

**HALIFAX**

Item 10.1.1

# **Public Hearing**

## **PLANAPP-2024-01794**

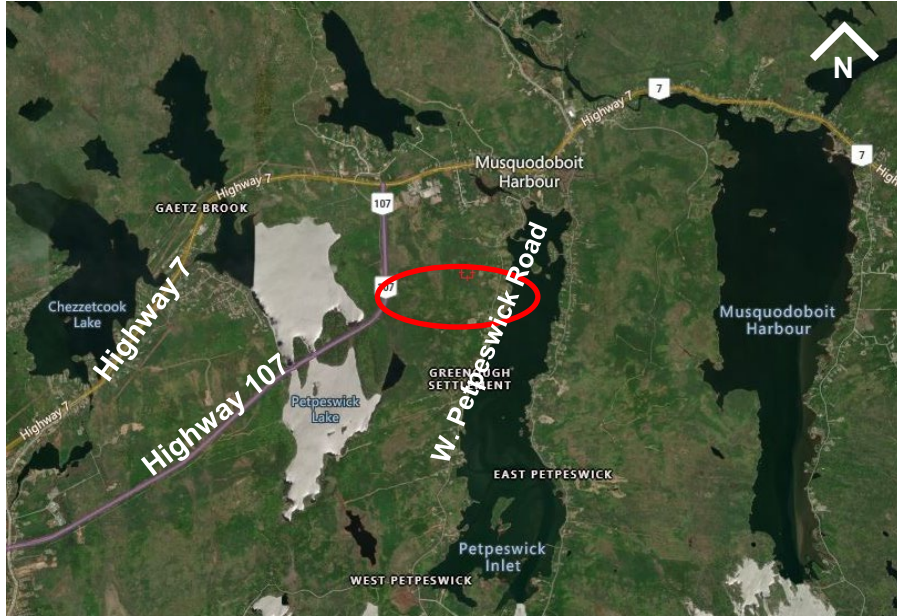
Land Use Bylaw Amendment,  
Eastern Shore (West) Plan Area

Harbour East Marine Drive Community Council

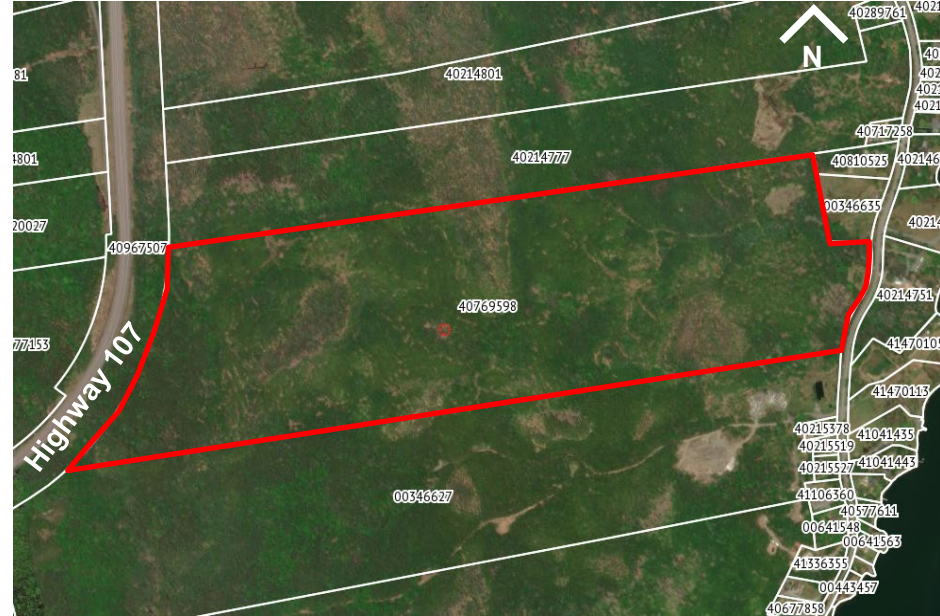
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**Type of Application:** Land Use By-law  
Text Amendment

# Site Context



**General Site location in Red**



**Site Boundaries in Red**

# Site Photos



Source: Google Maps

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# Planning Policy Overview

Regional Plan &  
Subdivision By-law

Community Plan

Land Use By-law  
(Zoning)

Guide where population growth and the investment of services like transit, piped water and sewer should occur.

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# Planning Policy Overview

Regional Plan &  
Subdivision By-law

Community Plan

Land Use By-law  
(Zoning)

Outlines where, how, and which types of development may occur. Some uses may only be allowed after community consultation and Council approval.

# Planning Policy Overview

Regional Plan &  
Subdivision By-law

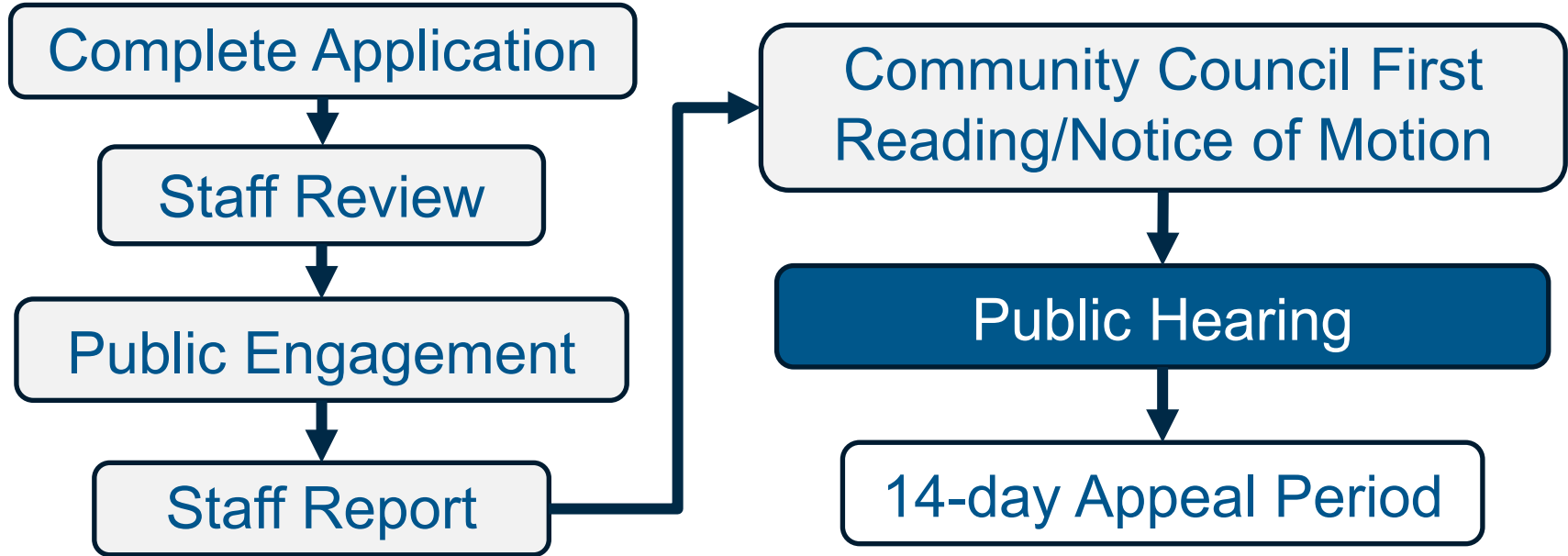
Community Plan

Land Use By-law  
(Zoning)

Specifies what can be approved without going to Council and seeking feedback from the public.

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# Land Use By-law Text Amendment



# Planning Overview



Municipal Sewer and/or Water: Unserviced



Zone: MU (Mixed Use) & R-6 (Rural Residential)



Designation: MU (Mixed Use)



Existing Use: Vacant Land



Enabling Policy: MU-1 & MU-2

# Policy Consideration

## **Enabling Policy MU-1 and MU-2**

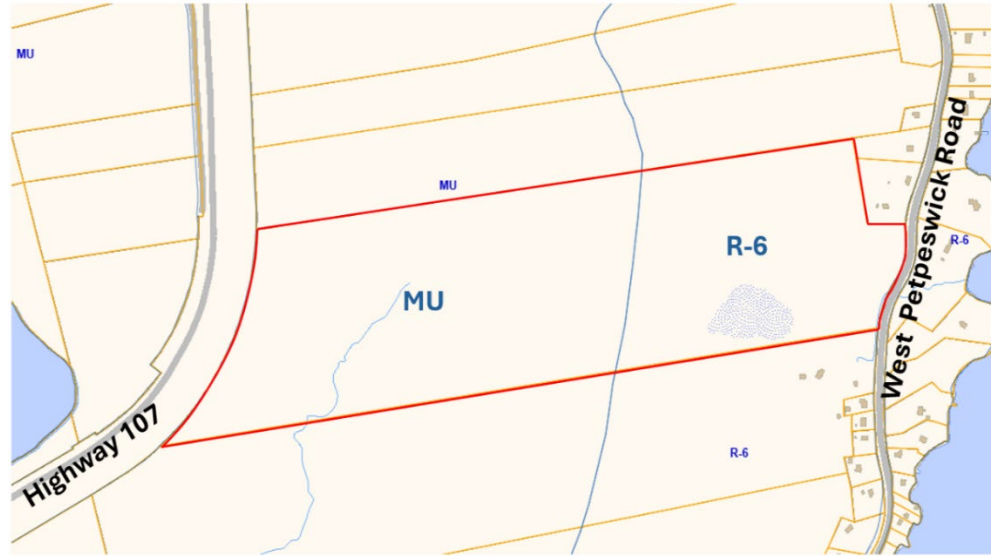
Policy MU-1 establishes the Mixed Use designation within the Eastern Shore (West) Plan Area.

Policy MU-2 establishes the Mixed Use zone which permits a wide range of residential uses, commercial uses, resource uses, traditional uses and community facilities.

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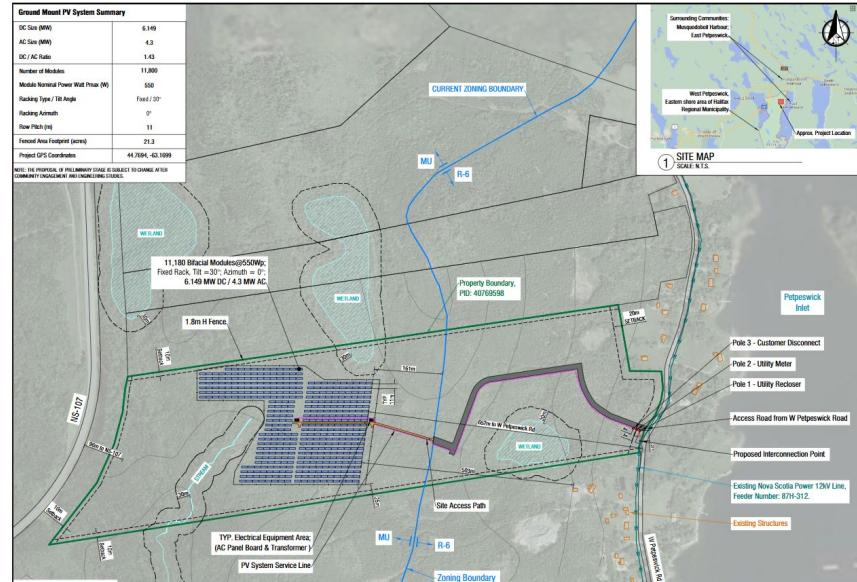
# Proposal Details

- Solar Farm Use is not currently permitted in the R-6 zone
- Add “utility and communication buildings or structures on lots which are a minimum of ten (10) acres” to the R-6 zone

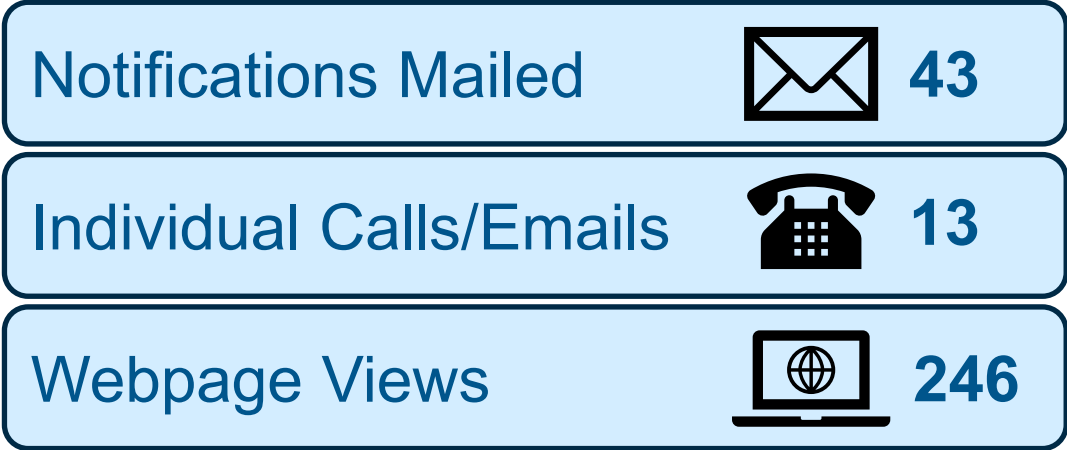


## Proposal Details

- The proposed Solar Farm is shown to be located at the rear of the subject lot within the Mixed Use zoned portion of the Lands
- Development/ Building permits are still required



# Public Engagement Feedback



Level of engagement completed was consultation achieved through a mail out notification and through the HRM website.

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# Public Engagement Feedback

## Feedback included:

- General support for green energy as a cleaner alternative to coal;
- Concerns regarding the environment and wildlife patterns;
- Concerns regarding a potential increase in traffic;
- Concerns regarding the character of the neighbourhood in rural Nova Scotia; and
- Concerns regarding proximity to the Porters Lake & Petpeswick Lake Water Aerodrome.

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# Staff Recommendation

The staff recommendation contained in the staff report was arrived at after a detailed analysis of all relevant policies in the Regional and local Municipal Planning Strategies.

Staff recommend:

That Harbour East Marine Drive Community Council approve the proposed Land Use By-law Text Amendment, as outlined in the staff report.

# Thank You

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