

Heritage Advisory Committee  
November 26, 2025

Item 9.1.3  
**HALIFAX**

**HRTG-2025-01649**

**College & Carlton Streets, Halifax**

Application for a Substantial Alteration to Multiple  
Heritage Properties on College & Carlton Streets

# Application

**Applicant:**

ZZap Inc.

**Application Type:**

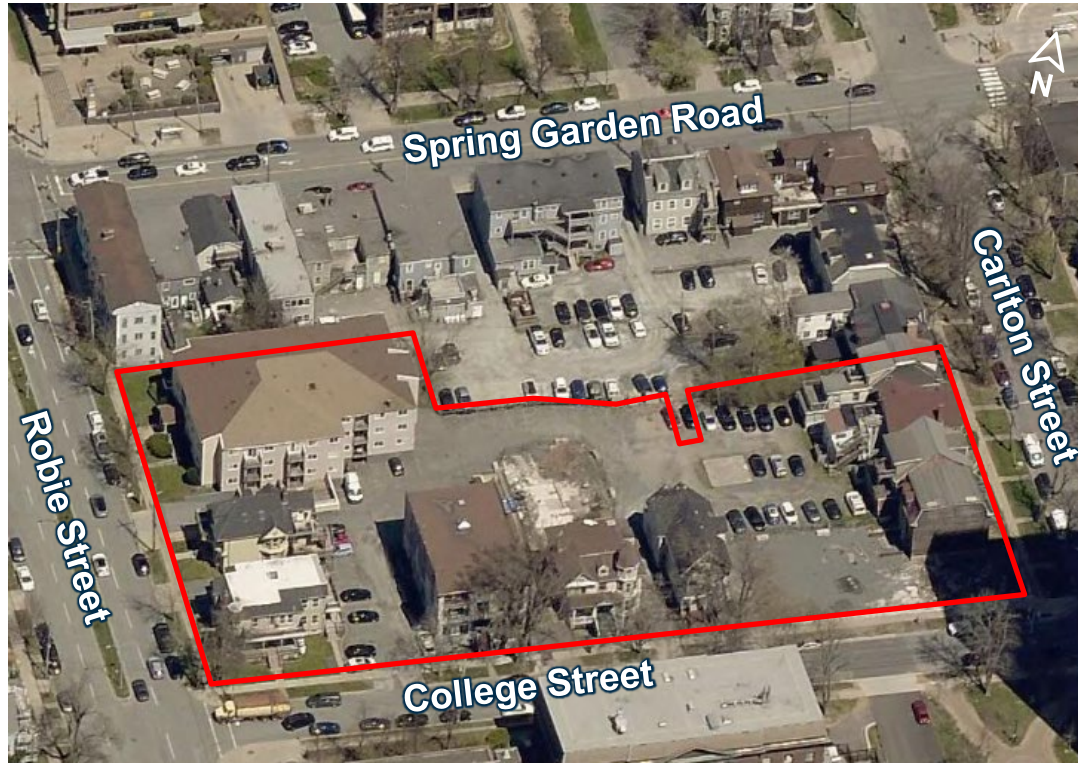
Substantial Alteration

**Location:**

Southern half of the block bound by Spring Garden Road, Robie, College, and Carlton Streets

**Associated Application:**

Heritage Development Agreement  
PLANAPP-2024-01098 (in review)



Map of the surrounding area with the subject site in red

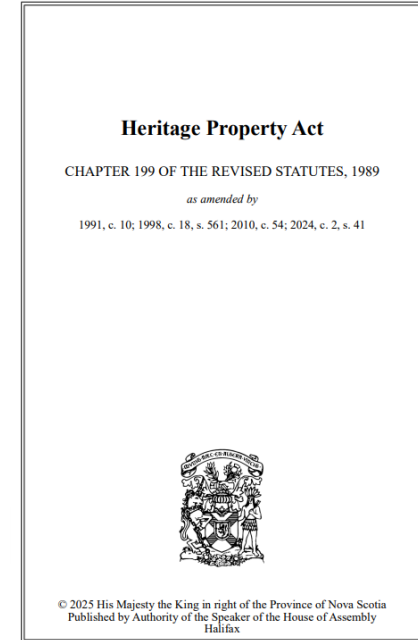
# Substantial Alteration Legislation

The *Heritage Property Act* defines a **substantial alteration** as:

“any action that affects or alters the character-defining elements of a property”

The *Heritage Property Act* defines **character-defining elements (CDEs)** as:

“the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to heritage value and that must be sustained in order to preserve heritage value”



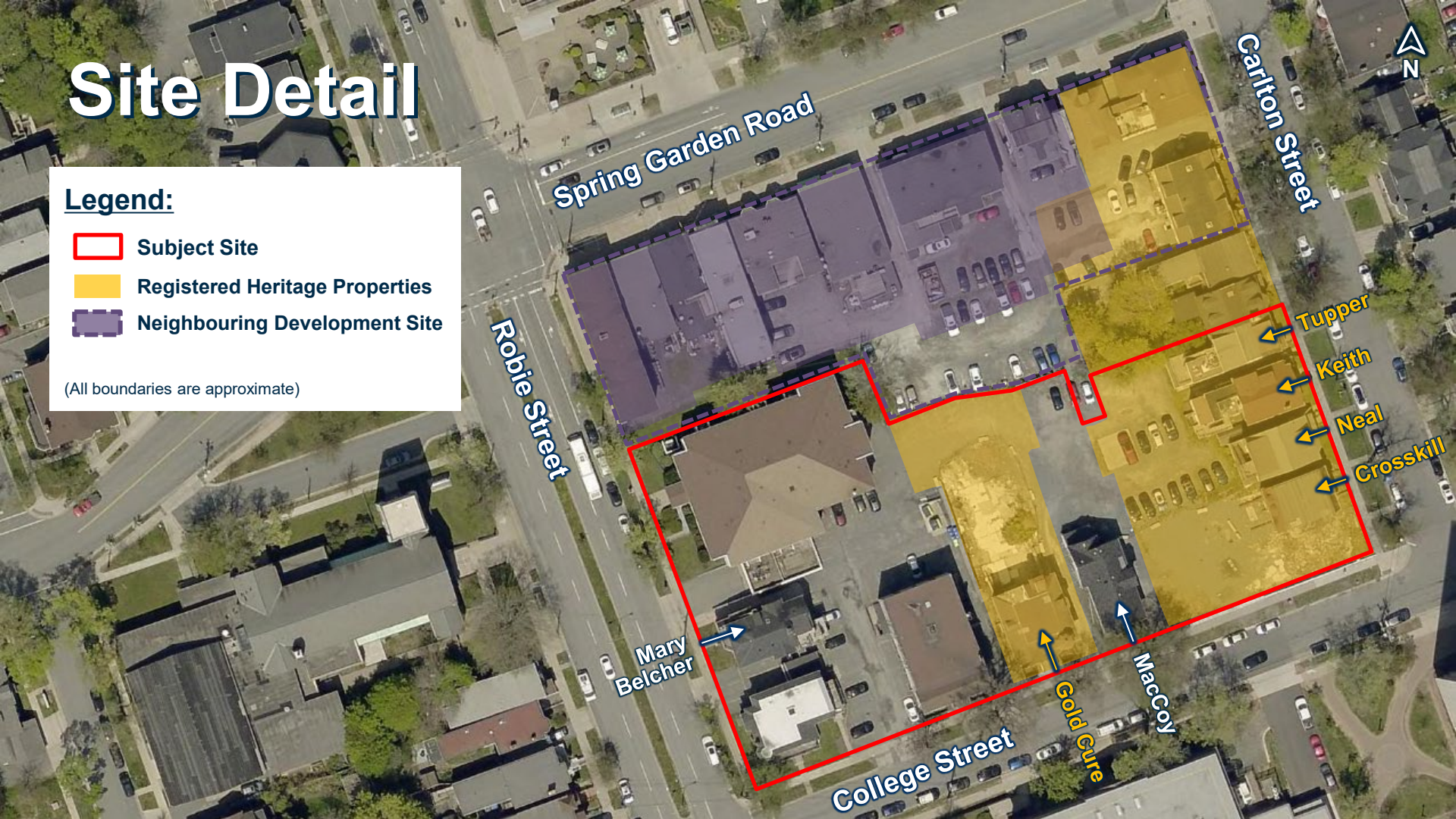


# Site Detail

## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site

(All boundaries are approximate)





# Site Detail

## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site

(All boundaries are approximate)



# Heritage Property Summaries

## Gold Cure Institute

- The Queen Anne revival style building, built c. 1894
- Associated with an early addiction treatment centre, and with fish merchant Howard H. Smith
- And is a strong example of its style with a high level of heritage integrity



Gold Cure Institute, Nov. 2025



# Site Detail

## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site

(All boundaries are approximate)



# Heritage Property Summaries

## Crosskill Residence

- Second Empire style building, built c. 1865
- Associated with liquor manufacturer and merchant, James Crosskill, as well as piano and organ seller William H. Johnson
- Very low integrity





# Site Detail

## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site

(All boundaries are approximate)



# Heritage Property Summaries

## Neal Residence

- Mid-Victorian plain style building, built c. 1865
- Associated with hardware merchant / ship chandler, George Tropp, as well as William Neal and James White of Neal White & Co. dry goods importers
- Associated with NS Premier, Ernest Howard Armstrong
- Moderate integrity





# Site Detail

## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site

(All boundaries are approximate)



# Heritage Property Summaries

## Keith Residence

- Queen Anne revival style building, built c. 1906
- Associated with Thomas Keith, postal clerk for the Railway Mail Service
- Moderate integrity



Keith Residence, Nov. 2025



# Site Detail

## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site

(All boundaries are approximate)



# Heritage Property Summaries

## Tupper Residence

- 'Halifax House' style building, built c. 1866
- Associated with Susan Tupper, widow of the merchant Edward Tupper, and their son Conrad, a clerk at the Halifax Customs House
- Moderate integrity



Tupper Residence, Nov. 2025

13



# Site Detail

## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site

(All boundaries are approximate)



# Unregistered Properties

## Mary Belcher Residence

- Queen Anne revival style building
- Moderate integrity

## MacCoy Residence

- Queen Anne revival style building
- Moderate integrity



Mary Belcher Residence, Nov. 2025



MacCoy Residence, Nov. 2025

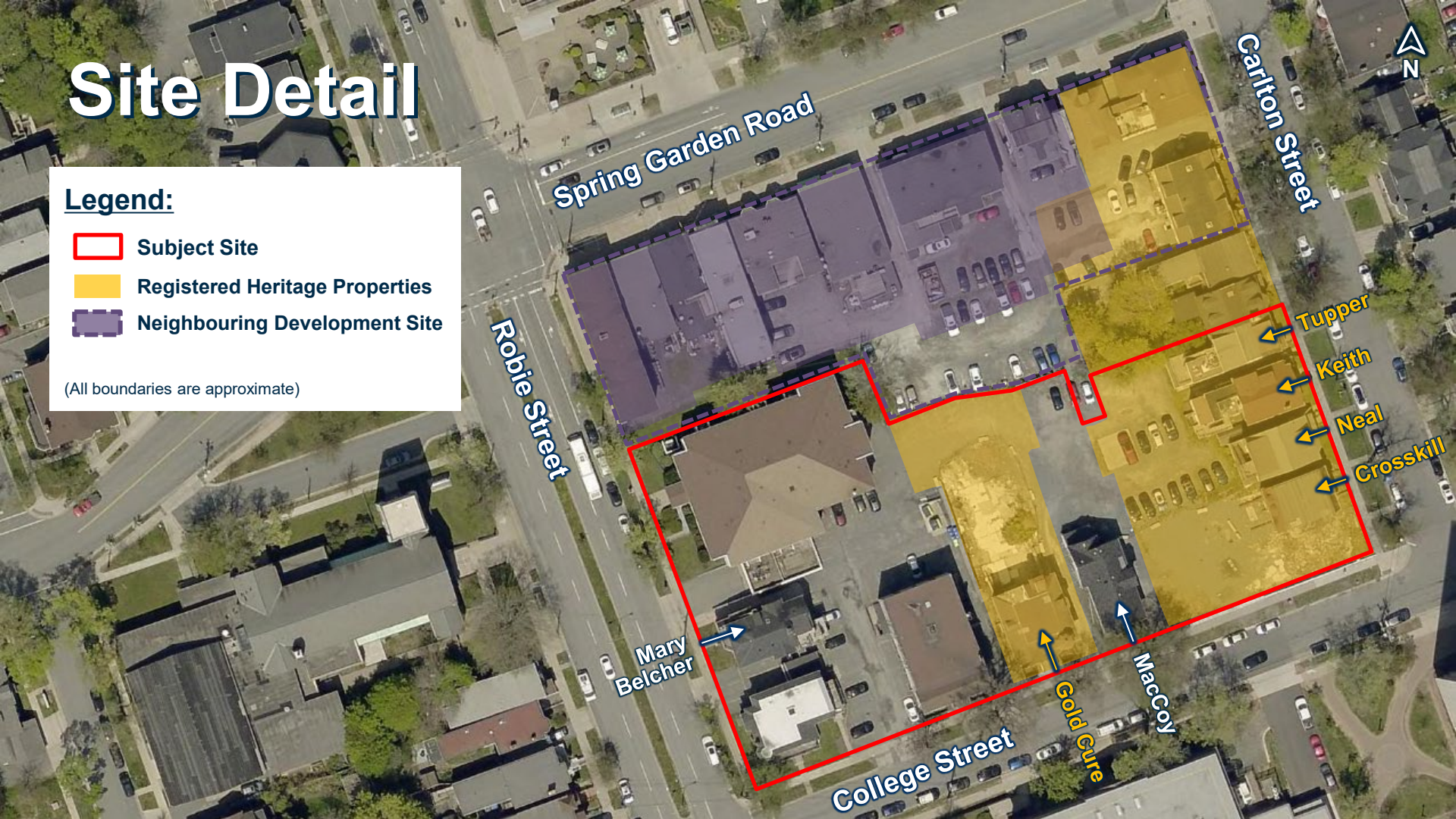


# Site Detail

## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site

(All boundaries are approximate)





# Site Detail

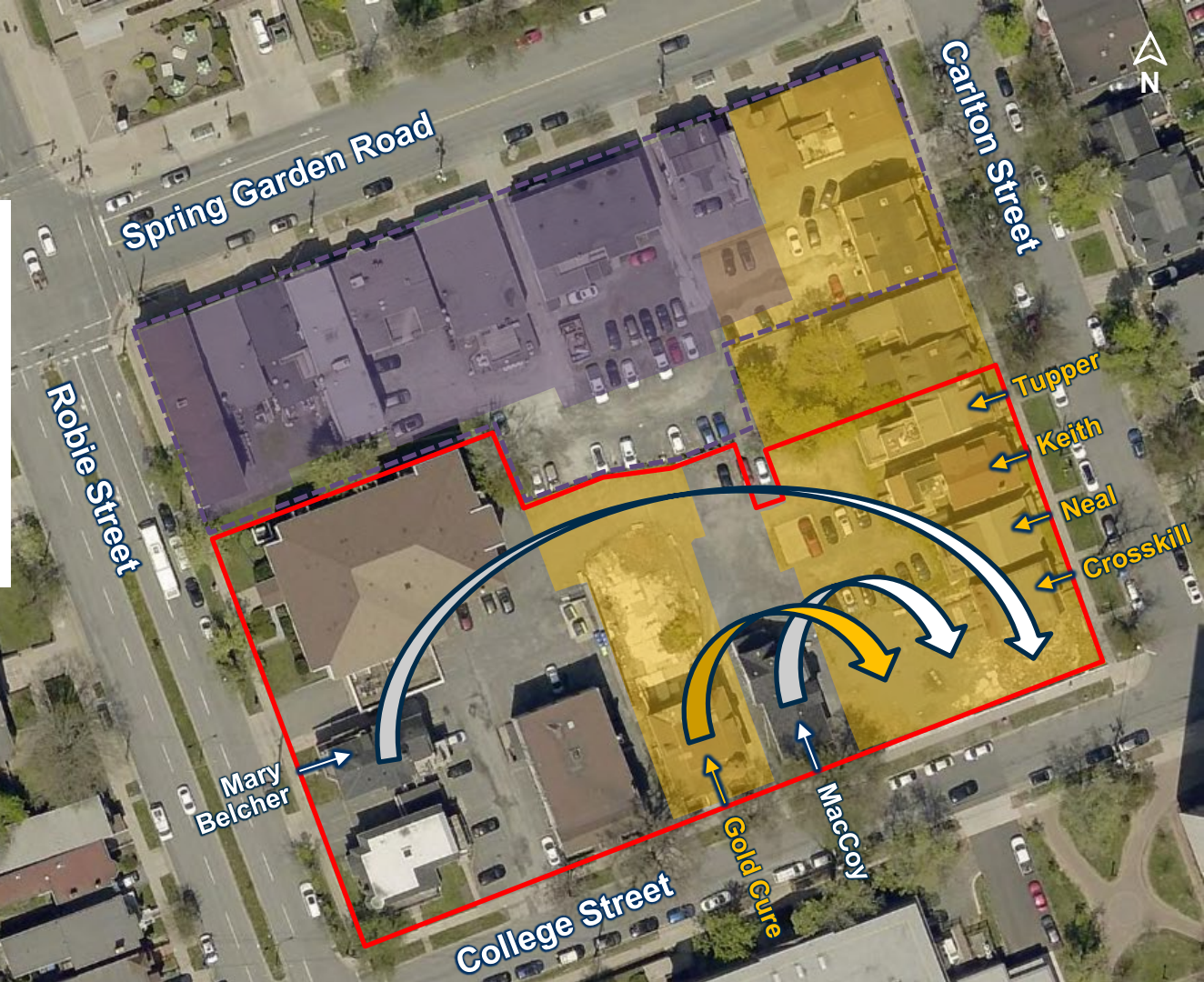
## Legend:

-  Subject Site
-  Registered Heritage Properties
-  Neighbouring Development Site



Relocations  
(already approved)

(All boundaries are approximate)



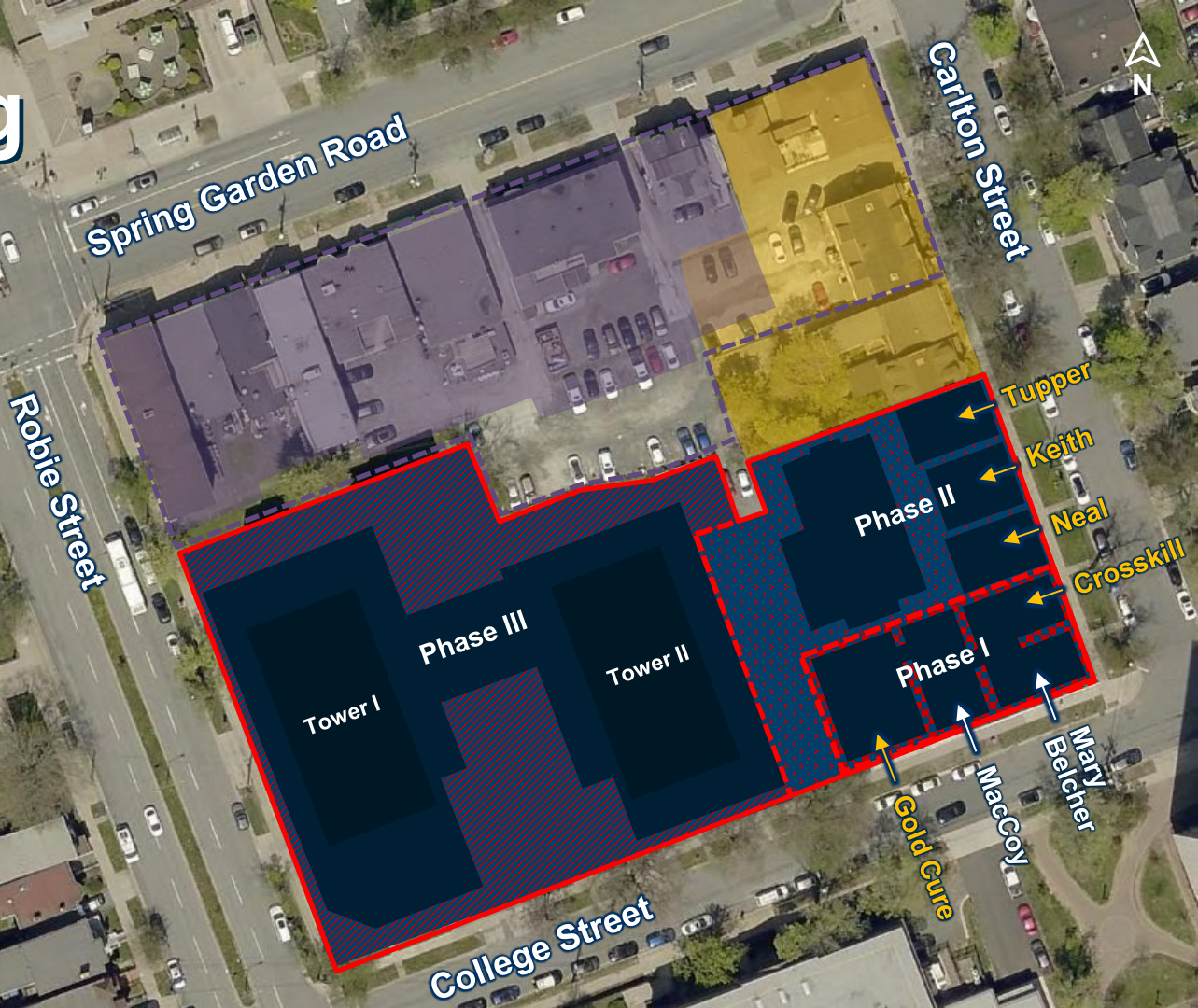


# Site Phasing

## Legend:

-  Subject Site
-  Proposal Phase I
-  Proposal Phase II
-  Proposal Phase III
-  Registered Heritage Properties
-  Neighbouring Development Site

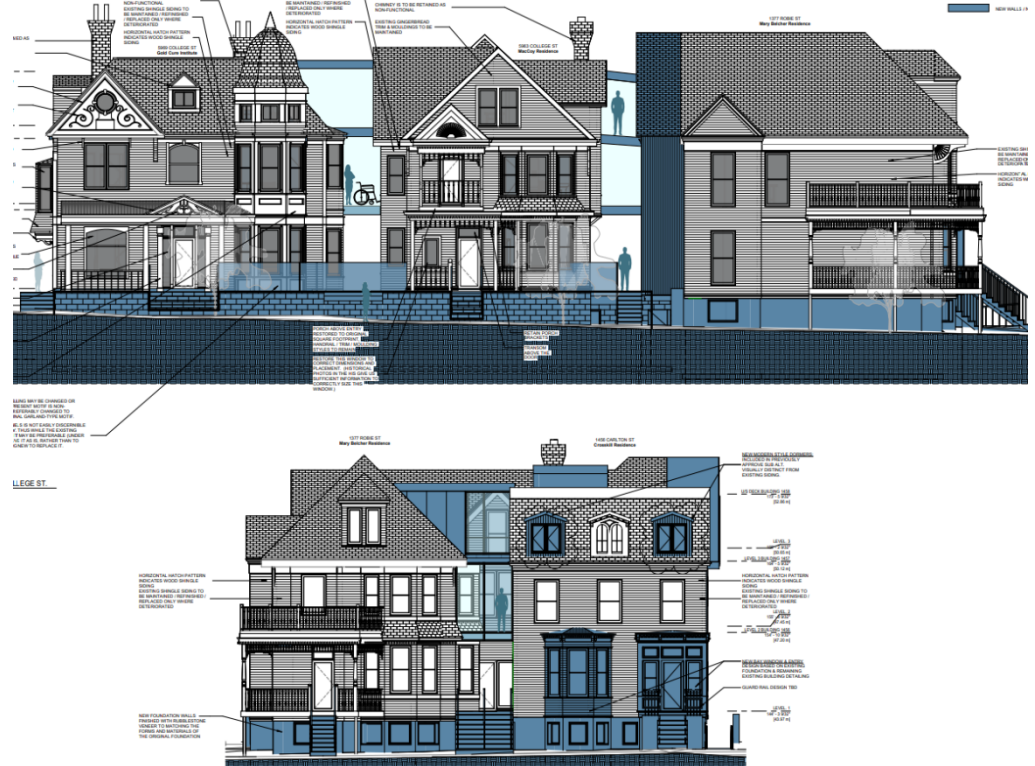
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# Phase 1

## Historic Apartment Complex:

- Adaptive re-use of two registered (Gold Cure & Crosskill) and two unregistered (Mary Belcher & MacCoy) buildings:
- New shared foundation
- Interconnected on 2<sup>nd</sup> and 3<sup>rd</sup> storeys by glass corridors
- Accessible design
- Rehabilitation of all buildings



Phase 1 elevations (top - College St, bottom - Carlton St)



# Phase 2

## Rehab 3 Houses + 10-Storey Building:

- Rehabilitation in-situ of Neal, Keith, & Tupper buildings
- New (not-shared) foundations
- Some restoration of lost elements in addition to the rehabilitation
- Construction of a separate, 10-storey residential building in behind



Phase 2 model (Carlton St)

# Phase 3

## Two 34-Storey Mixed-Use Towers:

- Two 34-storey towers with linked podiums surrounding a courtyard
- Separated from all heritage buildings in Phases 1 & 2



Phase 3 model (corner of Robie and College Streets)



# Elements Not for Consideration

## **Previous SubAlts & Relocations:**

- The relocation of the Gold Cure Institute, Mary Belcher, and MacCoy buildings to the corner of College and Carlton Streets has already been approved through two prior SubAlt applications

## **Non-Substantial Alterations:**

- Repair and, where necessary, replacement in-kind of the character-defining elements of the Registered Heritage Properties

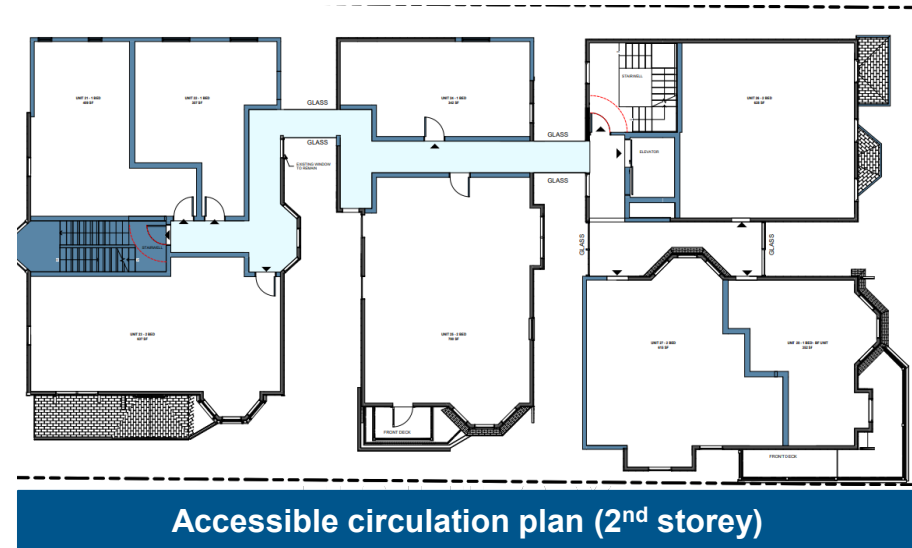
## **Rehabilitation of Unregistered Buildings:**

- The unregistered Mary Belcher and MacCoy buildings will be rehabilitated

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# Substantial Alterations

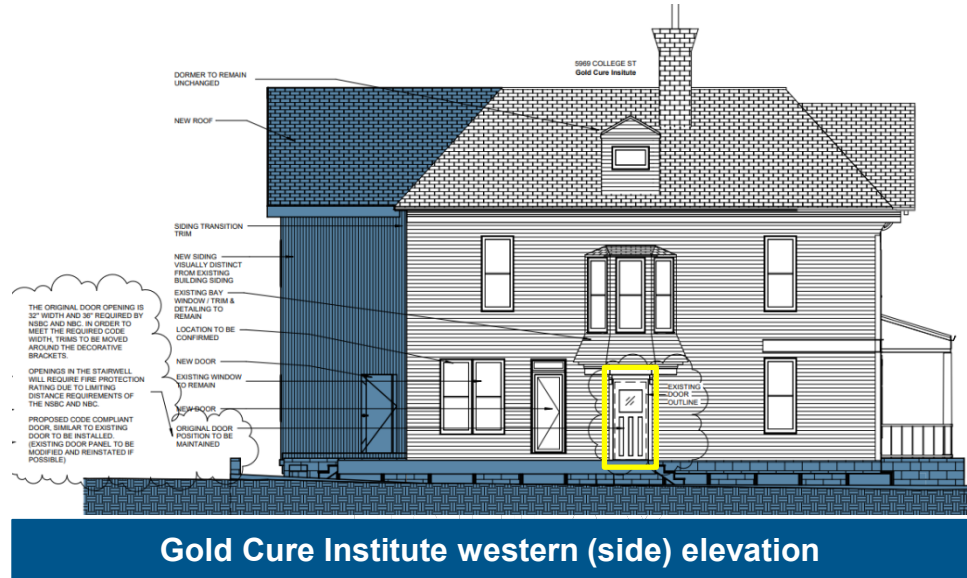
- i. **Connecting the Gold Cure Institute and Crosskill Residence to the MacCoy and Mary Belcher Residences on the second and third storeys by glass corridors:**
- No ground-level connections between buildings
  - Strategic connecting points retain CDEs
  - Transparent design minimizes visual impact
  - Meets accessibility and safe egress needs





# Substantial Alterations

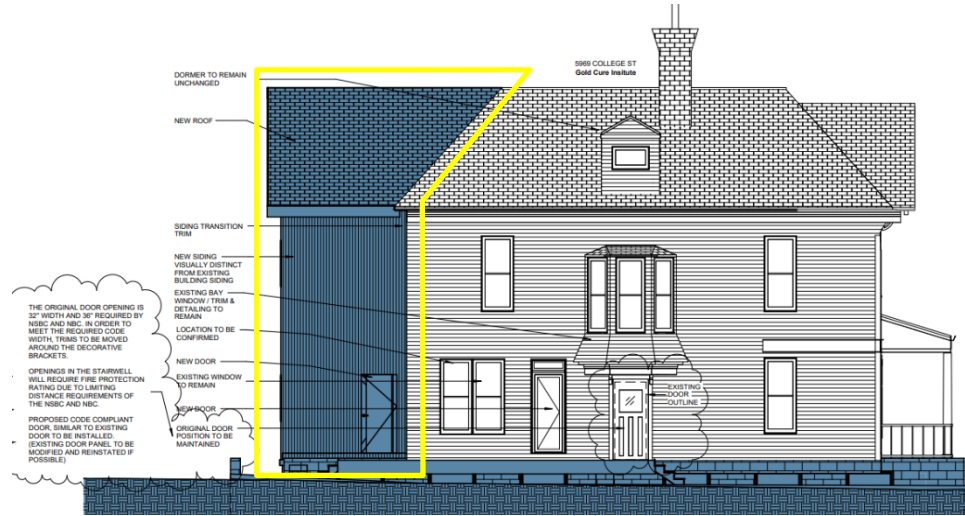
- ii. **Modifications to the Gold Cure Institute's side door to achieve a code-compliant stairwell, retaining the existing door panel if possible and replicating if necessary:**
  - Doorway is required to be two inches wider and fire-protected to meet building code
  - Door trim placement to be adjusted, and existing door to be adapted if possible; if not, a compliant replacement replicating the original is proposed
  - Follows minimal intervention approach



# Substantial Alterations

## iii. Construction of an addition to the rear of the Gold Cure Institute:

- There are no character-defining elements on the rear elevation
- Extension of the existing building envelope directly rearward keeps the addition subordinate and minimally visible
- Fine-scaled siding and roofing materials for compatibility
- Vertical siding orientation for distinguishability

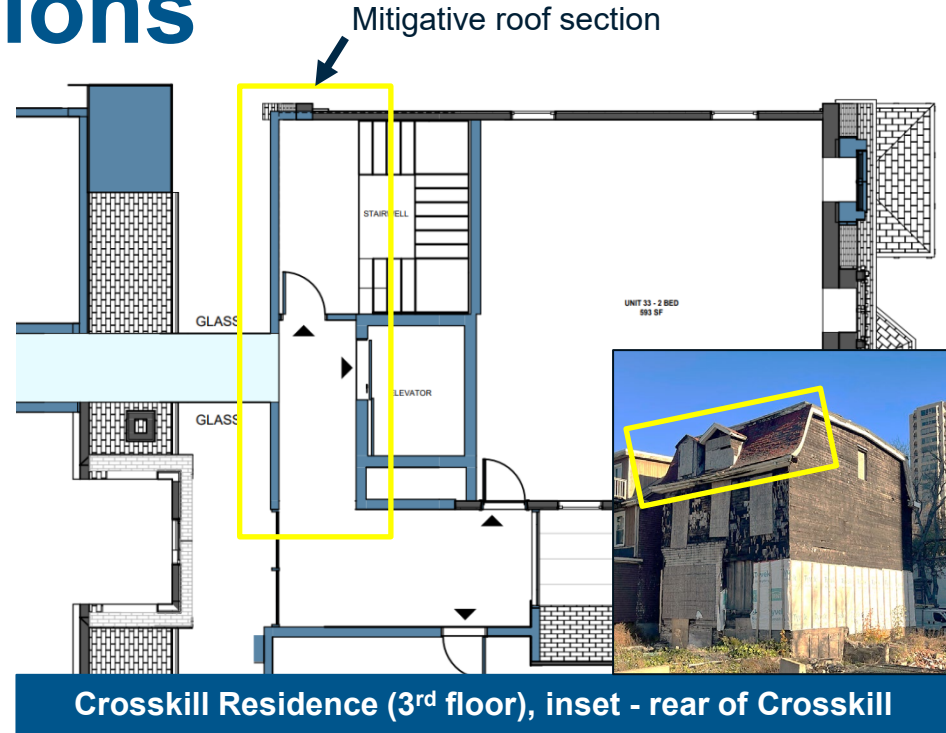


Gold Cure Institute western (side) elevation



# Substantial Alterations

- iv. **Alteration of the Crosskill Residence's rear mansard roof and removal of the rear central dormer to accommodate a code-compliant stairwell and elevator core:**
- Accommodates the main stairwell and elevator core which are required to meet code requirements for accessibility and fire safety
  - Fully removes the rear central dormer and heavily alters the rear mansard roof
  - Locating the stairwell/elevator here minimizes alterations to the other higher-integrity Phase 1 buildings



# Substantial Alterations

- v. **Replacement of the Crosskill Residence's foundation with a new shared poured-concrete foundation faced in rubblestone veneer**
- Original stone foundation has been parged and reinforced with concrete:



- New foundation (shared with other Phase 1 buildings) will be faced with a veneer of reclaimed or otherwise appropriate rubblestone



To be rubblestone veneer

**Crosskill Residence front (east) elevation**



# Substantial Alterations

- vi. **Addition of two dormer windows to the front of the Crosskill Residence:**
- Provides daylight and ventilation for a third-storey living space
  - Alters the mansard roof (a CDE), but the mansard remains legible, and the front façade's second- and third-storey symmetry is maintained
  - The new dormers directly reference the existing dormer in form and placement for compatibility
  - They use modern cladding and alu-clad windows for distinguishability



Crosskill Residence front (east) elevation

# Substantial Alterations

- vii. **Sympathetic rehabilitation of the Crosskill Residence's enclosed front porch and canted bay window and reinstatement of lost cladding, windows, doors, and other elements:**
- Due to limited documentary evidence, not a complete restoration, but a sympathetic rehabilitation
  - Rebuilding the original bay window and enclosed porch
  - Returns the building as closely as possible to its c.1918 appearance
  - Based on physical evidence (foundations), historic mapping, and more recent photos



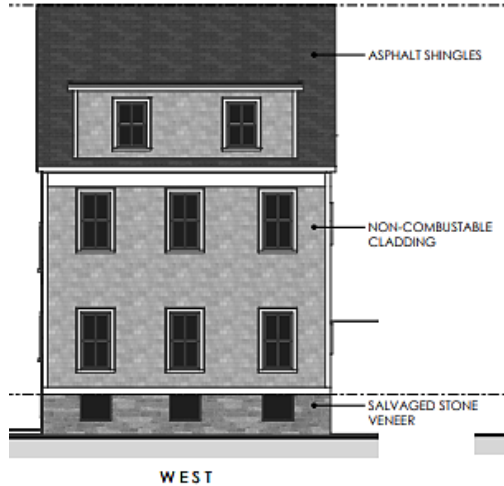
Crosskill Residence front (east) elevation



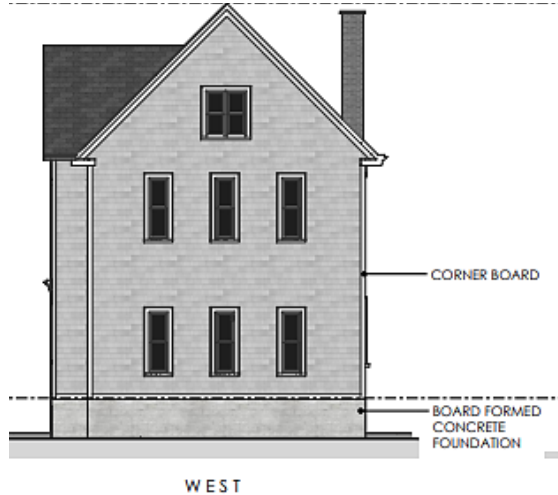
# Substantial Alterations

- viii. **Removal of rear additions, reinstatement of rear walls, replacement of side and rear cladding, and replacement of foundations for the Neal, Keith, and Tupper Residences, with new poured-concrete foundations (not shared), faced in materials appropriate to the age and style of each building:**
- Reinstates original plans/footprints by removing non-character-defining rear additions
  - Reinstates rear fenestration in an arrangement appropriate to each building
  - Existing foundations, which have been partly parged and/or overpoured with concrete, would be replaced with new foundations faced in appropriate veneer materials for each building (rubblestone, board-formed concrete, brick in same colour and bond pattern)
  - Side and rear cladding (mostly modern) to be replaced with non-combustible shingles to meet building code requirements for fire safety; front facades to remain wood shingle

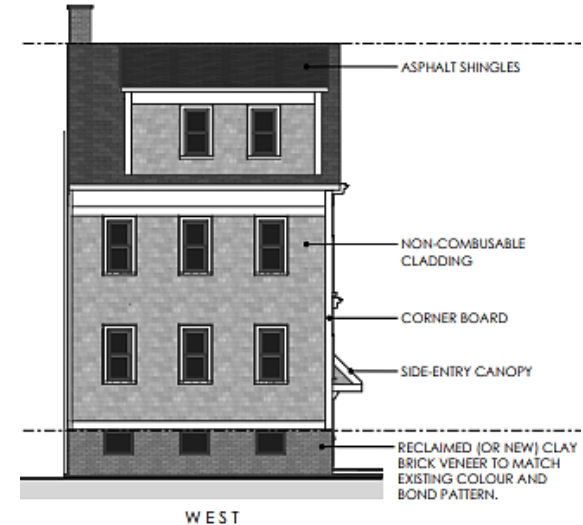
# Substantial Alterations



**Neal Residence**  
rear (west) elevation



**Keith Residence**  
rear (west) elevation

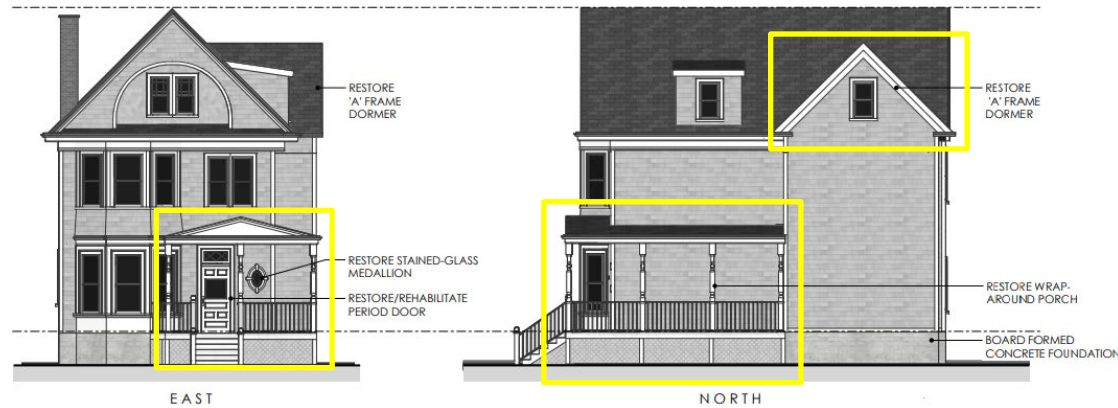


**Tupper Residence**  
rear (west) elevation

# Substantial Alterations

## ix. Restoration of the wrap-around porch, northern side wall, and northern side A-frame gable dormer of the Keith Residence:

- Guided by both physical and documentary evidence, including historical photographs and building permits
- Retains surviving elements including the pedimented porch roof, brackets, and turned posts
- Removes a later side addition

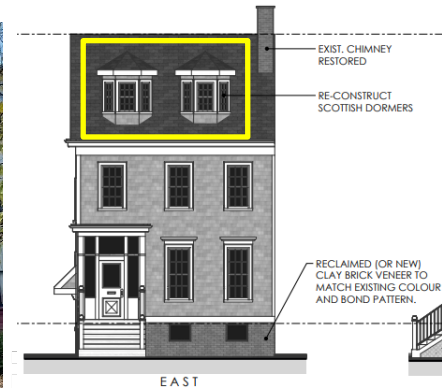


Keith Residence front (east) and side (north) elevation



# Substantial Alterations

- x. **Removal of the shed dormer on the front elevation of the Tupper Residence and restoration of two Scottish dormers based on physical and documentary evidence:**
  - Removes an inappropriate modern shed dormer
  - Restores the two Scottish dormers which documentary evidence shows were originally there
  - The sister house at 1474 Carlton St can be used as physical evidence
  - Restored dormers will prioritize historical accuracy in materials and detailing, with subtle distinguishability via interior date stamping only

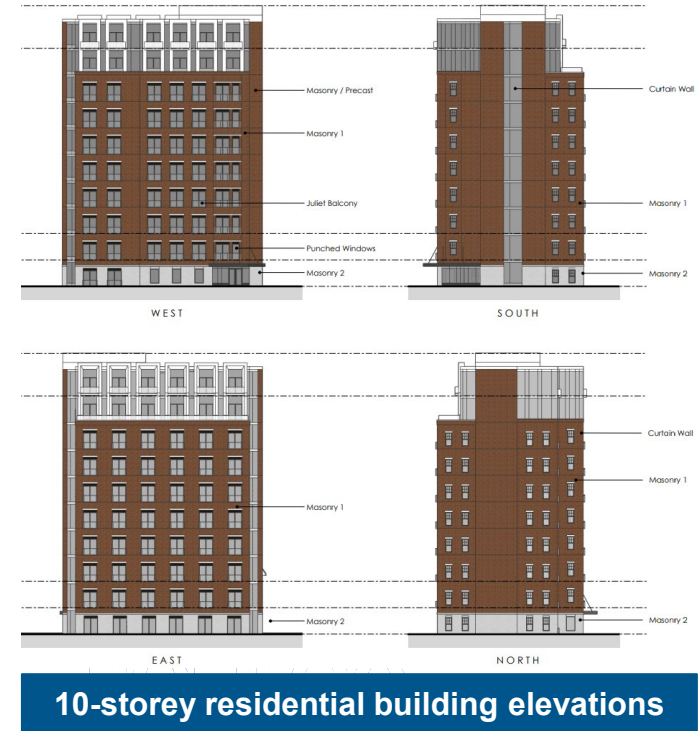


Keith Residence front (east) and side (north) elevation

# Substantial Alterations

**xi. Construction of a physically separate ten-storey tall-mid-rise building to the rear of 1460-1468 Carlton Street:**

- Physically separate from adjacent heritage buildings
- Subordination through rear siting, moderate height, setbacks, stepback, and upper storeys' materials
- Compatibility through brick and stone cladding, vertical bays, historical window designs
- Differentiation through separation, modern window materials, glass balconies, upper storeys' window-to-wall ratio





# Substantial Alterations

- xii. **Construction of a physically separate mixed-use development consisting of two 34-storey high-rise towers with connected podiums, to the rear of the Carlton Street properties and to the western side of the College Street properties:**
- Subordination is achieved through siting, a landscaped buffer, podium setbacks, and a transitional mass (10-storey mid-rise) easing the scale shift between the heritage streetscape and the new towers
  - Grade-related townhouse units and heritage-inspired features in the 3-storey podium of Tower II maintain a human-scaled streetwall, reinforcing compatibility with the existing heritage streetscape
  - Compatibility is also achieved through brick and stone cladding, traditional window-to-wall ratios up to the 17<sup>th</sup> storey, cornices at material transitions, a traditional tower format, and many heritage-inspired elements in the Tower II podium
  - Differentiation through physical separation and certain modern design features

# Substantial Alterations

Robie and  
College Street  
perspective

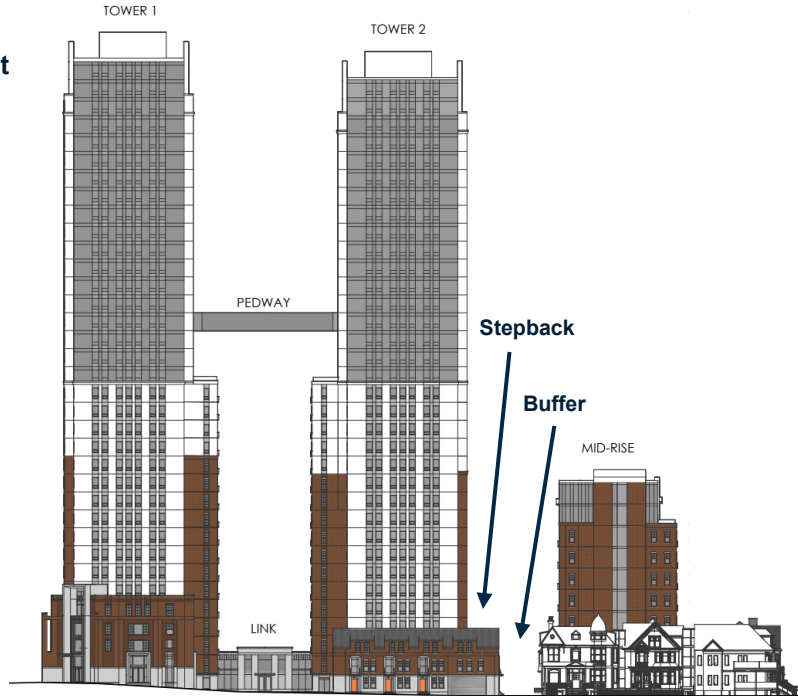


Carlton and  
College Street  
perspective

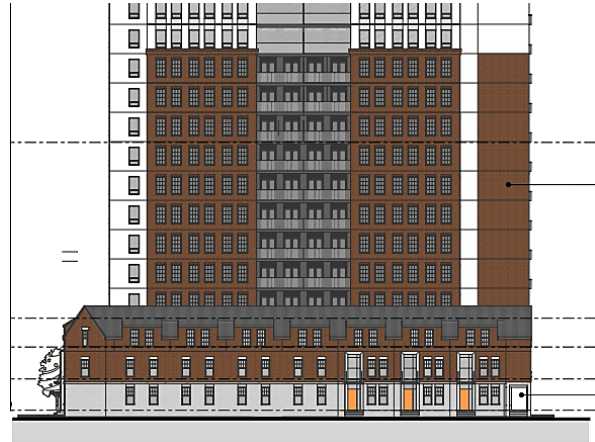


# Substantial Alterations

College Street  
Elevation



Tower II  
Podium  
Facing  
College St  
(South)



Tower II  
Podium  
Facing  
Buffer  
(East)

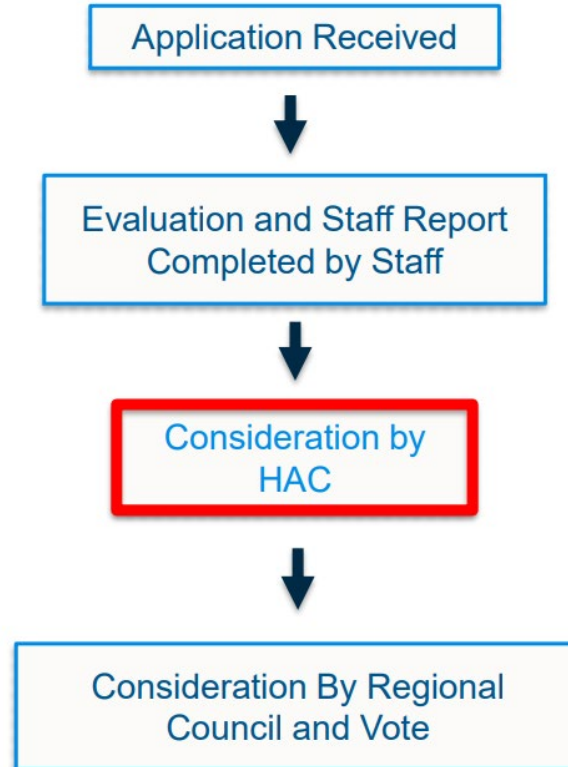


# Conclusion

- The anticipated impacts to character-defining elements of the registered heritage properties are sufficiently minimal and the properties' heritage value is conserved
- The separate new construction has been designed to sufficiently minimize its impact on the registered heritage properties through siting, design, and materials
- As these properties will also be rehabilitated through a variety of non-substantial alterations included as part of the associated heritage development agreement application, the overall effect will be one of enhancing the properties' heritage values, integrity, and long-term viability

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# Process



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# Recommendation

It is recommended that the Heritage Advisory Committee recommend that Regional Council approve the proposed substantial alteration to the municipally registered heritage properties at 5969 College Street, 1456 Carlton Street, 1460 Carlton Street, 1466 Carlton Street, and 1468 Carlton Street, Halifax, as set out in this report.

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Heritage Advisory Committee  
November 26, 2025

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**Thank You**