

Construction Management Plan

RW Suites
Nuvo Architecture and Interiors



215 Wyse Road
Dartmouth, NS

Prepared by:
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December 4, 2023



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Section 1 – Project Description

The proposed development at 215 Wyse Road consists of:

- The construction of two new 9-story residential towers
- Three levels of underground parking

215 Wyse Rd Investments Ltd. has prepared this Construction Management Plan (CMP) in an effort to reduce potential negative impacts on the surrounding community.

Section 2 – Project Contact Information

The project contacts for the proposed development consists of:

Developer:

215 Wyse Rd Investments Ltd.

15 Eliza Ritchie Cr.

Halifax, NS, B3M 0M8

(902) 830-0577

wadih.cpj@gmail.com

Project Manager:

Wadih Jabbour, P.Eng

15 Eliza Ritchie Cr.

Halifax, NS, B3M 0M8

(902) 830-0577

wadih.cpj@gmail.com

24 Hour Emergency Contact:

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(902) 830-0577

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Civil Contractor:

DJ Excavation Inc.

7295 Hwy #7

Musquodoboit Harbour, NS, B0J 2L0

Section 3 – Construction Schedule & Logistics

For a detailed construction schedule, please refer to the appendix. The following is a brief summary of anticipated major project milestones:

Construction Start: February 2024

Substructure Substantially Completed and Backfilled: August 2024

Superstructure Substantially Complete:

Tower 1: June 2025

Tower 2: December 2025

Building Façade, parking lots Complete:

Tower 1: February 2026

Tower 2: July 2026

Building Complete: September 2027

We do not anticipate any utility disruption (water, power, etc.) to adjacent properties. Should a situation do arise where a disruption is necessary every effort will be made to ensure this work can be completed with a minimal public interference; however, the contractor must abide by the necessary Noise by-law requirements. Furthermore, all affected local community will be notified a minimum 10 days prior to any scheduled disruptions.

Section 4 – Vehicle & Pedestrian Management

Prior to any construction activity on adjacent public street and sidewalks, temporary workplace traffic control devices and signage will be erected in accordance with NSTIR Temporary Workplace Traffic Control Manual, as well as HRM Traffic Control Manual Supplement. Detailed Traffic Control and Pedestrian Management Plans can be found in the appendix.

Deliveries of construction materials will increase the amount of truck traffic on the surrounding streets. Depending on the construction activities, this increased traffic will vary both in size and frequency of vehicles entering and leaving the site. The most significant activities include: hauling of excavated earth, concrete pours, structural framing, and material deliveries. Deliveries and vehicle staging will be limited the delineated staging area indicated on the proposed site plan. Please refer to the appendix for the Haul Route and Vehicle Staging Plan.

Section 5 – Construction Site Protection & Hoarding

Section 5.1 – Hoarding

In an effort to minimize debris from leaving the site, and to keep unauthorized personnel from entering the site, the entire perimeter of the work area will be delineated with chain-link mesh fencing along the property line (minimum 1.8m high). The chain-link fencing may be covered with a combination of project advertising banners. For details please refer to the appendix.

Section 5.2 – Street Cleaning, Dust & Noise Control

Dust and silica control is an important part of the civil contractor safety program. With no exceptions, water is to be used in all cutting and coring applications of concrete and asphalt. Water applied to obtain compaction in gravel works also acts as a dust suppressant. Roadway debris will be swept as required either by crews or with the use of a street sweeper.

Noise pollution is difficult to avoid on projects containing excavation and roadwork. The use of modern, reduced-emission equipment, and wet-cutting, will mitigate noise pollution to some extent. Work is to comply with HRM noise by-law N-200 at all times. Noise by-law exemptions will be requested if required.

Section 5.3 – Environmental Control

Please refer to the appendix which defines a very detailed erosion and sediment control plan. Silt fence is installed and does not infringe on neighboring properties.

Section 5.4 – Stormwater Management and Runoff Pollution

Construction will adhere to the proposed storm drainage plan and the Nova Scotia Department of Transportation and Infrastructure Renewal (NSTIR) Erosion and Sedimentation Control Manual. The main objective of the storm water management plan will be to identify Best Management Practices, which will minimize erosion and sediment transport. See the appendix for:

- a) Surface drainage patterns;
- b) Catchbasin locations;
- c) Site entrance/exit locations

Section 5.5 – Encroachment

Please refer to the appendix, which delineates the anticipated area of disturbance. Please note that encroachment of the city property will take place during the installation of the services along Wyse Road.

These encroachments are to keep the public away from the excavation zone of influence as well as provide additional room for site workers and deliveries. These encroachments are planned to be delineated interlocking F-type concrete barriers complete and chain link fencing with opaque coverings. Throughout the project, fencing will be positioned to not obstruct vehicle sight lines. In areas adjacent to the site gates open mesh chain link fence on top of the site barriers to not obstruct sight lines.

Should any utility or traffic disruptions be required, the contractor will first apply to HRM for approval, a minimum of five (5) business days in advance of such work and will then notify neighbours of these disruptions in a timely fashion.

Throughout construction, the encroachment will be delineated using interlocking F-type concrete jersey barriers complete with chain link fencing with a total height (concrete barrier and fencing structure) being 1.8m or 6ft as per the noted administrative order. This fencing will be open chain link fence or covered with an opaque dust control mesh of high quality which will extend a minimum 3m from the public right-of-way. This screening is described in the appendix and will block passersby or tourists view of the construction site. Throughout the project, fencing will be situated to not obstruct vehicle sight lines.

Section 6 – Lifting, Hoisting, and Crane Operations

All Lifting and Hoisting are within the construction site perimeter with the anticipation of some interference with the public. All lifting and hoisting are supposed to be carried out with stationary cranes, mobile cranes and lifts. Developer will obtain a crane encroachment permit prior to erecting of crane. See the appendix for site plan indicating position of crane on the site.

Section 6.1 – Operations above the Public Realm

Lifting operations, such as tower cranes, mobile cranes, telehandlers, forklifts, and small lifts, are a crucial and important piece of equipment on this construction site. Their presence brings about a level of risk that must be considered.

Lifting heavy loads over public space should generally be avoided, there are times when such a lift is necessary. The submitted CMP includes the following provisions for proposed crane operations or lifting of heavy loads over the public realm:

- a) Notwithstanding level-luffing cranes, tower cranes will be sited so that there is at least 3m clearance between the end of the boom and the nearest obstacle or building and as much as possible, tower cranes will be sited to avoid loads being handled over occupied areas;

- b) Measures for ensuring that people are not placed at risk from the operation of the crane;
- c) No loads should be moved or suspended over people;
- d) At no time should a load be left suspended over the public realm;
- e) Routines for requiring continuous and thorough checks for area specific hazards;
- f) If loads must be transferred over a public space or ROW, the area would be closed to access (in accordance with short duration traffic control protocols as specified by NSTCM) during the move; and
- g) When loads have to be handled in the vicinity of persons, extreme care will be exercised, and adequate clearances allowed.

Section 7 – On-Site Safety and Security

W. Jabbour, the owner and Developer will engage the services of an independent Safety Officer throughout this project. The Safety Officer will have full power to set safety protocols for the site as well to make sure all Contractors are registered members in good standing with the Nova Scotia Construction Safety Association and are committed to upholding the safety of their workers and the public paramount. In addition to ensuring strict compliance with all applicable safety codes and regulations, the following safety protocols will be implemented to further enhance the site safety and security:

- a) Contractor and Sub-trade workers will all be required to attend a mandatory site safety orientation training session;
- b) Personal protective equipment (PPE) will be required for all personnel on site;
- c) Adequate signage will be placed outside the hoarding, which warns of all hazards that may exist;
- d) Gates will be locked and the perimeter fencing secured to provide security against public access during off work hours and monitored in high traffic areas during operation;
- e) Hoarding will be marked clearly “No Trespassing – Construction Personnel Only”, and personal protective equipment requirements clearly marked (e.g., “Hard Hats and Safety Footwear Must Be Worn Beyond This Point”);
- f) Regular safety inspections will be conducted to ensure suitability of hoarding and other safety devices;
- g) Emergency contact information will be prominently posted.

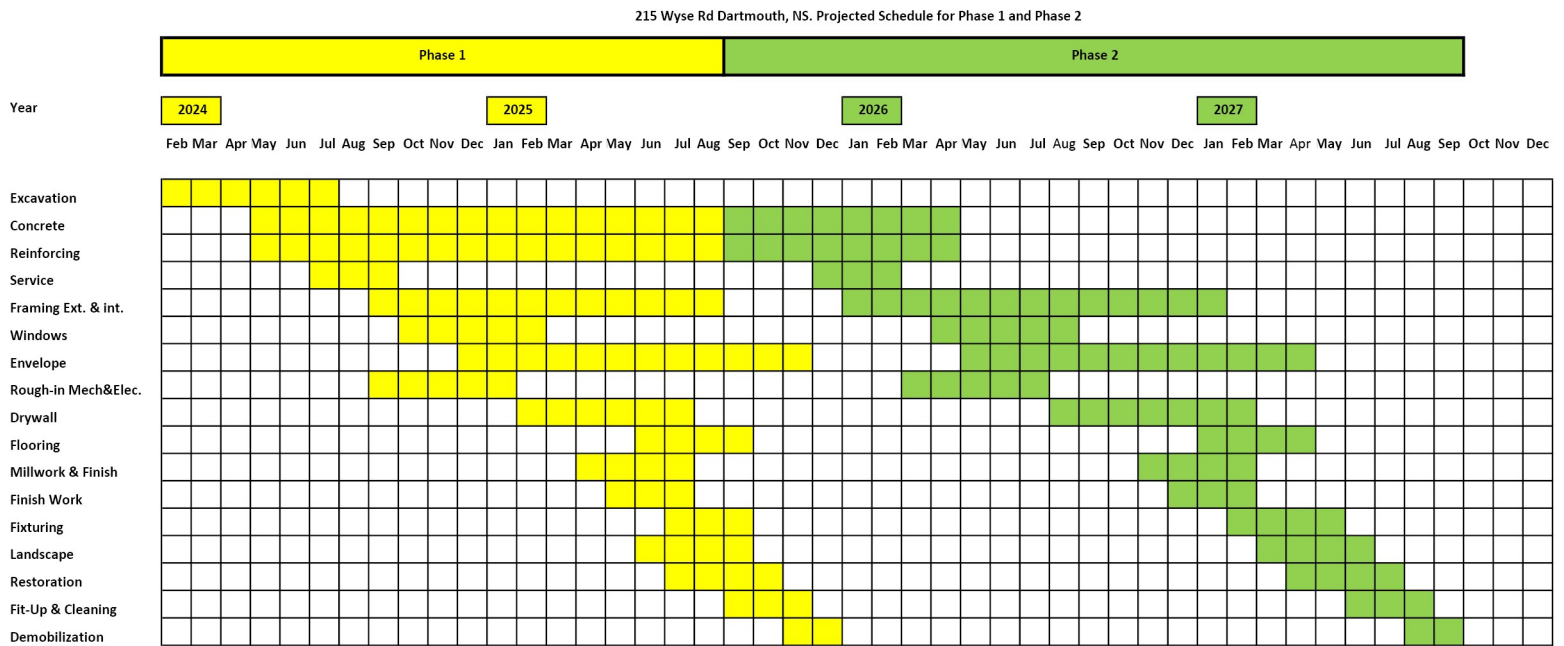
Section 8 – Pre-Construction Consultation & Meeting

A pre-construction meeting will be scheduled with HRM, project manager and/or their representative and the civil contractor to make sure all items in the CMP will be adhered to.

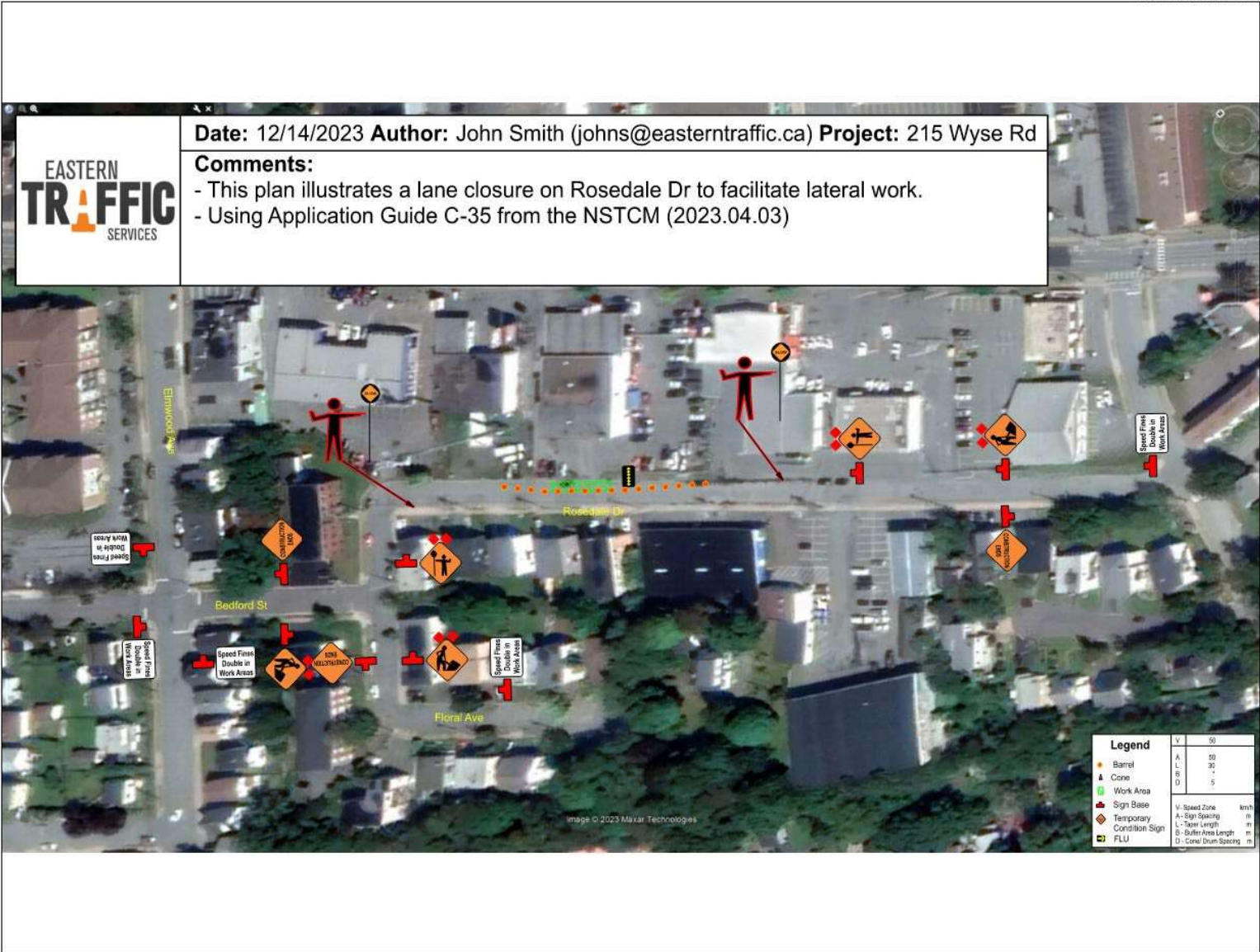
Section 9 – Pre-Engineered Retaining Walls

Part of this CMP report are pre-engineered retaining walls which will be supplied and installed by civil contractor. The retaining wall is manufactured by Shaw Group. Please refer to the appendix for details.

Appendix A – Construction Schedule

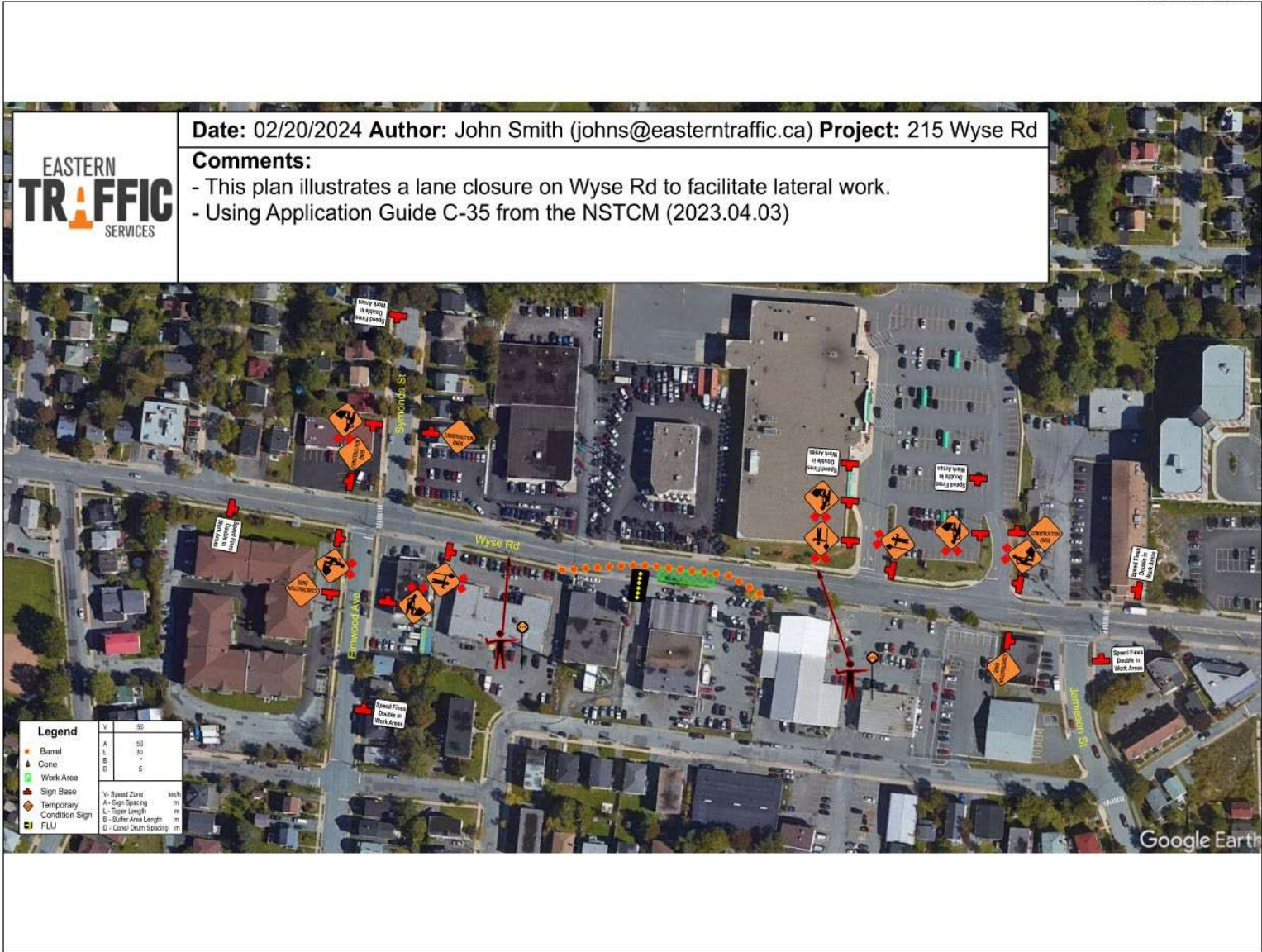


Appendix B – Traffic Control Plan (1/2)



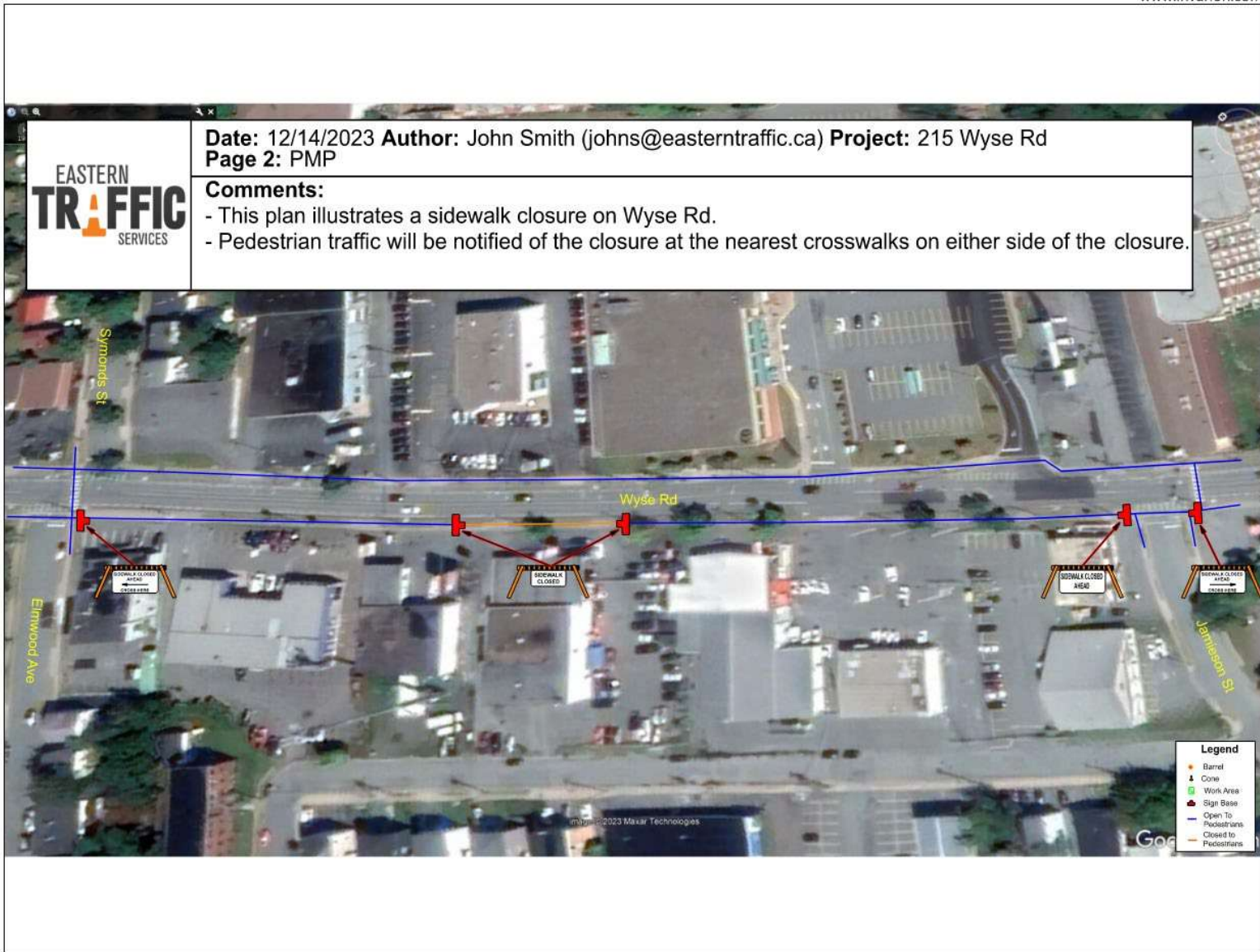
Appendix B – Traffic Control Plan (2/2)

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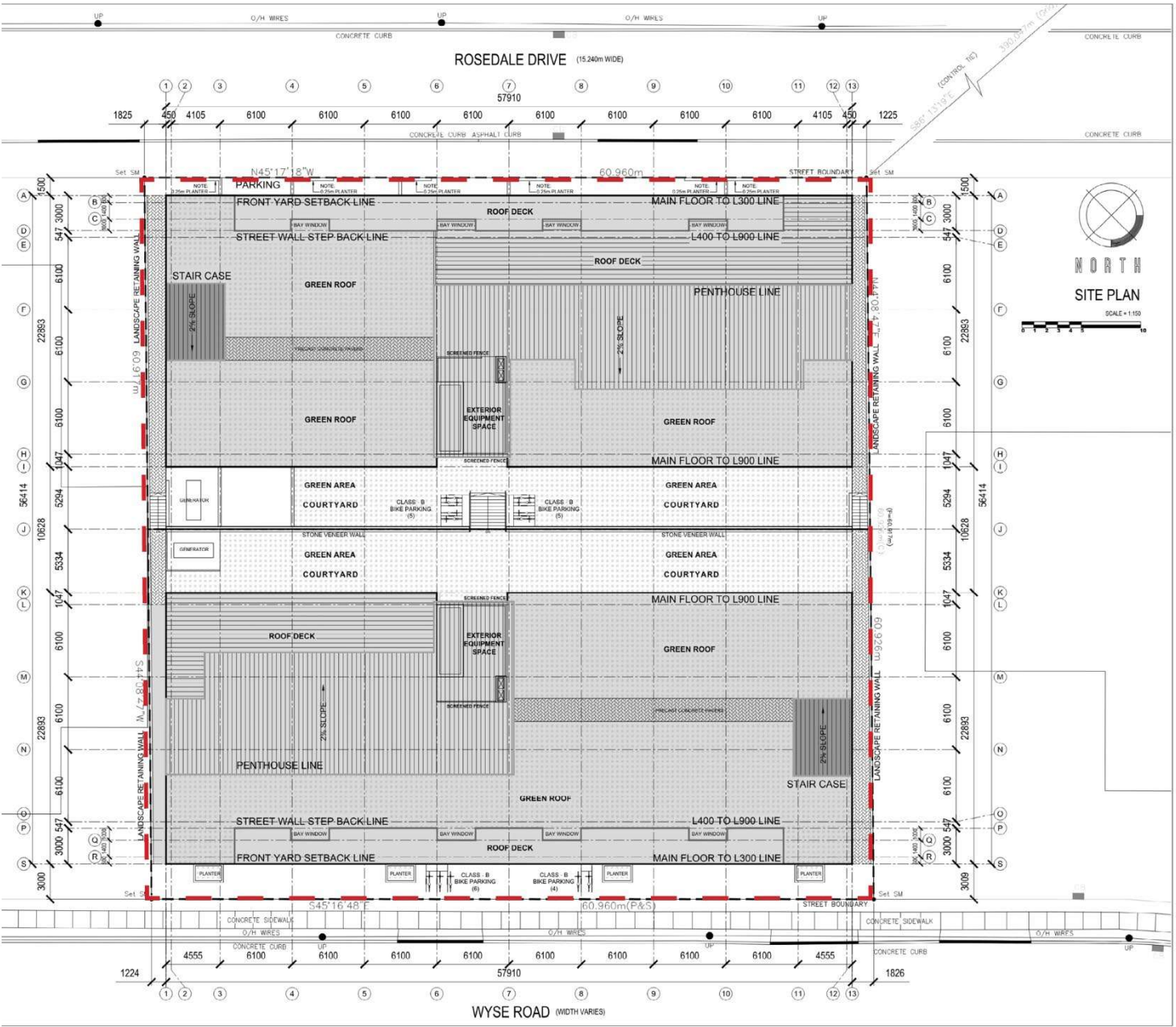


Appendix C – Pedestrian Management Plan

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Appendix D – Vehicle Staging Plan



Appendix E – Construction Site Protection & Hoarding

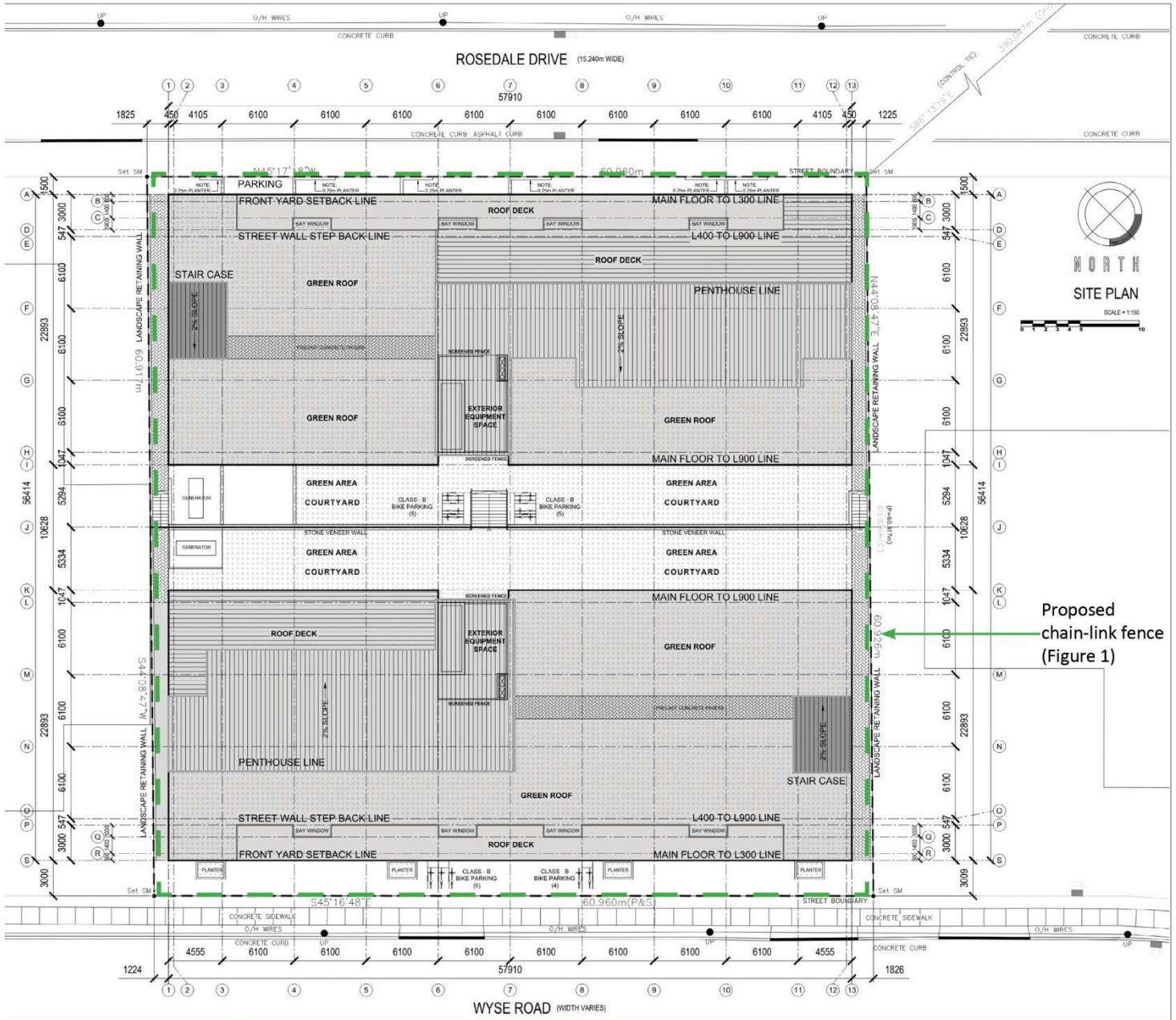


Figure 1. Construction Fence

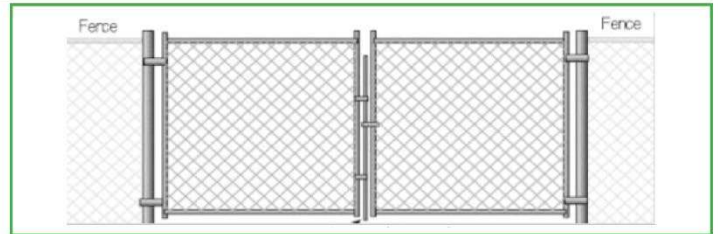
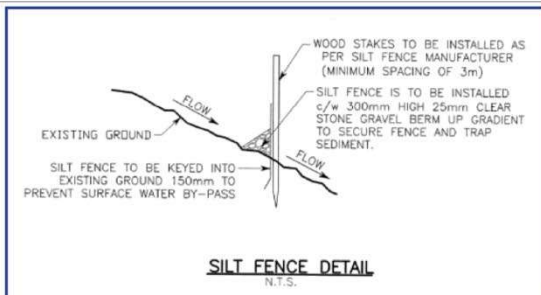
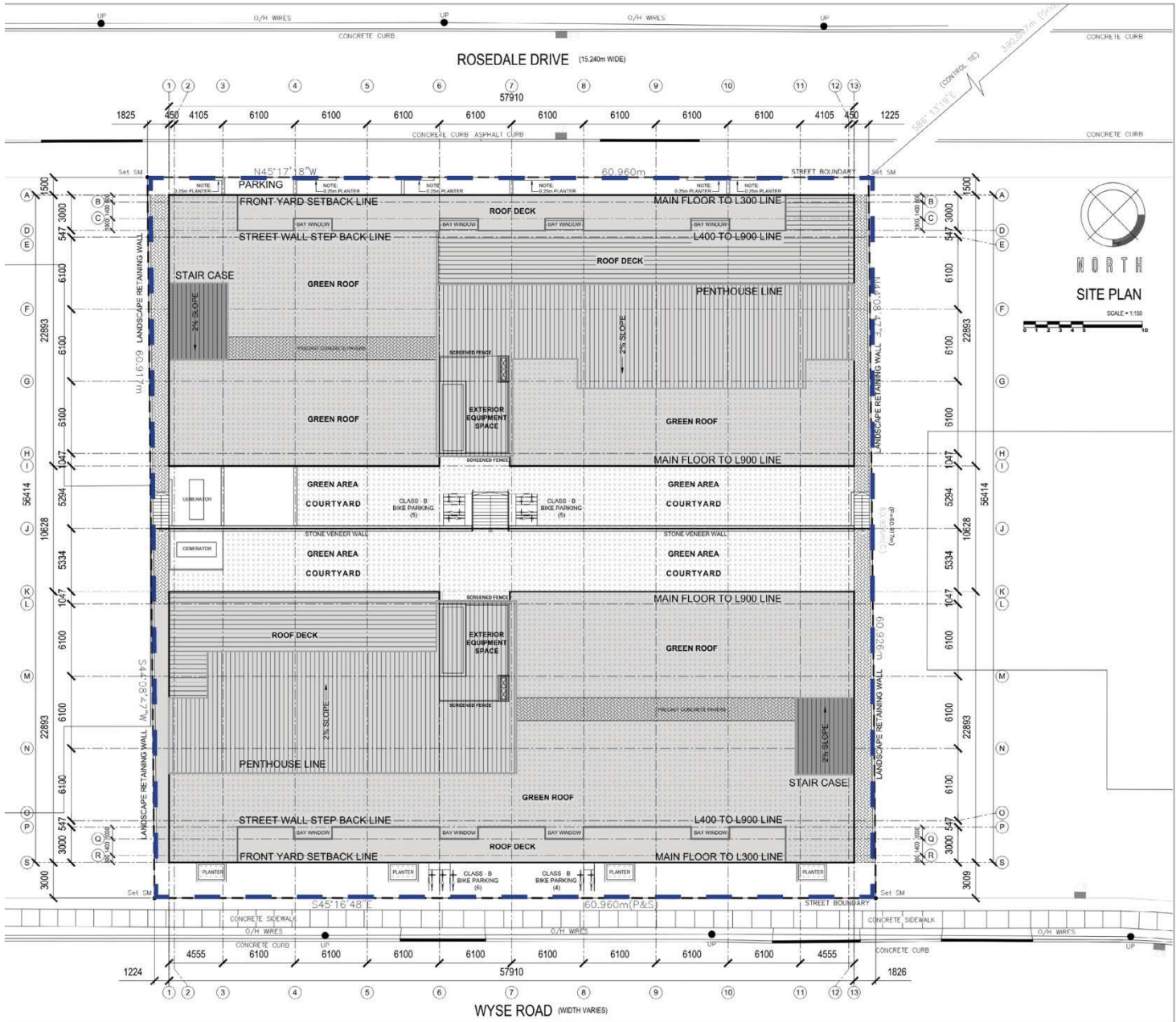
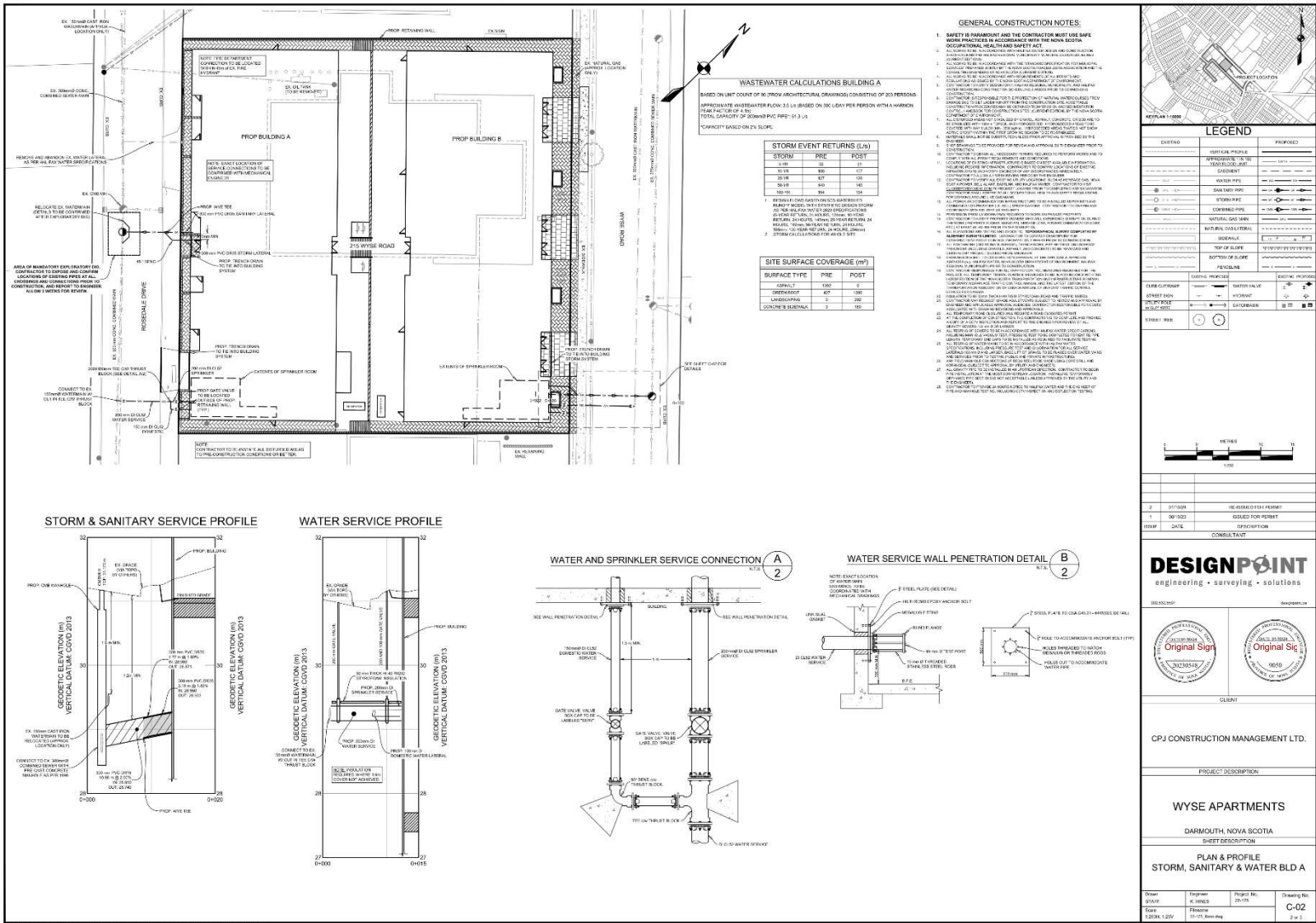


Figure 2. Construction Gate - Double Swing Gate

Appendix F – Environmental Control

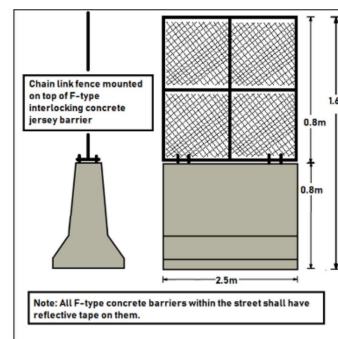
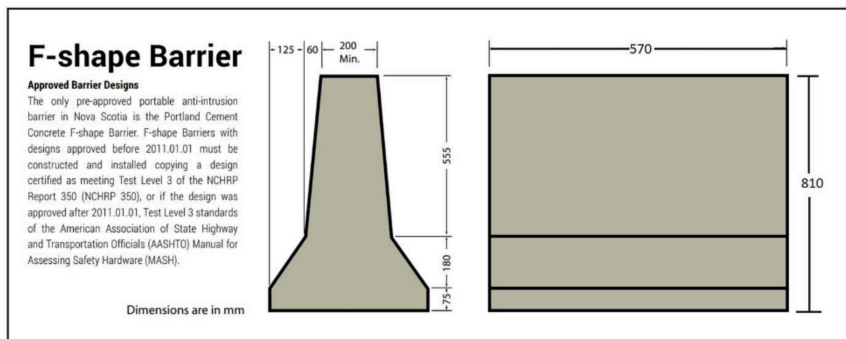
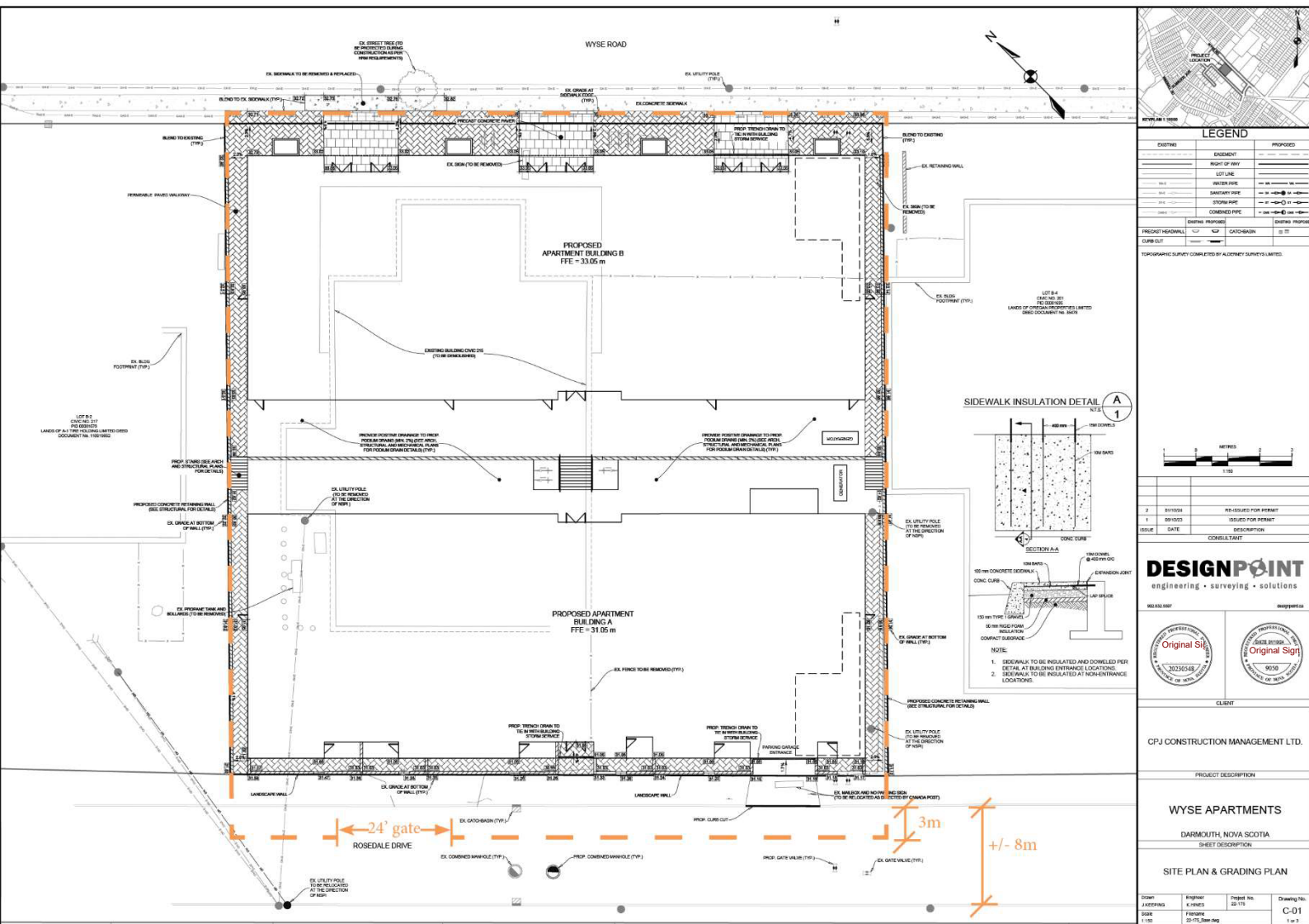


Appendix G – Stormwater Management and Runoff Pollution (1/2)

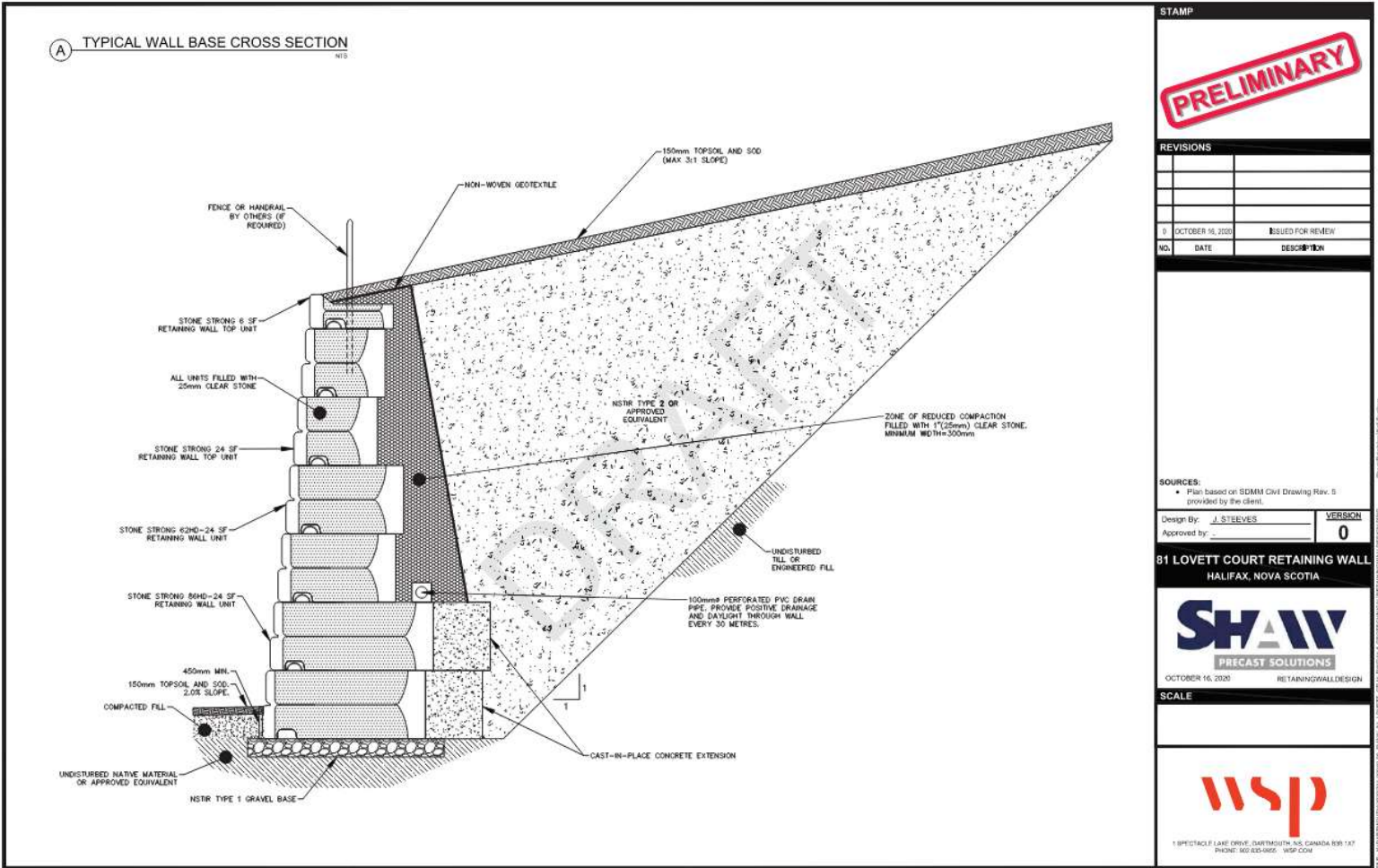


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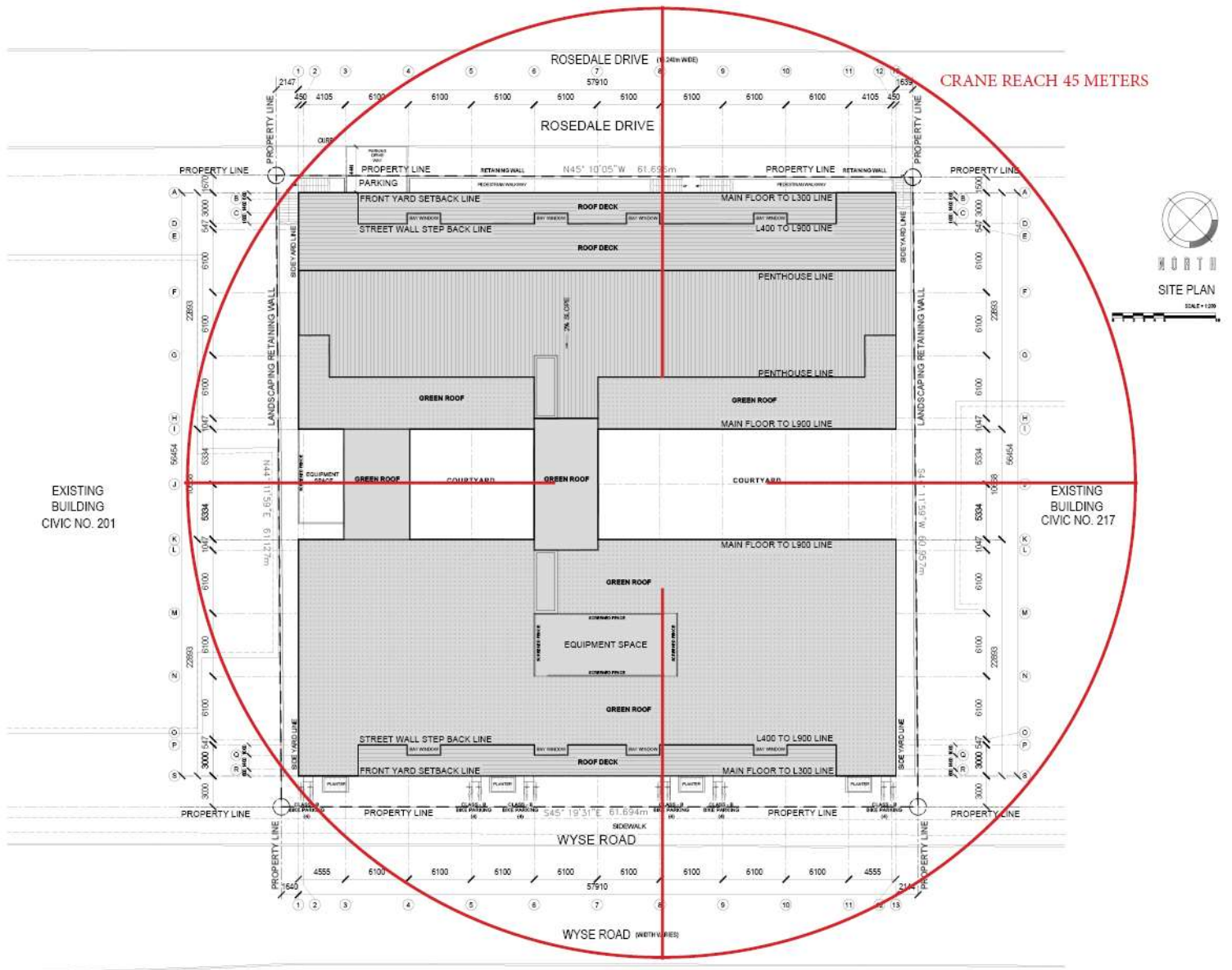
Appendix H – Limits of Disturbance



Appendix I – Pre-Engineered Retaining Walls



Appendix J – Crane Position



Appendix K – Site Information & Wayfinding Signage Development Information Boards



**215 Wyse Road
Dartmouth, NS**

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Construction Timeline
Start: February 2024
End: September 2027