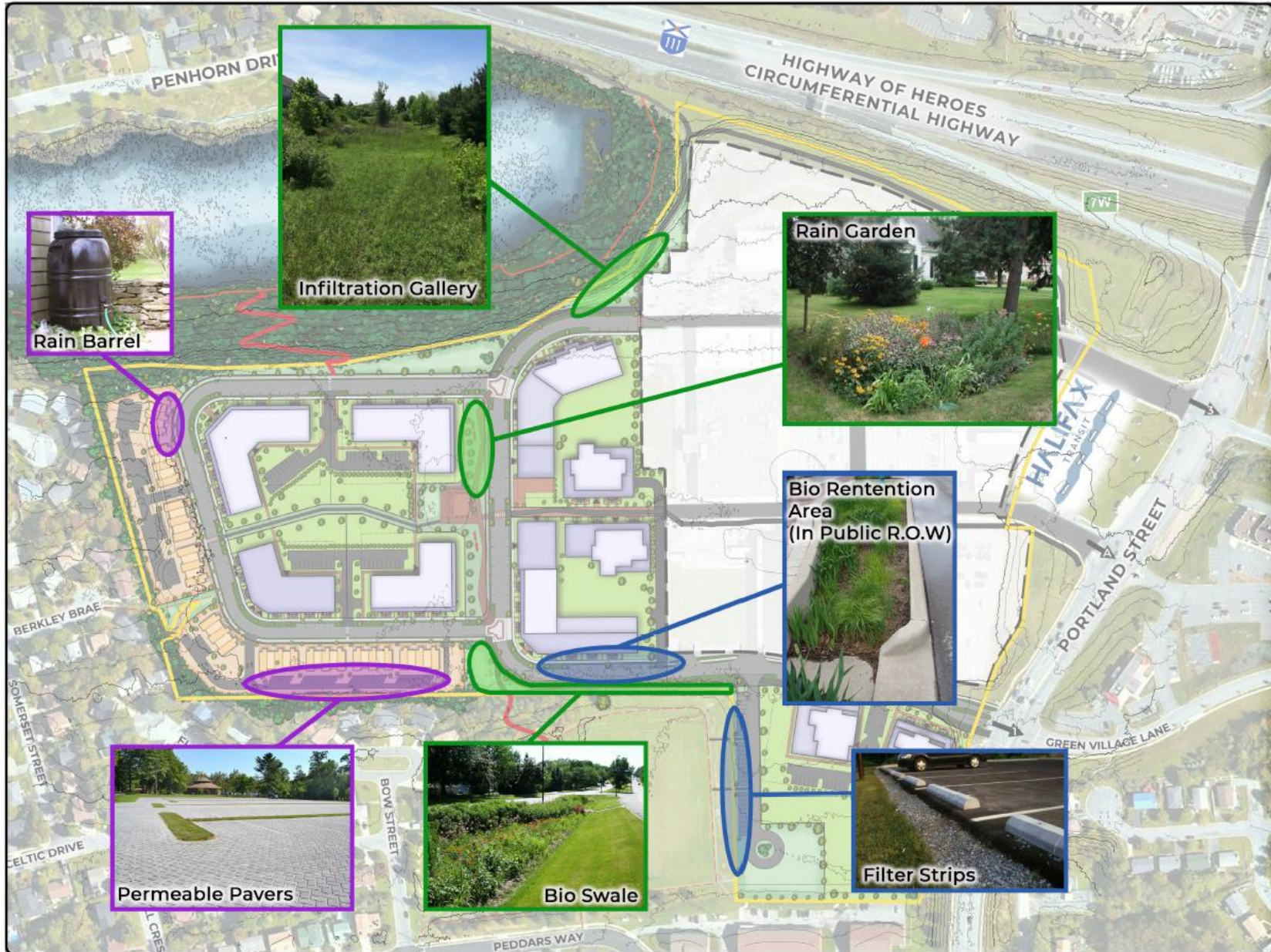
HALIFAX
TRANSIT

PORT

GREEN V

BERKLEY BRAE

FLAXCOMBE CRT
COLBURN WALL
OATHILL



SCHEDULE 'G'

STORMWATER MANAGEMENT PLAN

PENHORN

LEGEND

- Natural Installations
- Residential Installations
- Public Installations
- Contours

NOTE:

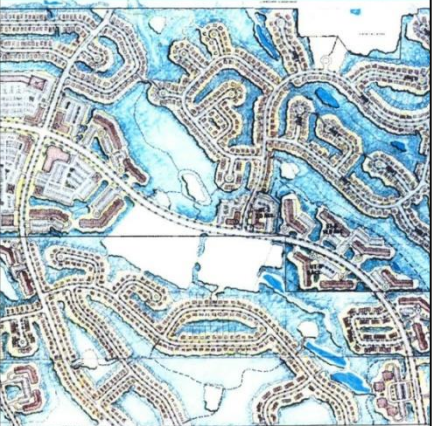
1. ALL BEST MANAGEMENT PRACTICES SHOWN ARE SUBJECT TO FURTHER DETAILED DESIGN.

DATE AUGUST 9 2021

SCALE NTS

0 10 20 40 80 METRES

Jacques Whitford
 Master Stormwater Management Plan
 Wentworth/Bedford South Development



MASTER STORMWATER MANAGEMENT PLAN
 Penhorn Residential Development

December 8, 2020

Jacques Whitford
 IN AWE
 Jacques Whitford NAWA, Inc.
 5000 Highway 101, Suite 140
 West Linn, Minnesota 55127
 612-255-1000
 612-255-5000
 www.jaw.com
 www.wentworth.com



Master Stormwater Management Plan for The Parks of West Bedford Sub Area 2

PROJECT # 2003

West Bedford Holdings Limited

Master Stormwater Management Plan
 Area 7 & 8

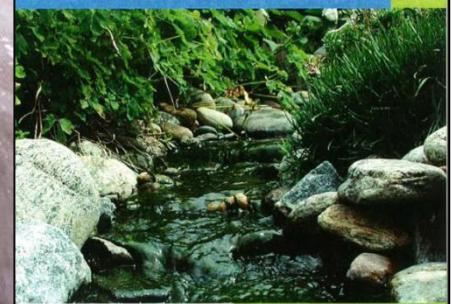
Report

Date: February 2013
 Ref. #: 15727

LVM | MARITIME TESTING



Jacques Whitford
 IN AWE
 Jacques Whitford NAWA, Inc.
 5000 Highway 101, Suite 140
 West Linn, Minnesota 55127
 www.jaw.com



Master Stormwater Management Plan for The Parks of West Bedford Subareas 3, 4, and 6
 West Bedford Holdings Limited
 Project No. 1030794
 December 2007

The Parks of West Bedford Lawn Care Best Management Practices



Home Owners' Guide



Best Management Practices Home Owners' Guide

Stop Runoff

Use a Rain Barrel -

Rain barrel usage can be important to the overall success of the stormwater management system. The benefits of using a rain barrel include:

- Stormwater that soaks off rooftops and into downspouts is caught and stored.
- Homeowners can use the water in the rain barrel as needed during the growing season.
- Water can be reused as needed in the garden or lawn landscape.
- Reduces stormwater runoff and pollution by providing treatment to the first flush of contaminants.
- Easy installation - suitable for all property types.
- Reduces water bills by not using potable water for irrigation.
- Water generated is very soft (low in minerals), which is good for plant growth.

The proper design, siting and maintenance practices are necessary to ensure that the rain barrel is functioning appropriately and not becoming a road or mosquito breeding ground in the development. The following guide is intended to provide the proper siting, mosquito control and maintenance practices for your rain barrel.

Finding the best location for your rain barrel -

To find the best location for your rain barrel, the following techniques are recommended:

- Place rain barrel on a hard, level, and pervious surface. Concrete, bricks, bricks, decorative blocks, or flagstones work well as a base.
- Locate rain barrel at downspout nearest to the garden you want to irrigate.
- Rain barrels work using gravity to drain - the garden to be irrigated should be lower in elevation than the rain barrel.
- Ensure that the rain barrel overflow downspout drains water towards yard and not your neighbors.

Best Management Practices Home Owners' Guide

Go-Toxic Free

Lawn Fertilizer

There are many natural ways to fertilize a lawn before reaching for a store-bought fertilizer. Compost and grass clippings are a cost effective and environmentally friendly way to provide your lawn with nutrients. If you find the need to purchase a fertilizer be sure for your lawn, use organic fertilizers or slow release fertilizers.

- Clean Nova Scotia indicates that generally a 4:1:1 (the ratio of nitrogen to phosphorus to potassium) fertilizer applied at a rate of 1 kilogram nitrogen per 100 square metres (2 pounds per 1000 square feet) provides the proper balance of nutrients.
- Combine the fertilizer with organic material (a mixture of good-quality soil, sand and a source of humus) and add this to your lawn's surface.
- If a slow release or organic fertilizer has a rain follow label, it will be inspected, water the lawn prior to fertilizing.
- Know your nutrient needs by understanding your soil and lawn conditions (most people apply too much fertilizer and this impacts some quality as well as lawn health).
- Go organic! Forget chemical fertilizers and replace your lawn with native plantings. There are over 1,300 to choose from for our region!

Best Management Practices Home Owners' Guide

Naturalize

Use Native Species

Many native species are suited to growing in a wide range of ecological conditions and they are usually best suited to the Nova Scotia climate. Because of this, once they are established they usually require less care and are a key element in creating low maintenance and sustainable landscapes.

The species listed below are considered to be the best types of species that would most readily be found in the Parks of West Bedford area, however, use of other native species may also be appropriate. Final planting decisions should be made based on specific site conditions, species availability, and advice from landscape specialists.

Native Trees Best suited for certain site conditions -

- Dry/Poor Sites: Black Spruce, Balsam Poplar, White Pine, Red Pine, White Birch, Grey Birch, Red Oak, Trembling Aspen, and Largetoothed Aspen.
- Moist/Poor Sites: Black Spruce, Red Maple, Common Larch, and Balsam Poplar.
- Average Sites: Red Spruce, White Spruce, Eastern Hemlock, White Pine, White Birch, Yellow Birch, Red Oak, Red Maple, and Sugar Maple.
- Moist/Rich Sites: Red Spruce, White Spruce, Eastern Hemlock, Yellow Birch, Red Maple, Sugar Maple, White Ash, and Ironwood.
- Native Shrubs: Wild Rose, Serviceberry, Fake Holly, Canada Holly, Yew and Hawthorn, Firethorn (Hawthorn), Lambkill, Bush Honeysuckle, Hackberry, Witch Hazel, Speckled Alder, Labrador Tea, Rhodora, Mountain Ash, Tuckermay Spruce, Striped Maple, Mountain Maple, and Bushed Hawthorn.

Best Management Practices Home Owners' Guide

Keep it Green

Lawn Irrigation

One of the key ways you can help to keep your lawn more sustainable is by thinking about how you keep your lawn irrigated. Just grasses and other plants in a natural landscape need water for growth and development. By implementing proper irrigation practices, lawn quality and aesthetics will be improved, which at the same time, lowering water bills. By working intelligently and deeply you can help improve the health of your lawn. The following techniques will help you set up the paths for proper lawn irrigation practices and prevent over watering:

- A typical surface requires 2.5 cm of water per week (through rainfall or irrigation), which will soak the upper 13 cm of soil.
- Monitor your irrigation by placing a can in paths of sprinkler heads and deep irrigation over 2.5 cm of water has accumulated in the can.
- Ideal irrigation times are when temperatures are cooler in the early morning or early evening and when wind speeds are low.
- Let lawn empty dry out between irrigation intervals. The soil should be permitted to penetrate before irrigation. The soil should be irrigated when the grass turns light green to brown in colour and the stalks remain firm over after being walked on.
- Stop irrigation when puddling or runoff occurs. Excessive moisture can potentially cause fungal diseases in grasses and also prevent grasses from reaching their roots.
- Where possible, use collected stormwater from rain barrels for irrigation of gardens or smaller areas.
- The combination with surface water application practices. Do not use sprinklers in a pattern that will create side-slopes, ditches, or the side of the house.
- Without watering, most lawn grasses will get dormant over the hot summer months. This should not be a concern and the grasses will begin growing again during the cool season months.

Best Management Practices Home Owners' Guide

Keep it Green

Lawn Mowing

The frequency, height, pattern and condition of a lawn mower can impact the quality and sustainability of a lawn landscape. The following three practices are recommended for maintaining your lawn through proper lawn mowing practices:

- Always use a Sharp Blade - A dull blade will damage the remaining grass blades, potentially slowing future growth.
- Always mow when the grass is dry.
- Mow at regular intervals (every 2-3 days).
- Cut grasses to a height of 6 cm. Higher cut grass will shade out weeds and encourage deep root growth.
- Never mow more than 1/3 of the grass blade - This puts additional stress on the grass, potentially slowing growth.
- Use a mulching lawn mower and recycle grass clippings on yard. The cut grass will contribute nitrogen to the soil and reduce fertilizer use on the yard.
- Avoid mowing when turf is under heat and drought stress.
- Alter the pattern with each mowing event to reduce wear on the grass surface.
- Wear appropriate safety gear, which includes long pants and short-sleeved shirts.
- Use a low emissions lawn mower. According to Canada's Clean Air Foundation, a standard gas mower will emit the same amount of air pollutants as one hour of driving, even on a brand new 2000 model.

Best Management Practices Home Owners' Guide

What about those peaky mosquitoes?

Many homeowners worry that rain barrels will create a breeding ground for mosquitoes. The following is a list of tried and tested techniques that can be employed to control mosquitoes:

- Ensure that the mosquito proof screen on the rain barrel is installed and functioning correctly.
- Ensure that the base is pervious, so overflow does not collect and leave standing water for mosquito breeding.
- Inspect rain barrel weekly - ensure that the lid is securely closed and the water is free of organic material.
- Mosquito larvae require 6-9 days to hatch. Completely drain the barrel once per week and clean it necessary to prevent the formation of stagnant water.

Best Management Practices Home Owners' Guide

Pet Clean-Up

Pet waste is a health hazard and a pollutant as it contains excess phosphorus and harmful bacteria which can harm lake water quality. The following guidelines will provide for the proper cleanup of pet waste and the elimination of any health concerns due to contact animals.

- Clean up all animal waste outdoors on your lot or on trails or other places in the community.
- During walks bring a bag and dispose of the waste in the bucket, garbage or a designated pet cleanup area.
- In your yard, encourage pets to use one location. This will make clean-up easier and the area can be isolated from the rest of your yard, which can prevent accidental contact with the pet waste.
- Use toxic lures - A encourages them to frequent your yard and generate waste in your yard, driveway, or sidewalk.
- Pick up after pets before closing poles, sidewalks or driveways. Do not spray waste into stormwater gutters.

Posthole Use

Postholes should be applied only as a last resort, or not at all. The source of postholes in urban streams is where applications to fill in spots and weeds in the lawn and garden. If you need postholes, certain products may be permitted. Call Clean Nova Scotia (902) 423-6000 or visit the HEM website: <http://www.hdem.ca/postholescanhelp.htm> for more information.

Best Management Practices Home Owners' Guide

Pet Clean-Up

The Parks of West Bedford

Best Management Practices Home Owners' Guide

Keep it Green

Lawn Mowing

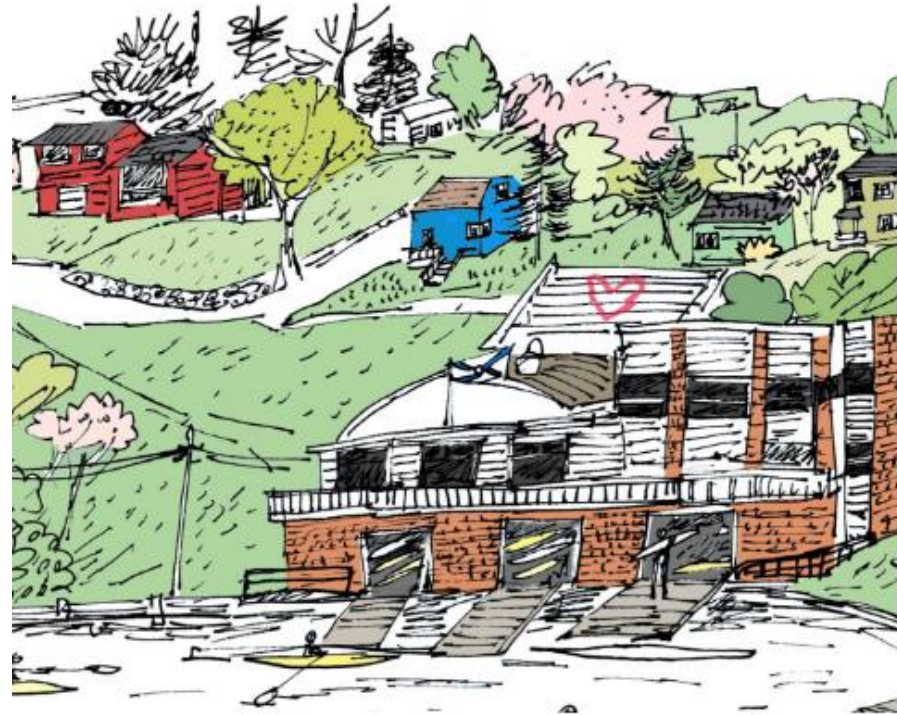
The Parks of West Bedford

How does this plan align with HalifACT 2050?

- New Active Transportation Connections (**pg.38**)
- Density in the right place – Transit (**pg.38**)
- EV Charging Stations (**pg.38**)
- Cluster Neighbourhood Supports District Energy Systems (**pg.37**) and solar orientation (**pg.36**)
- Robust Planting Schemes
- LID Stormwater Management (**pg.42**)
- Partnerships with Carbon Cure Products (**pg.28**)
- Brownfield Development (**pg.20**)

HalifACT 2050

HalifACT 2050
ACTING ON CLIMATE TOGETHER



Thank You



LEGEND

- High Density (Multiple Residential/ Podium) 
- Medium Density (Rental Townhouses) 
- Stage 2 Potential Future Development 
- Active Streetfront (Commercial/ Institutional Street Frontage) 
- Grade Related Units 
- Buried Podium/ Private Green Area 
- Project Boundary (42.0 ACRES) 
- Walkway 
- sidewalk 
- Multi-Use Path/ Asphalt Path (See Schedules J-1 to J-4) 
- Potential Future Local Road 
- Future Trail 
- Future Trail to be built by Penhorn Lake Trail Association (2021) 
- Existing Asphalt Path/ Multi-Use Path 
- Park/ Public Green Area 
- Planted/ Existing Vegetation 



Purpose of this Meeting

Slide 24

- Share information about the proposal
- Answer your questions.
- Feedback will be collected through the survey and through the planner by email or phone.



*Feedback provided tonight will inform the process and will form part of the public record. **No decisions will be made tonight.***

Public Participation and Q & A

By Phone

- We will ask if you have any questions
- One speaker at a time
- To unmute, select ***** **6**
- Please provide your name and community

Online

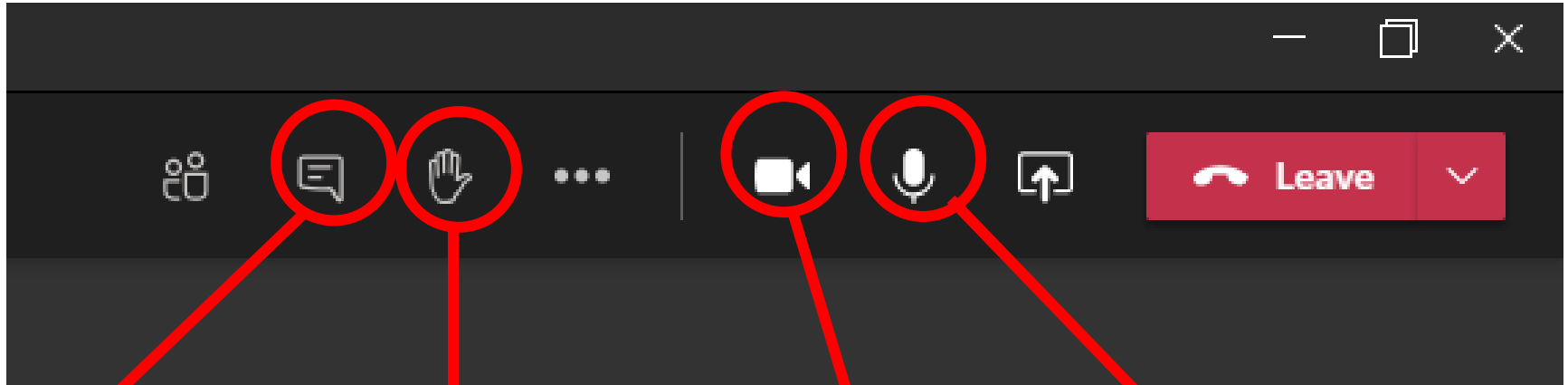
- Please use the 'Raise Hand' function if you have a question
- Please mute yourself until you are ready to speak
- Please provide your name and community

To provide feedback go to the survey located at the project website or speak directly to the planner. An email will follow with a link to the survey.

Microsoft Teams Functions

Slide 26

You Should Find these Button in the Top Right of Your Screen



Use this button to open a chat window on your screen. You can post questions or comments in this chat at any point in the evening

Use this button to 'raise your hand' if you would like to speak. I will call on you when it is your turn

Use this button to turn your camera 'On' or 'Off' if your device has video capabilities

Use this button to turn your microphone 'On' or 'Off'

HALIFAX

**Thank You
For Your
Participation!**

Planners Name

 eavism@halifax.ca

 902-237-1216

<https://www.halifax.ca/business/planning-development/applications/case-23224-former-penhorn-mall-lands-549-569-portland>

Public feedback will be collected until November 10, 2021

Slide 27