

143-153 Sackville Drive



1 Street Corner



3 From Hillcrest - Straight on



2 From Sackville Drive



4 From rear corner of lot

Building Fire Safety & Building Code Data:
 Regulated by: Part 3 of the National Building Code (NBC)
 Major Occupancy: C (Residential), E (Mercantile) & F2 (Parking Garage)

Total Lot Size: 93,086 sqft. (8,648.0 sqm.)
 Building Footprint: 36,230 sqft. (3,365.9 sqm.)
 Number of Stories: 14 Above Grade, 2 Below Grade
 Height of Building: ~140'-0" (~42.7m)

Fire Access Routes/Streets: 2
 Sprinkler System: Proposed
 Fire Rated Separation between Major Occupancies:
 C & E: 1 Hour Fire Rated Separation
 C & F2: 2 Hour Fire Rated Separation
 E & F2: 2 Hour Fire Rated Separation
 Classified as a High Building (min. 18m): Yes
 Non-Combustible Construction

PID: 40010068 & 40010050
 Zone: PC

Residential Units: 301
 Barrier Free Units Required/Proposed: 16

Unit Sizes:
 3 Bedrooms: 10 Units
 2 Bedrooms: 105 Units
 1 Bedroom: 186 Units

Parking Area
 Lower Parking Garage: 122 Spaces
 Upper Parking Garage: 122 Spaces
 Level 1 Parking Garage: 25 Spaces
 Exterior Spaces: 40 Spaces
Total: 309 Spaces (x Handicapped)

Amenity Area
 Indoor Amenity Proposed: 5,283sf 1.63sm per unit
 Exterior Amenity: Balconies Avg. 100sf/unit = ~30,100sf

Commercial Area
 Proposed: 12,000sf

Building Elevations

Lower Parking Level	87.17'
Upper Parking Level	95.83'
Level 1	105.50'
Level 2	117.50'
Level 3	127.17'
Level 4	136.83'
Level 5	146.50'
Level 6	156.17'
Level 7	165.83'
Level 8	175.50'
Level 9	185.17'
Level 10	194.83'
Level 11	204.50'
Level 12	214.17'
Level 13	223.83'
Level 14	233.50'
T.O. Roof (Tower 1)	235.83'
T.O. Roof (Tower 2)	245.50'

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- A2.0 PARKING GARAGE PLAN
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- A3.3 FOURTH FLOOR PLAN
- A3.4 TYPICAL TOWER FLOOR PLAN
- A3.5 THIRTEENTH FLOOR PLAN
- A3.6 FOURTEENTH FLOOR PLAN
- A4.0 OVERALL SOUTH ELEVATION
- A4.1 OVERALL WEST ELEVATION
- A4.2 OVERALL NORTH ELEVATION
- A4.3 OVERALL EAST ELEVATION
- A4.4 TOWER 1 SOUTH ELEVATION
- A4.5 TOWER 1 WEST ELEVATION
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- A4.7 TOWER 1 EAST ELEVATION
- A4.8 TOWER 2 SOUTH ELEVATION
- A4.9 TOWER 2 WEST ELEVATION
- A4.10 TOWER 2 NORTH ELEVATION
- A4.11 TOWER 2 EAST ELEVATION
- A4.12 SACKVILLE DRIVE ELEVATION



NOTES:

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No.	Description	Date
1	Revised per HRM Comments	2024-04-24
2	Revised plans per HRM comments	2024-09-20

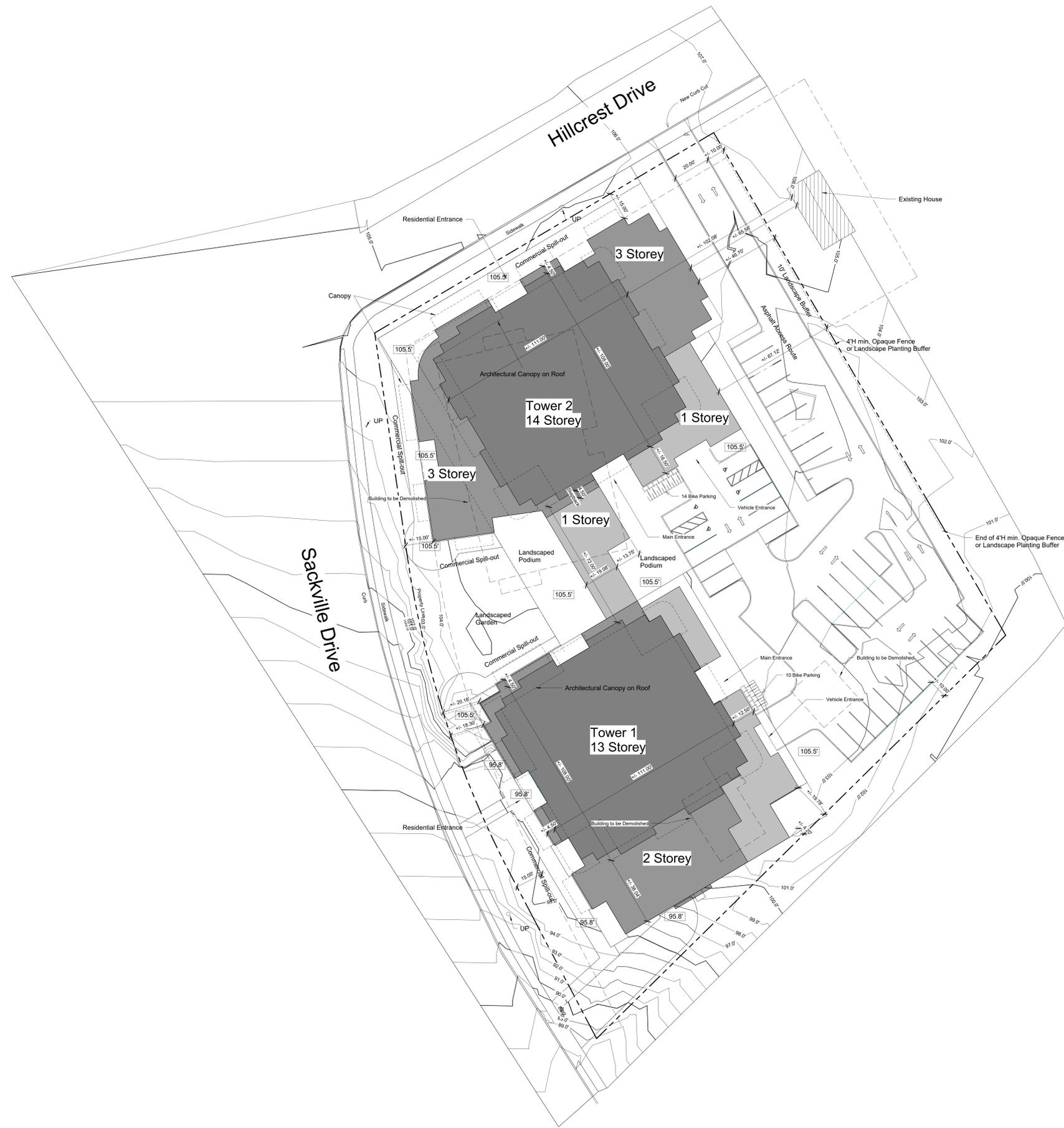
Paul Skerry Associates Ltd.
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 E-mail: pskerry@pskerry.ca

Cover
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale			
Project number	3110		

A0

2023-09-29 12:05:24 PM



LEGEND:
 32.1' Existing Grade
 32.1' Proposed Grade

1 Site
 1" = 20'-0"



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No.	Description	Date
1	Revised per HRM Comments	2024-04-24
2	Removed Driveway off Sackville Dr.	2024-06-05
3	Revised plans per HRM comments	2024-09-20

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Site Plan
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date: 2023-10-27
 Scale: 1" = 20'-0"
 Project number: 3110

Drawn by: GJ
 Checked by: PS
A1.0

2023-09-29 12:05:24 PM



① Lower Parking Level
1/8" = 1'-0"

NOTE:
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-SEE MECHANICAL & ELECTRICAL DRAWINGS FOR LOCATION & SIZE OF ALL HOLES IN FOUNDATION
WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR FINAL LOCATIONS/SIZE SEE MECH/ELECT. DWGS.)
-ALL PARKING LINES/SNO PARKING LINES TO BE PAINTED ON SLAB (YELLOW)
-ALL PARKING (HANDICAP) LINES/SIGNATURE TO BE PAINTED ON SLAB (BLUE)
-STORAGE CUBICLES ALSO USED FOR BICYCLE STORAGE



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Lower Parking Garage Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Drawn by: GJ
Checked by: PS
Date: 2023-10-27
Scale: 1/8" = 1'-0"
Project number: 3110
A2.0

2023-09-28 11:50:29 AM



1 Upper Parking Level
1/8" = 1'-0"

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Upper Parking Garage Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Drawn by: GJ
Checked by: PS
Date: 2023-10-27
Scale: 1/8" = 1'-0"
Project number: 3110
A2.1

2023-09-20 11:02:29 AM



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First Floor Plan
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date: 2023-10-27
 Scale: 1/8" = 1'-0"
 Project number: 3110

Drawn by: GJ
 Checked by: PS
A3.0

2023-09-29 11:50:21 AM



Level 2
1/8" = 1'-0"

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GRAPHIC SCALE
0 8 16 24 32
True North

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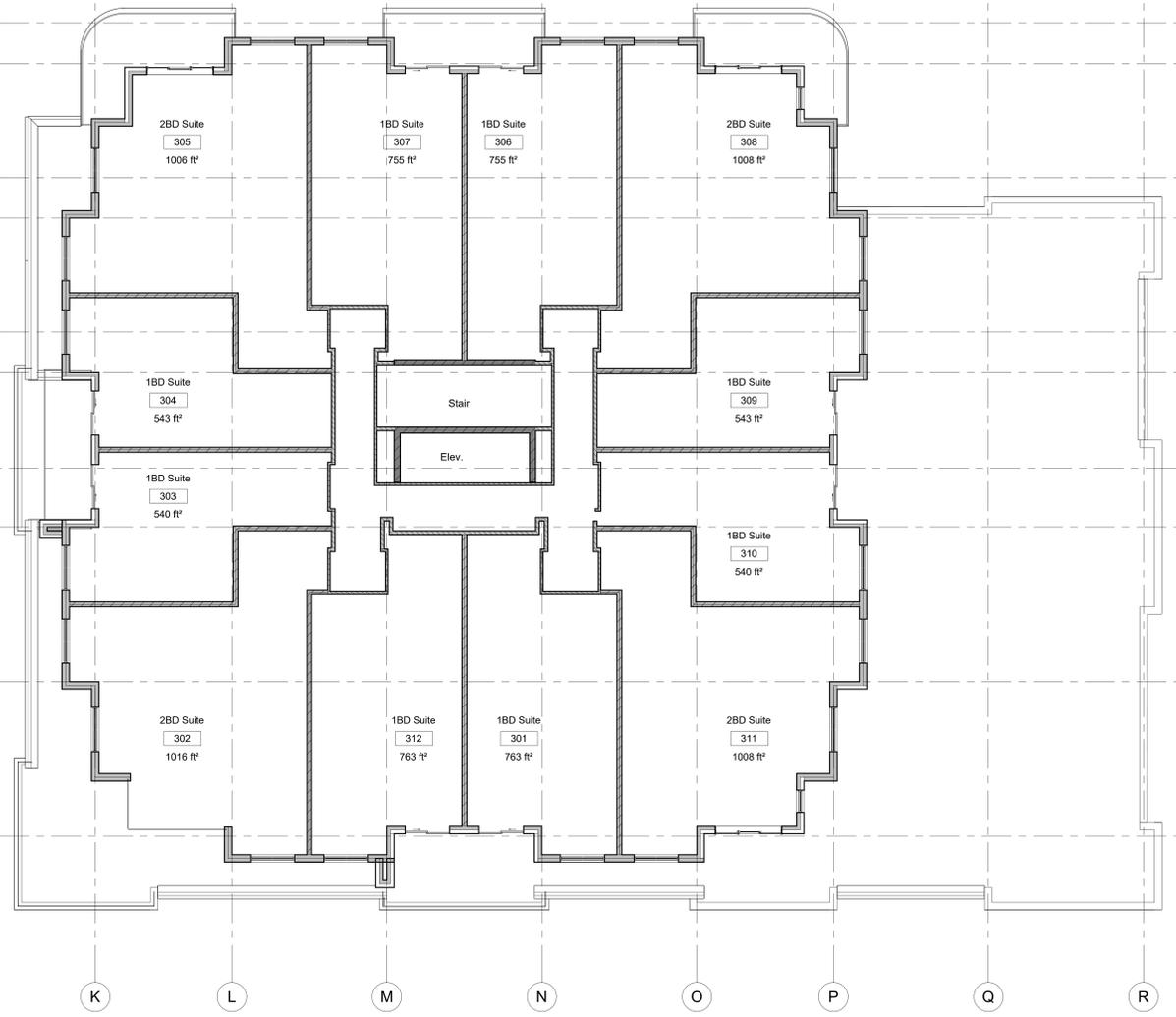
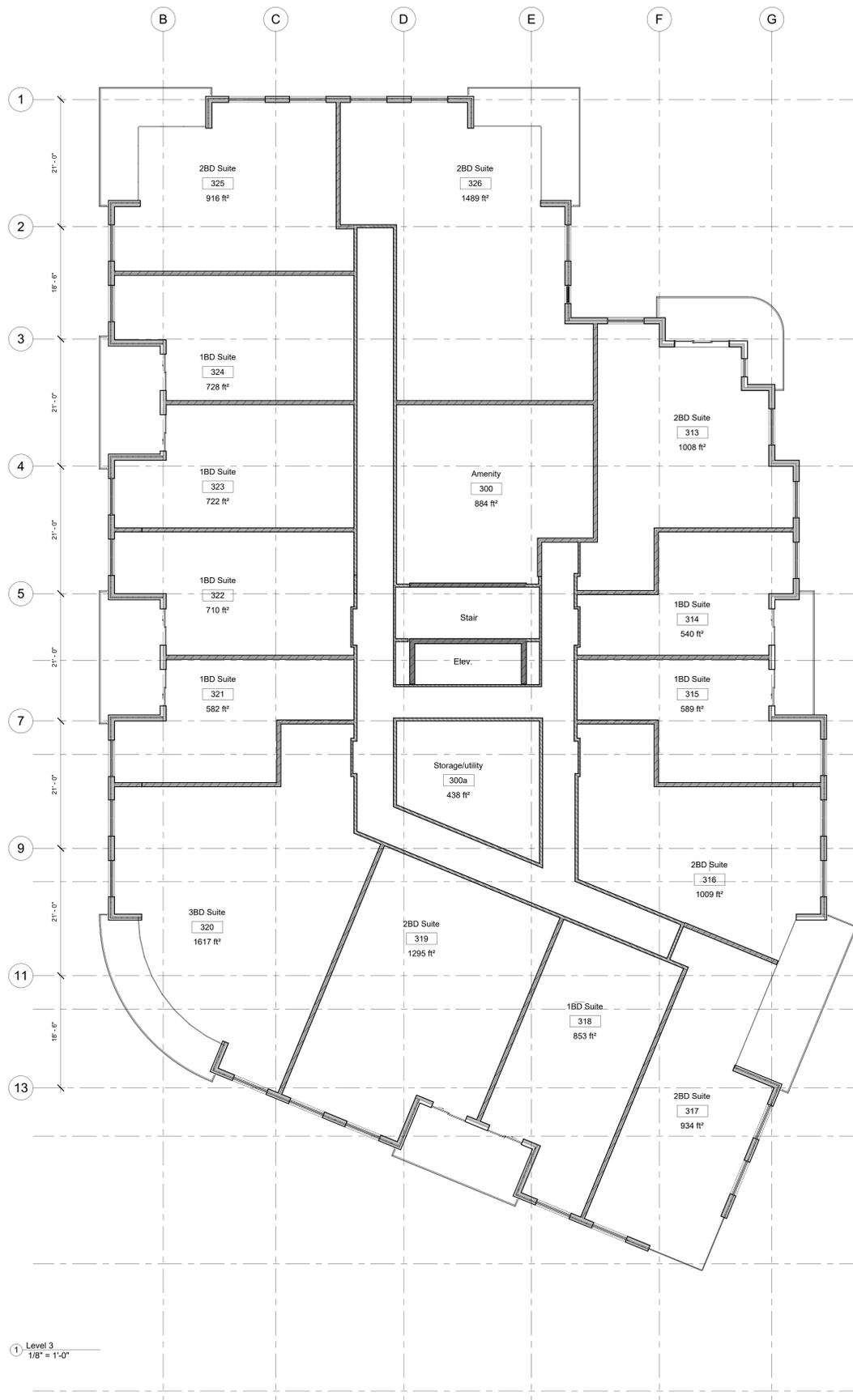
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Second Floor Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Drawn by: GJ
Checked by: PS
Date: 2023-10-27
Scale: 1/8" = 1'-0"
Project number: 3110
A3.1



1 Level 3
1/8" = 1'-0"

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Third Floor Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Date: 2023-10-27
Scale: 1/8" = 1'-0"
Project number: 3110

Drawn by: GJ
Checked by: PS
A3.2



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1) Level 4
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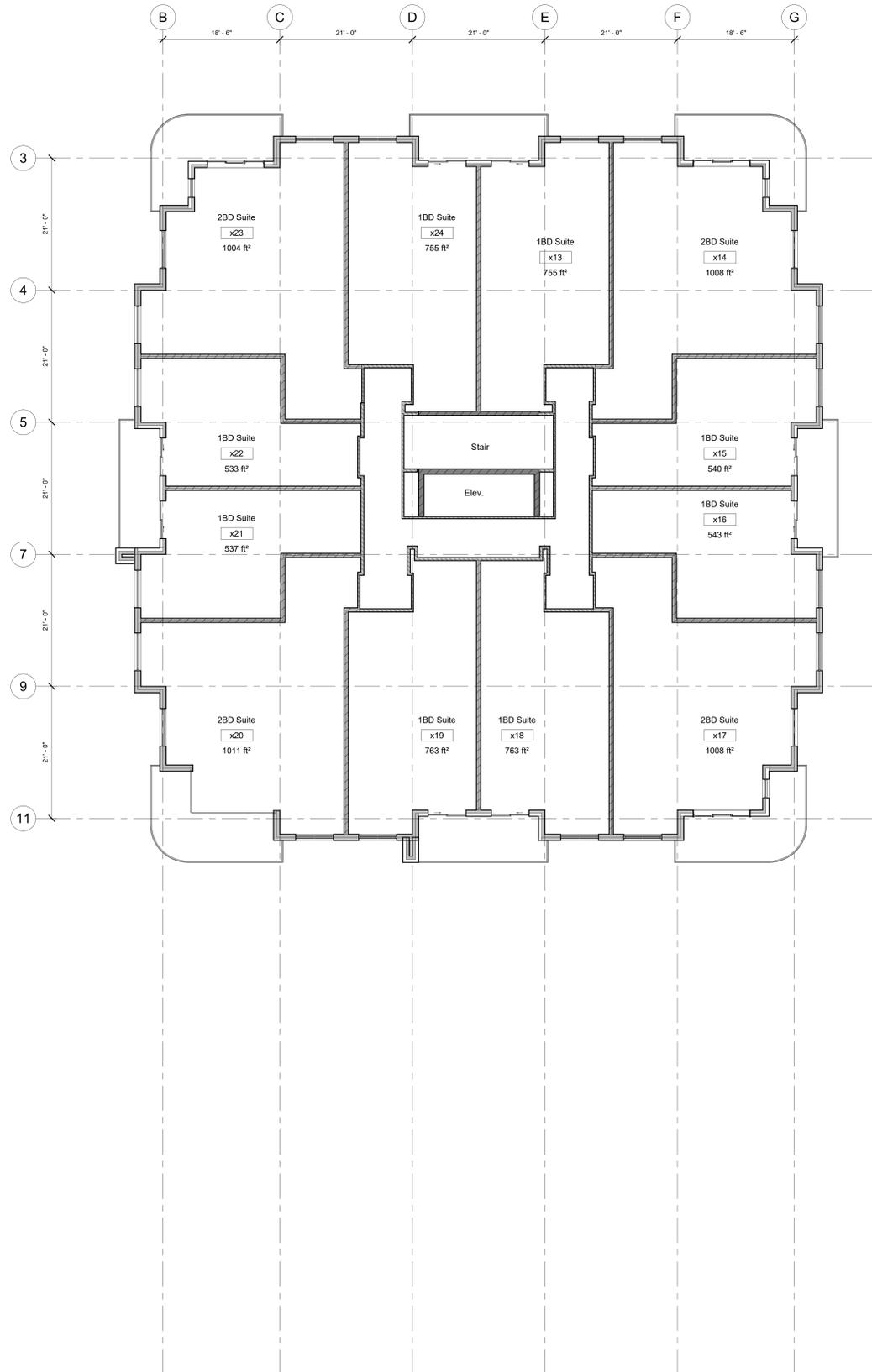
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 WALSLEY, N.S. B3K 2B9
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Fourth Floor Plan
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"	Project number	3110

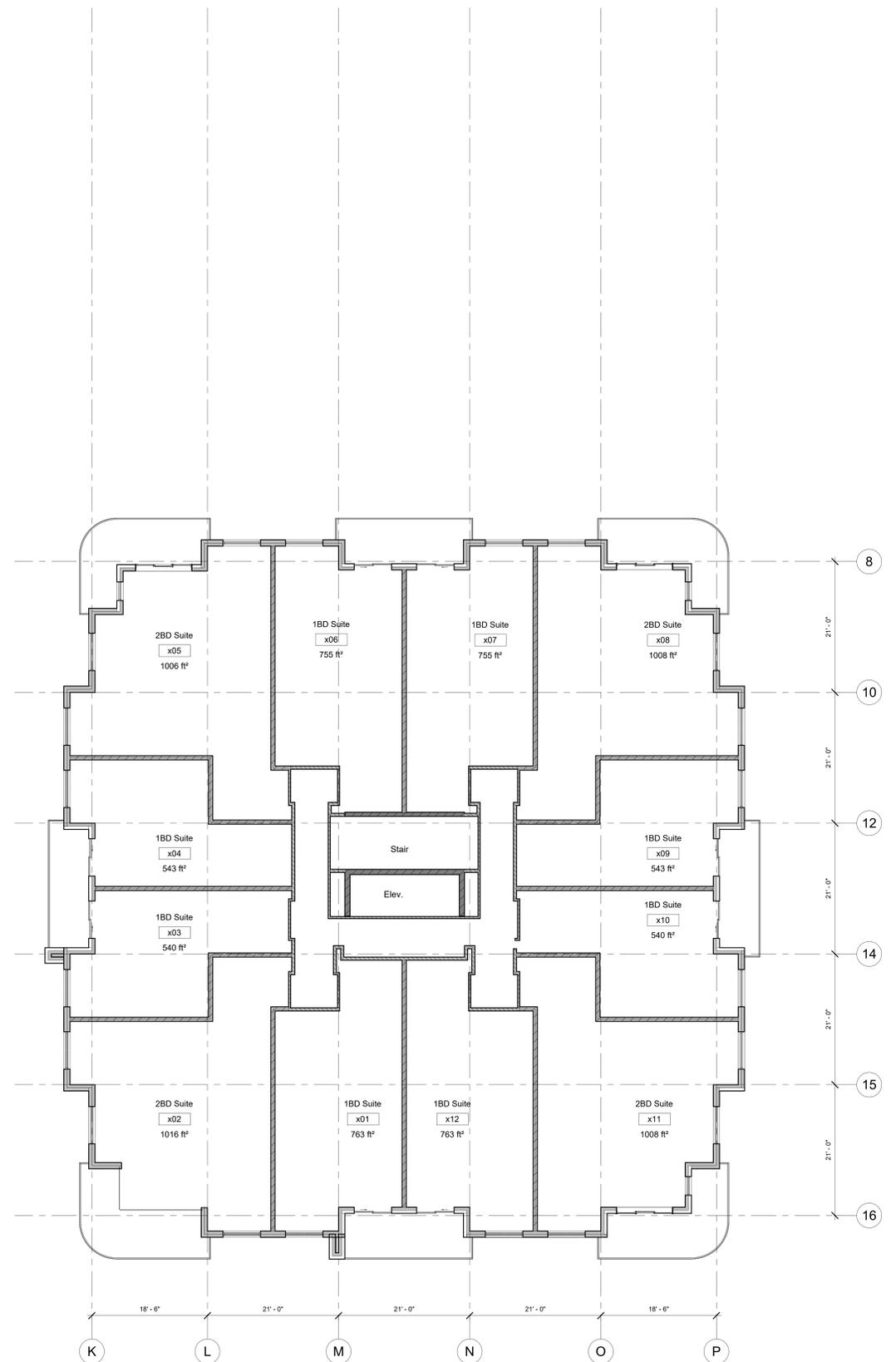
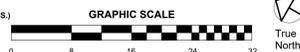
Drawn by: GJ
 Checked by: PS
A3.3

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1 Level 5
1/8" = 1'-0"

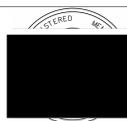
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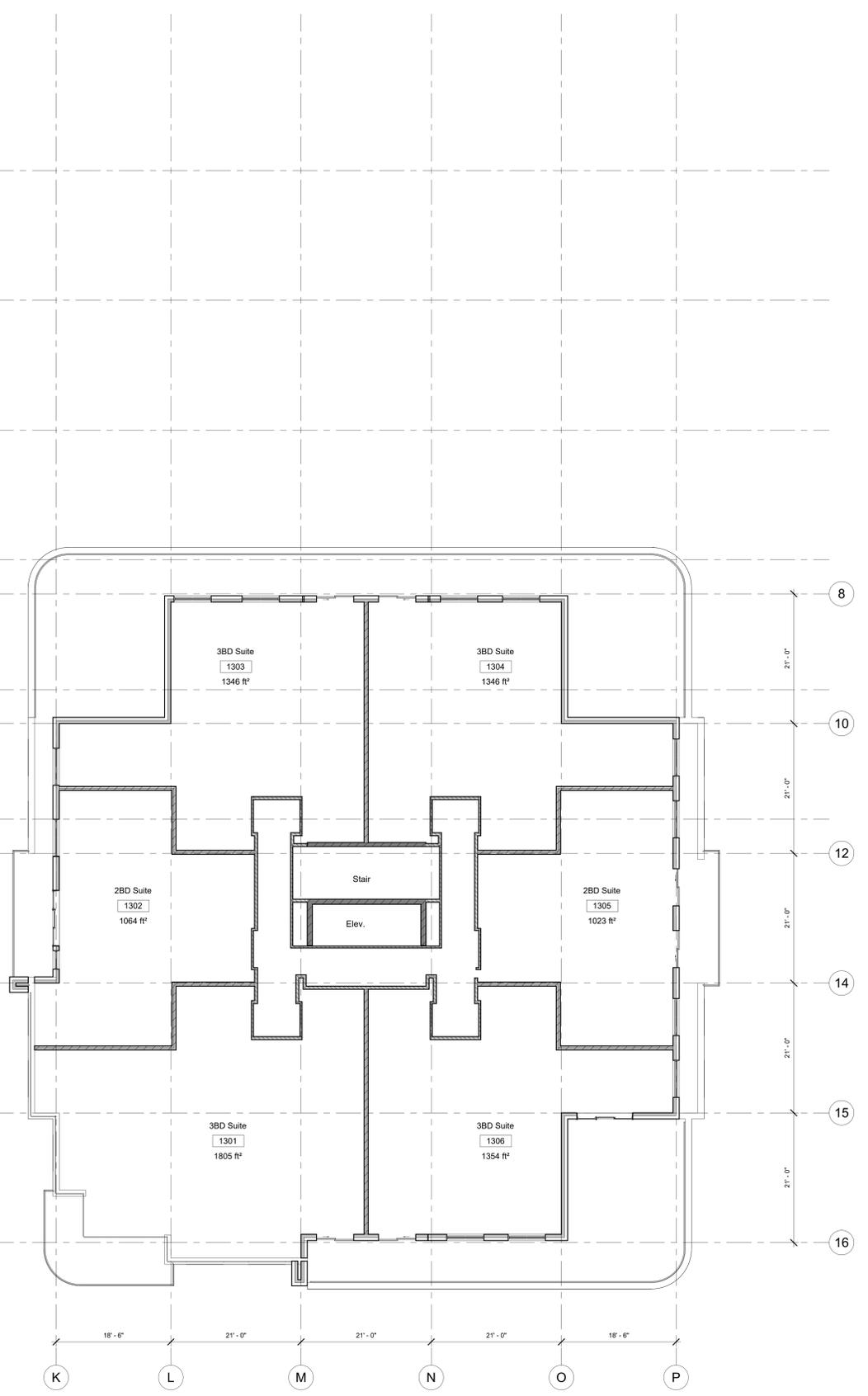
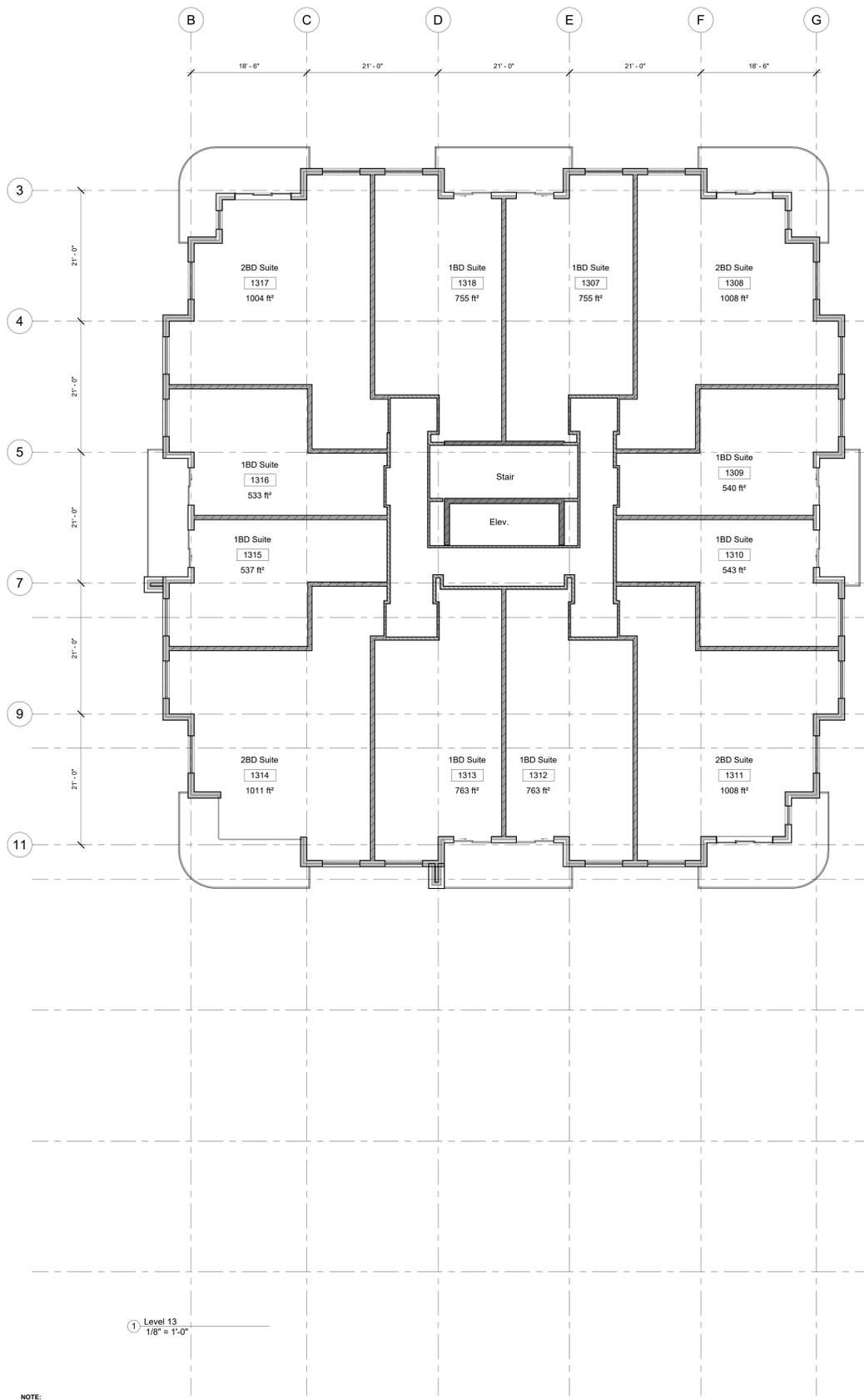


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Typical Tower Plan
Proposed Mixed Use Development
143 - 153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Date	2023-10-27	Drawn by	GJ
Scale	1/8" = 1'-0"	Checked by	PS
Project number	3110		
			A3.4

2023-09-29 11:52:34 AM



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GRAPHIC SCALE
0 8 16 24 32
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7) STRUCTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS (REPORT ANY DISCREPANCIES IMMEDIATELY)
8) SEE MECHANICAL & ELECTRICAL DRAWINGS FOR LOCATION & SIZE OF ALL HOLES IN FOUNDATION WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR FINAL LOCATIONS/SIZE SEE MECH./ELECT. DWGS.)

No.	Description	Date
1	Revised per HRM Comments	2024-04-24

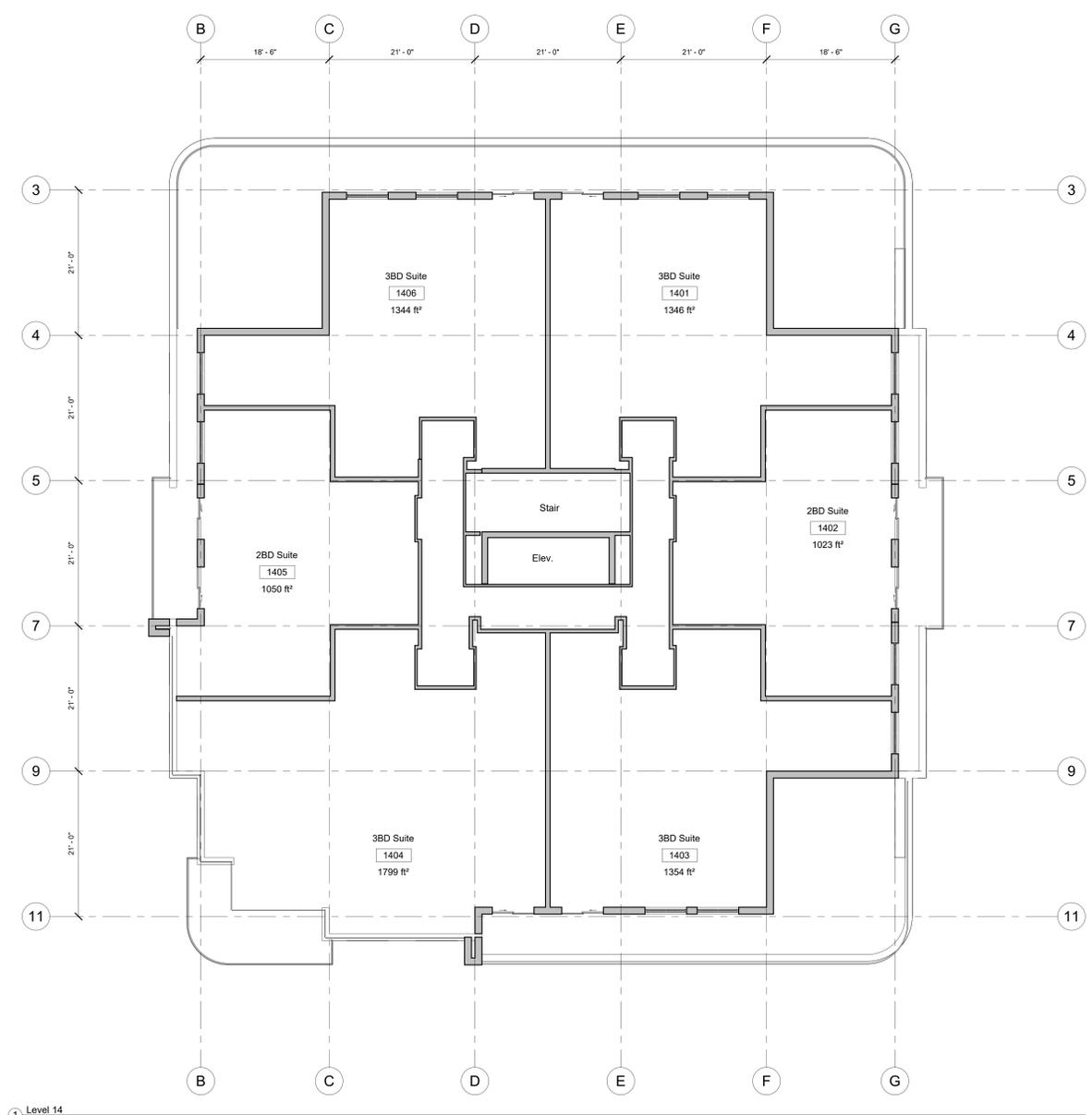
Paul Skerry Associates Ltd.
ARCHITECTS
5514 LIVINGSTONE PLACE
HALIFAX, N.S. B3K 2B9
Phone: 902-455-4361
E-mail: pskerry@pskerry.ca

Plan North
True North

Thirteenth Floor
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"	Project number	3110
A3.5		Drawn by	GJ

2023-09-29 11:50:35 AM



1) Level 14
1/8" = 1'-0"

NOTE:
-STRUCTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS.
(REPORT ANY DISCREPANCIES IMMEDIATELY)
-SEE MECHANICAL & ELECTRICAL DRAWINGS FOR LOCATION & SIZE OF ALL HOLES IN FOUNDATION
WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR FINAL LOCATIONS/SIZE SEE MECH./ELECT. DWGS.)

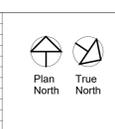


NOTES:
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No.	Description	Date
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Fourteenth Floor
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

Drawn by: GJ
Checked by: PS
A3.6
2024-05-20 11:50:35 AM



① Overall South Elevation
1/8" = 1'-0"

NOTES:
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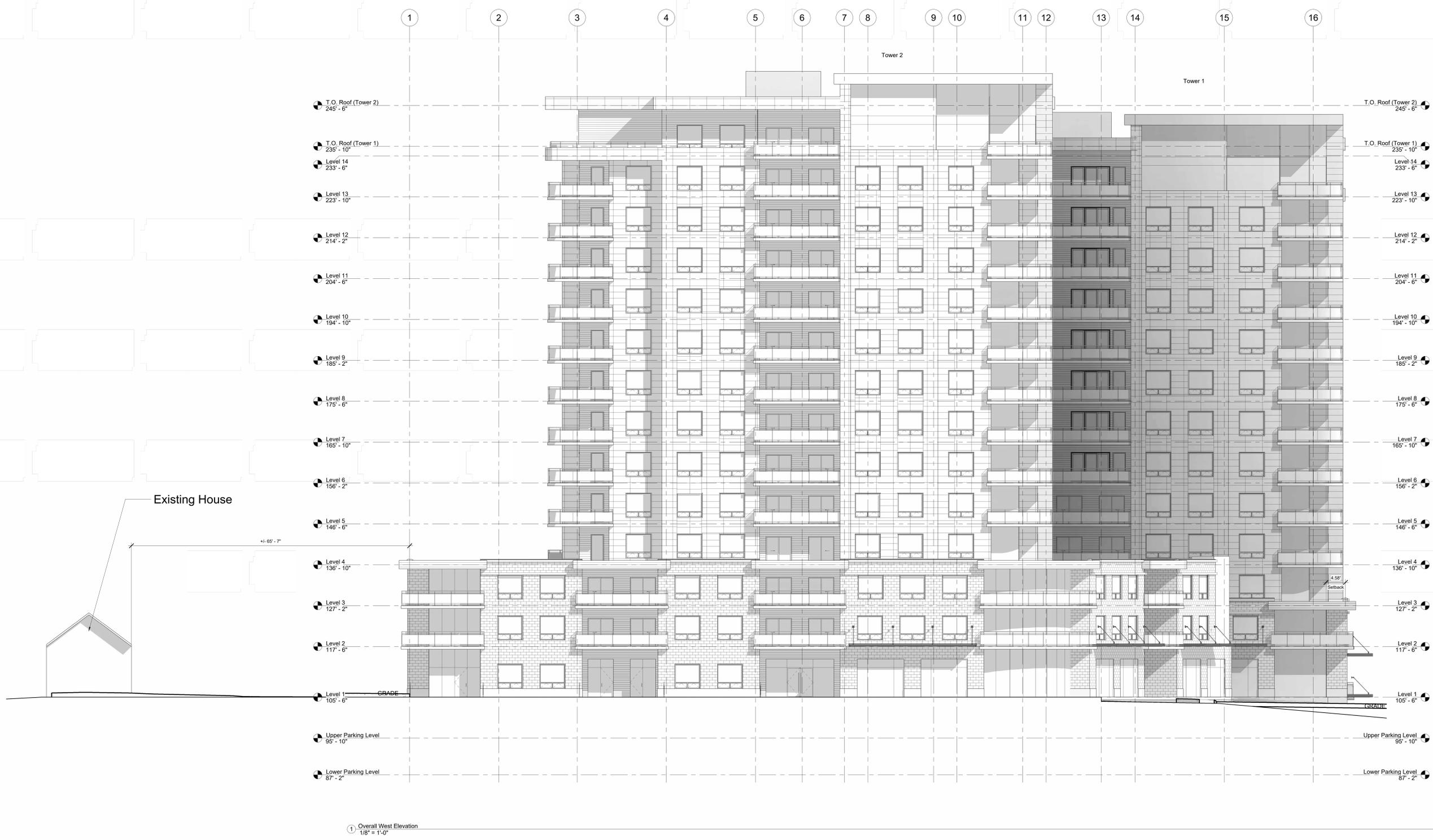
No.	Description	Date
1	Revised per HRM Comments	2024-04-24
2	Revised plans per HRM comments	2024-09-20

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Overall South Elevations
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date: 2023-10-27
 Scale: 1/8" = 1'-0"
 Project number: 3110
 Drawn by: GJ
 Checked by: PS
A4.0

2023-09-29 12:07:41 PM



① Overall West Elevation
1/8" = 1'-0"

NOTES:
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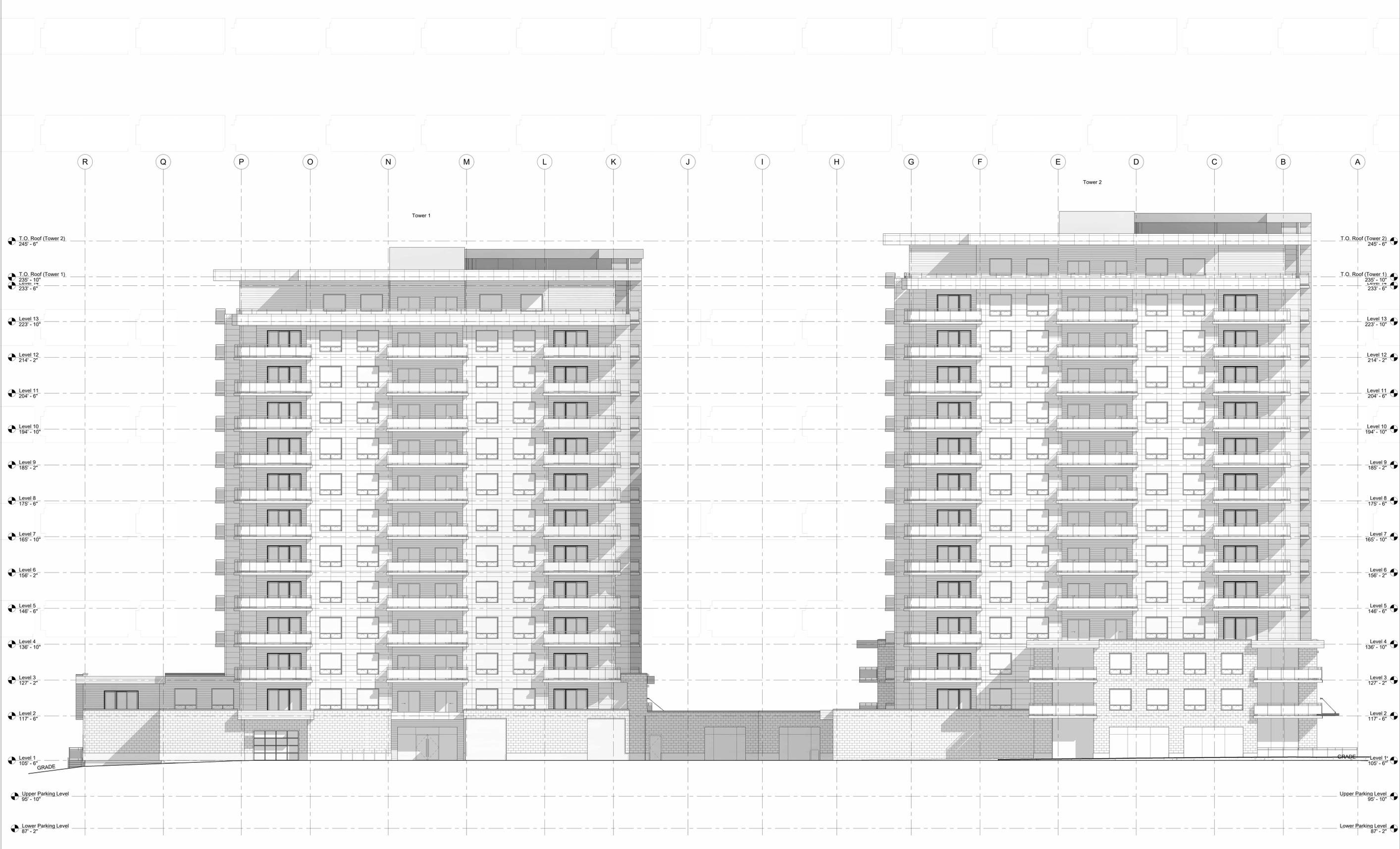
No.	Description	Date
1	Revised per HRM Comments	2024-04-24
2	Revised plans per HRM comments	2024-09-20

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Overall West Elevation
 Proposed Mixed Use Development
 143 - 153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date: 2023-10-27
 Scale: 1/8" = 1'-0"
 Project number: 3110
 Drawn by: GJ
 Checked by: PS
A4.1

2023-09-29 12:08:14 PM



NOTES:
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 Phone: 902-455-4361
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Overall North Elevation
 Proposed Mixed Use Development
 143 - 153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date: 2023-10-27
 Scale: 1/8" = 1'-0"
 Project number: 3110
 Drawn by: GJ
 Checked by: PS
A4.2
 2023-09-29 12:08:53 PM



1 Overall East Elevation
1/8" = 1'-0"

NOTES:
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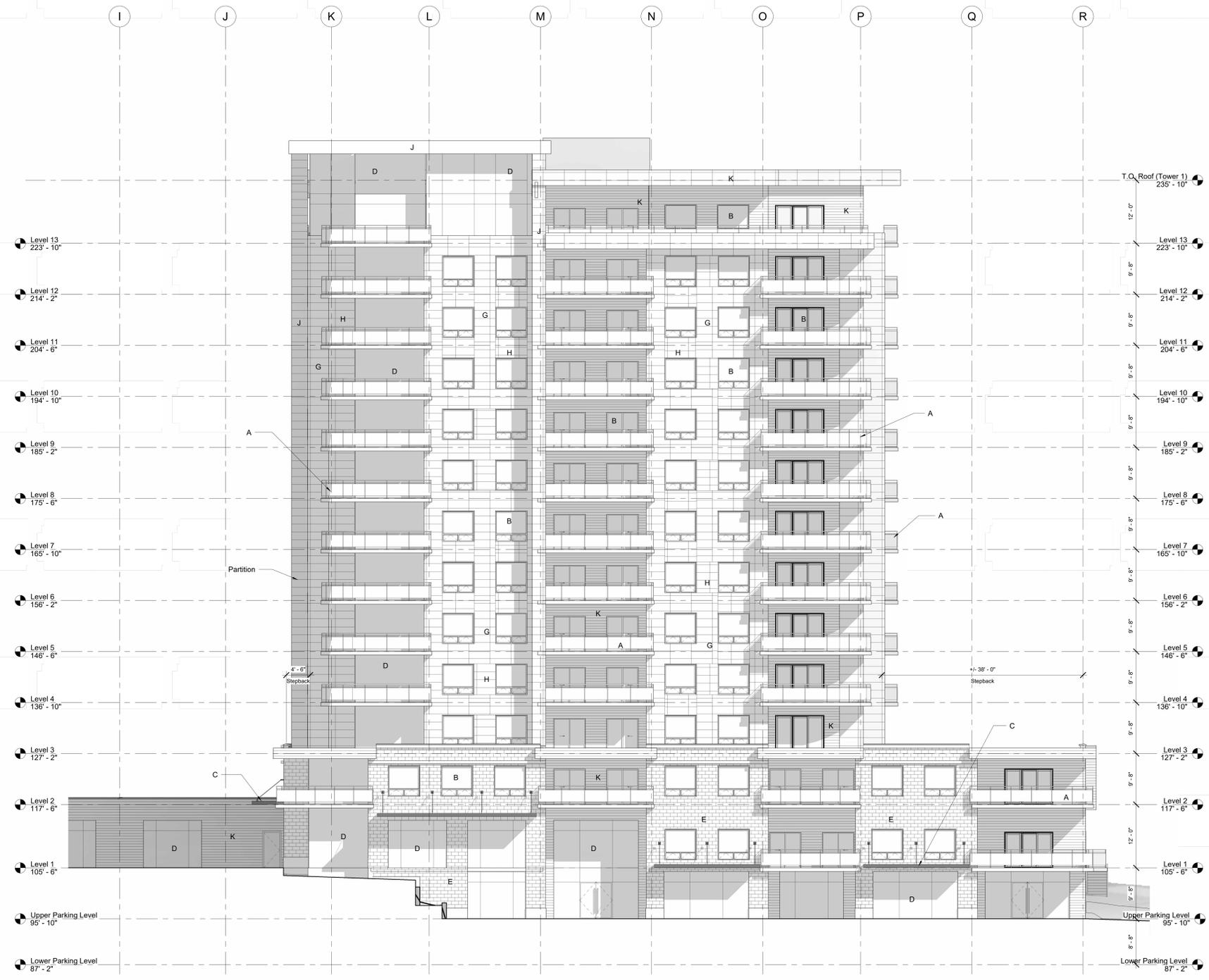
Overall East Elevation
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Drawn by	GJ
Scale	1/8" = 1'-0"	Checked by	PS
Project number	3110		

A4.3

2023-09-26 12:09:21 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



① T1 South Elevation
1/8" = 1'-0"

NOTES:

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No.	Description	Date
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 Phone: 902-455-4361
 E-mail: pskerry@pskerry.ca

Tower 1 South Elevation
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A4.4

2024-09-20 12:09:37 PM

Drawn by GJ

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



1) T1 West Elevation
1/8" = 1'-0"

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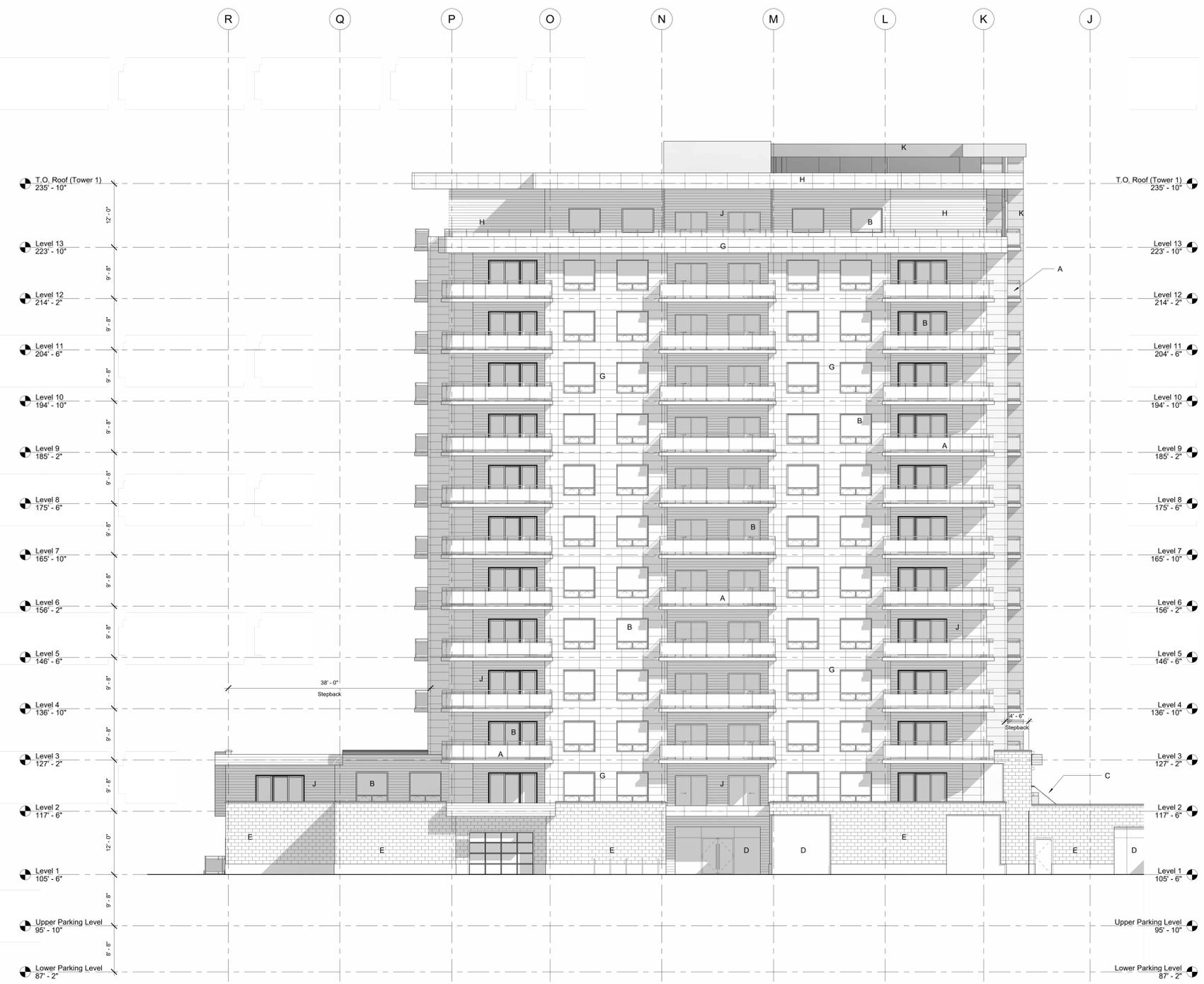
Tower 1 West Elevation
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A4.5

2023-09-29 12:09:59 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



① T1 North Elevation
1/8" = 1'-0"

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No.	Description	Date
1	Revised per HRM Comments	2024-04-24

Paul Skerry Associates Ltd.
ARCHITECTS
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 E-mail: pskerry@pskerry.ca

Tower 1 North Elevation
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A4.6

2024-05-29 12:10:39 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
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Tower 1 East Elevation
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	Scale	Project number	Drawn by	Checked by
2023-10-27	1/8" = 1'-0"	3110	GJ	PS

A4.7

2024-06-26 12:03 PM

- Legend:**
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



1 T2 South Elevation
1/8" = 1'-0"

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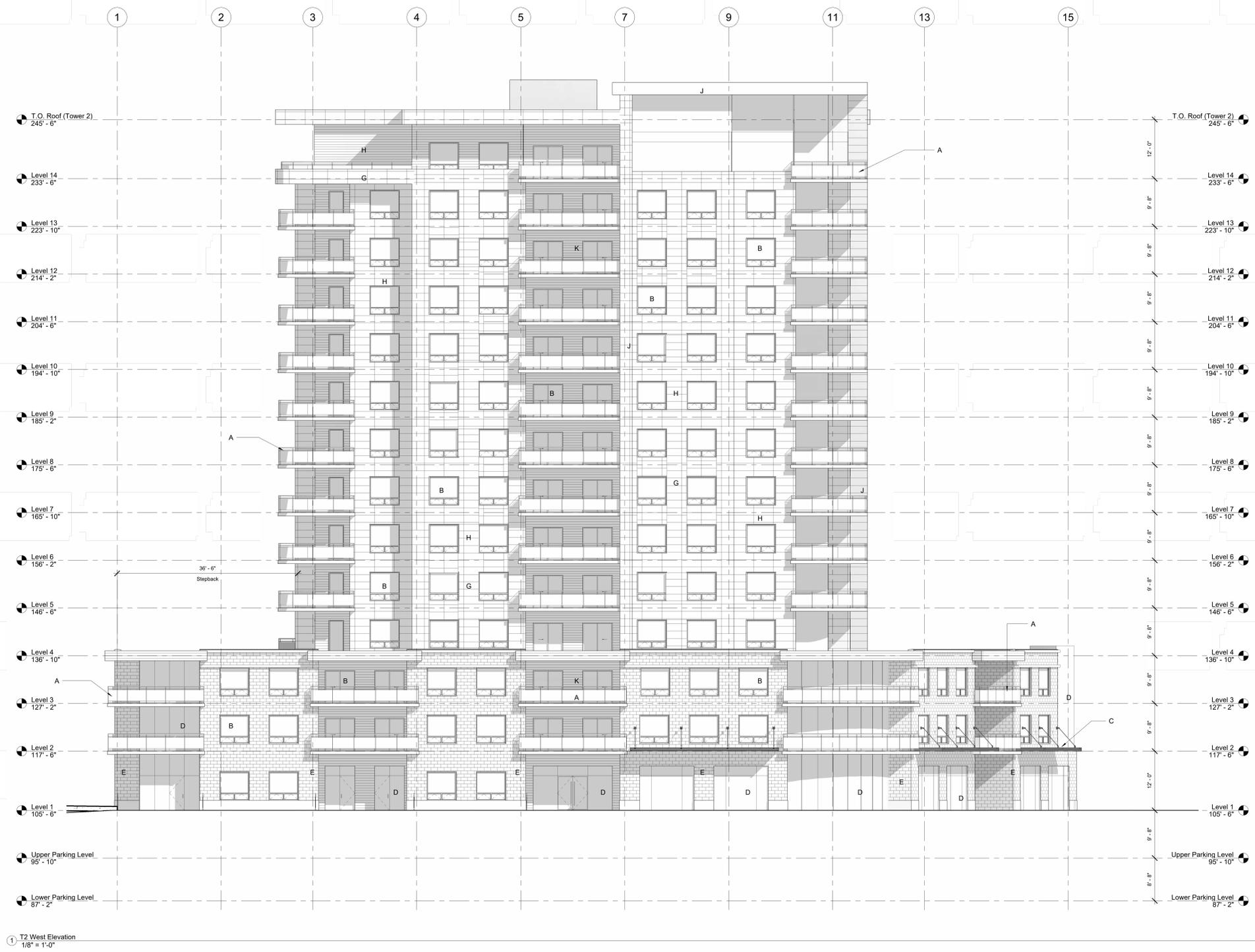
Tower 2 South Elevation
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A4.8

2024-05-29 12:02:38 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



1) T2 West Elevation
1/8" = 1'-0"

NOTES:

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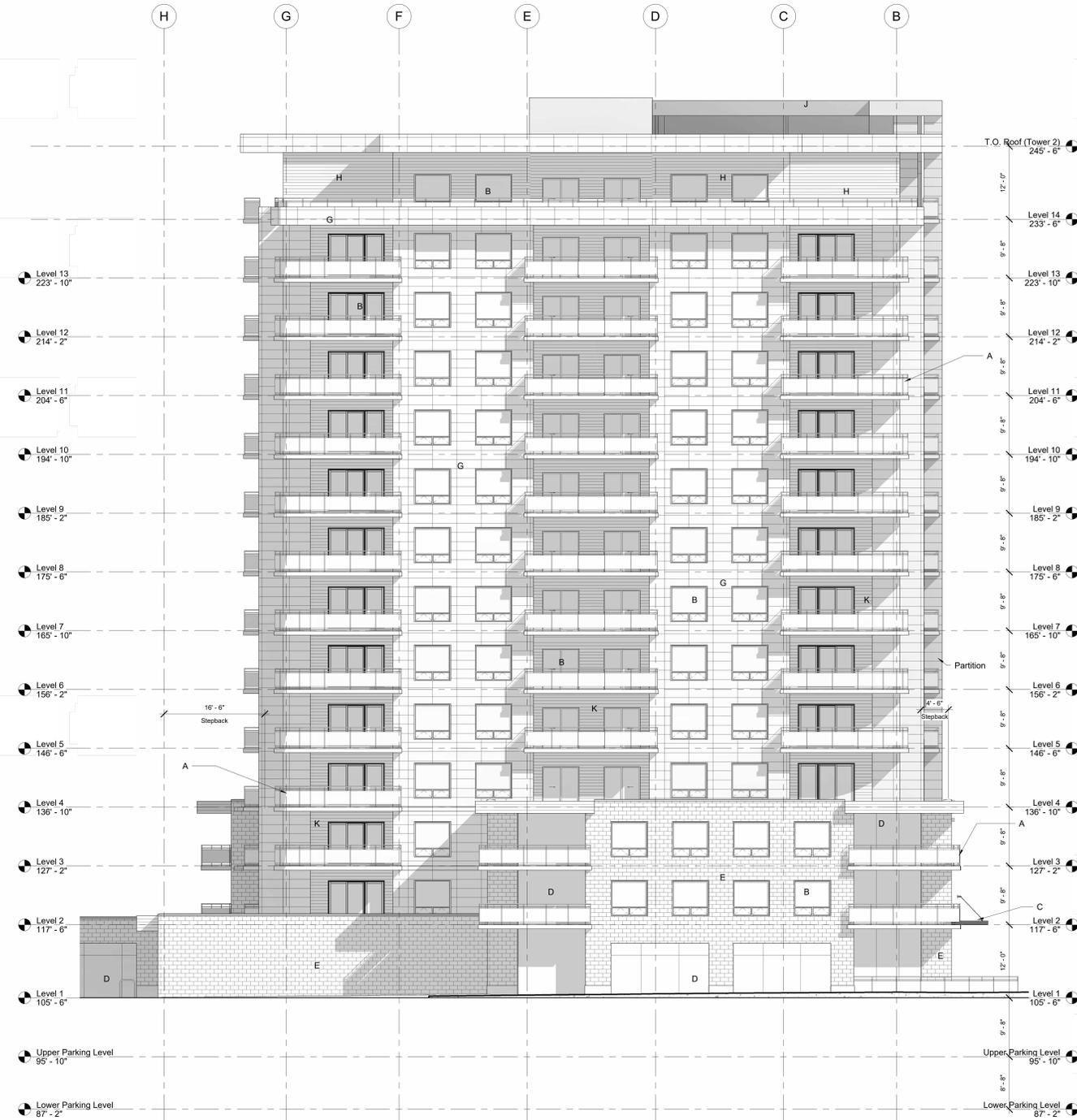
Tower 2 West Elevation
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		
Drawn by	GJ		

A4.9

2024-09-20 12:03:44 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



1 T2 North Elevation
1/8" = 1'-0"

NOTES:

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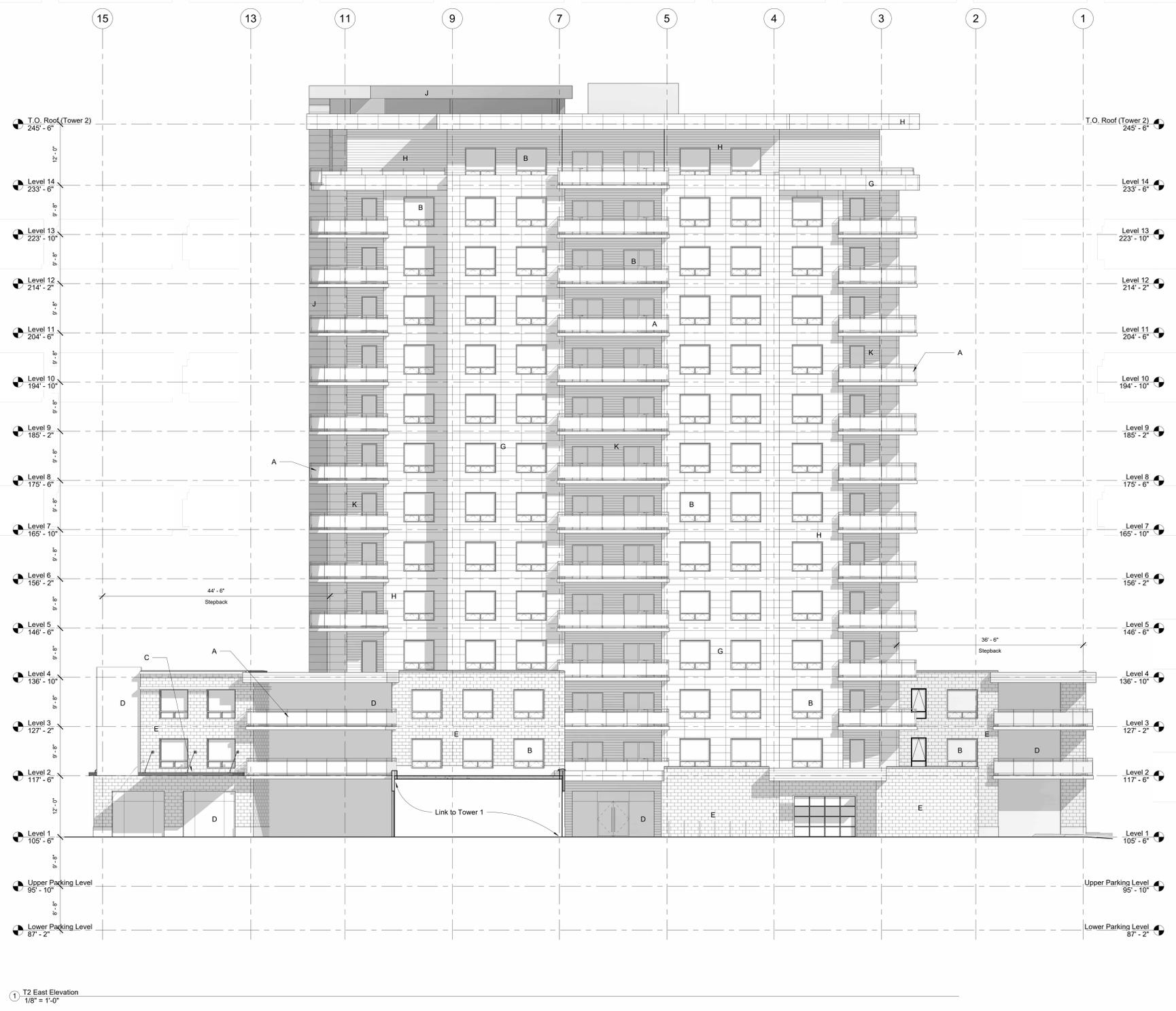
Tower 2 North Elevation
 Proposed Mixed Use Development
 143 - 153 Sackville Drive
 Sackville, NS
 For JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A4.10

2023-09-29 11:19 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



1 T2 East Elevation
1/8" = 1'-0"

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No.	Description	Date
1	Revised per HRM Comments	2024-04-24

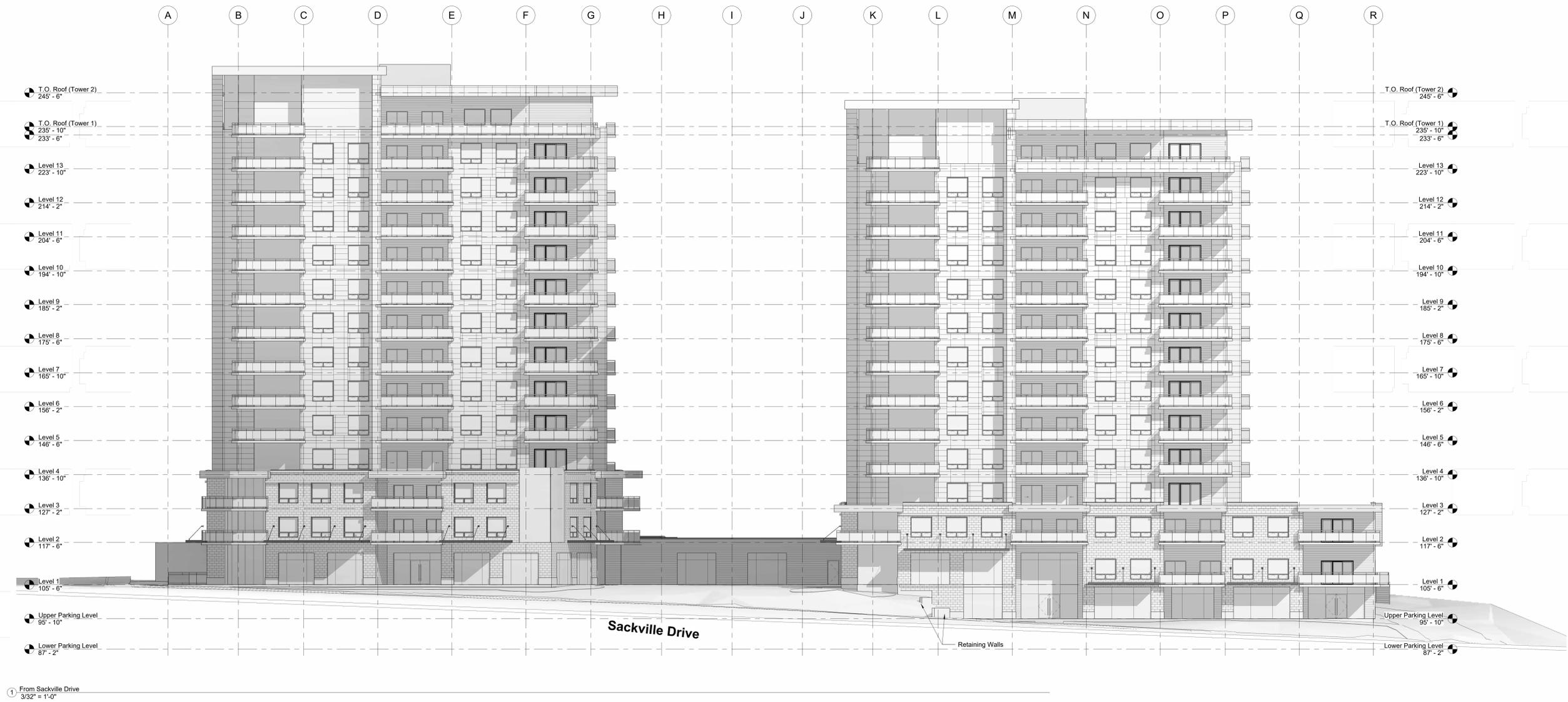
Paul Skerry Associates Ltd.
ARCHITECTS
 3514 LIVINGSTONE PLACE
 WALSLEY, N.S. B3K 2B9
 Phone: 902-455-4361
 E-mail: pskerry@pskerry.ca

Tower 2 East Elevation
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"	Drawn by	GJ
Project number	3110		

A4.11

2024-06-20 11:28 PM



NOTES:

- 1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING.
- 2) DO NOT SCALE FROM DRAWINGS USED FIGURED DIMENSIONS.
- 3) DRAWING REPRESENTATIONS MAYBE IN VARIANCE W/ DETAILED SPECS. & SCHEDULES. IN WHICH CASE SPECS. & SCHEDULES OVERRIDE THE DRAWINGS.

- 4) CHANGES FROM THESE PLANS & SPECS. MUST BE AGREED TO IN WRITING, & APPROVED BY THE ARCHITECT & OWNER, BEFORE PROCEEDING.
- 5) ONLY THOSE DRAWINGS MARKED APPROVED FOR CONSTRUCTION, ARE TO BE USED FOR CONSTRUCTION.
- 6) THESE DRAWINGS ARE TO BE READ IN CONJUNCTION W/ THE SPECS.



No.	Description	Date
1	Revised plans per HRM comments	2024-09-20

Paul Skerry Associates Ltd.
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 5514 LIVINGSTONE PLACE
 WALSLEY, N.S. B3K 2B9
 Phone: 902-455-4361
 E-mail: pskerry@pskerry.ca

From Sackville Drive
 Proposed Mixed Use Development
 143 -153 Sackville Drive
 Sackville, NS
 For: JP Sun Developments

Date: 2023-10-27
 Scale: 3/32" = 1'-0"
 Project number: 3110

Drawn by: GJ
 Checked by: PS
A4.12
 2024-09-20 12:15 PM