



Heritage Impact Statement

Former St. John the Baptist Church, 1102 Purcells Cove Road

Halifax, June 2025





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1. INTRODUCTION

1.1. SITE INFORMATION

Primary Address: 1102 Purcells Cove Road, Halifax

Secondary Address: 1110 Purcells Cove Road

Neighbourhood: Regional Centre Plan Area

Zoning: R-2

1102 Purcells Cove Road

Types of Resources (2): Institutional; Place of Worship; Church. Institutional; Education

Historic Names: St. John the Baptist Church; Sister Pius Memorial School

Current Name: Former St. John the Baptist Church

Original Owner: Catholic Diocese of Nova Scotia

Dates of Construction: 1929; 1948

Architect: David Saxton (Source: Nova Scotia Archival Records on Architects)

Builder: Richard Carmichael

Heritage Status: Registered Heritage Property (church building only)





1110 Purcells Cove Road

Type of Resource: Residential; Dwelling; Single-family dwelling

Historic Name: None

Current Name: Rectory

Original Owner: Not known

Date of Construction: 1969 (Source: Nova Scotia Property Assessment)

Architect: Not known

Builder: Not known

Heritage Status: None





The subject site comprises two properties on the east side of Purcells Cove Road, south of Anchor Drive, each of which contains one building (Figure 1). The church is addressed as 1102 Purcells Cove Road (“former St. John the Baptist Church”), while the residence to the south, set on a separate parcel, is addressed as 1110 Purcells Cove Road (“the Rectory”). The church, formerly known as St. John the Baptist Church, is listed by Halifax Regional Municipality as a Registered Heritage Property while the dwelling to the south has no heritage status.

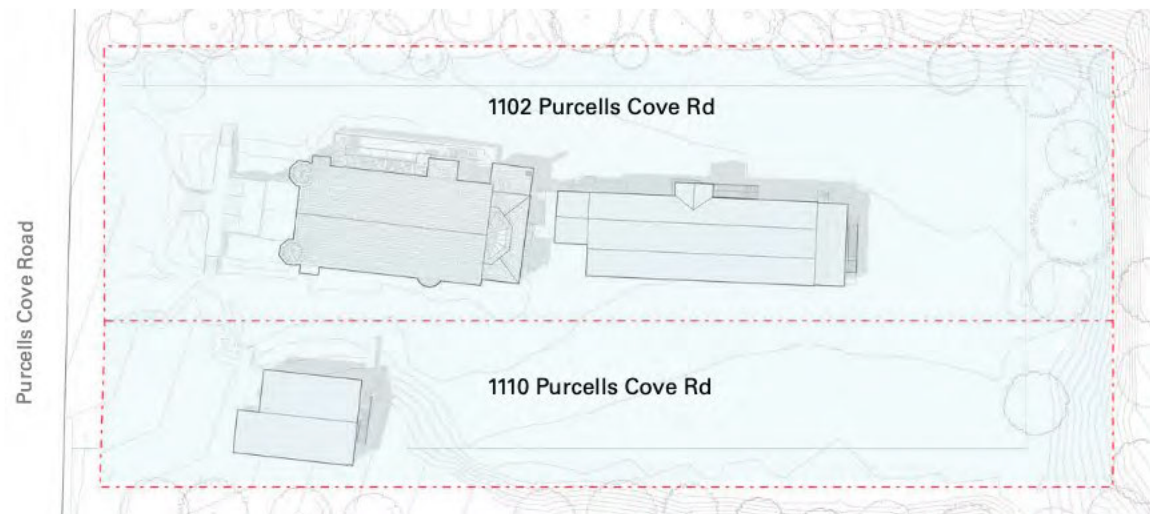


Figure 1: Current site plan and orientation of the three buildings
Source: FBM Architects

The purpose of this Heritage Impact Statement is to assess the contextual, historic and aesthetic values of the area and the subject site, express this concisely and comprehensively in a Statement of Significance, and to assess the overall condition, the development proposal and how it relates to the conservation of the buildings on site, and finally, to assess alternative and mitigative strategies to minimize any impact on the overall heritage value and character-defining elements. The author,

Hugh McLean, of McLean Heritage Planning and Consulting, prepared this report between January and June 2025.

1.2. EXECUTIVE SUMMARY

The subject site, located in the neighbourhood that has been commonly known as Halifax West – Armdale, is situated on the east side of Purcells Cove Road, immediately south of Anchor Drive (Figure 2).

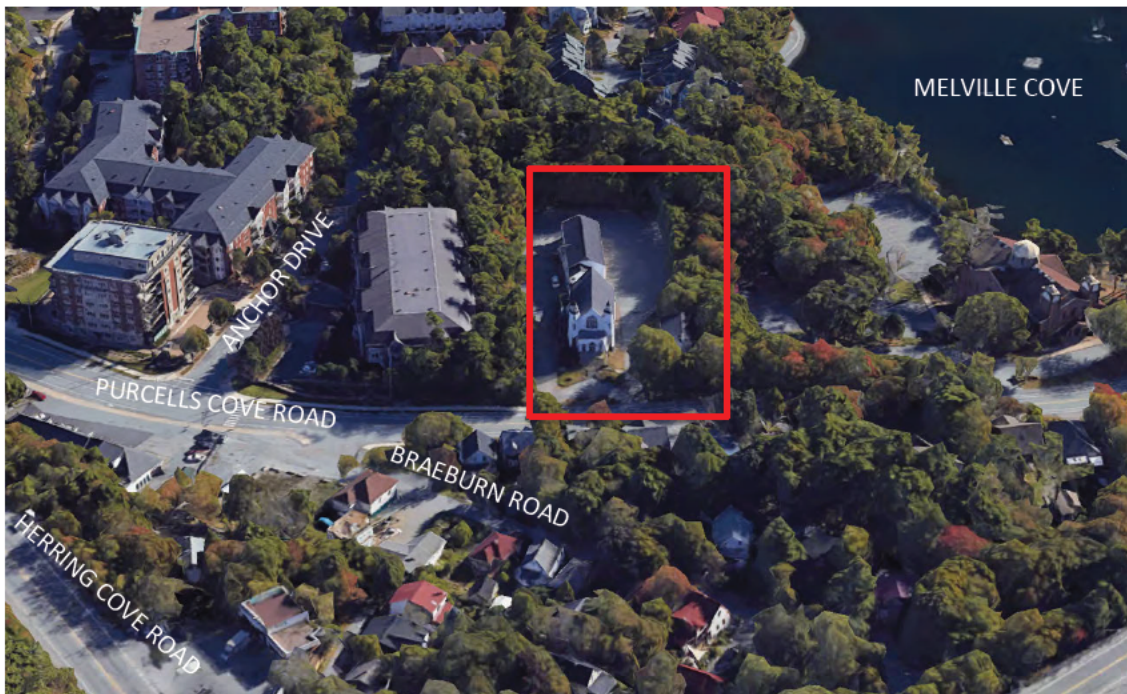


Figure 2a: Context of subject site, looking west
Source: Google Earth

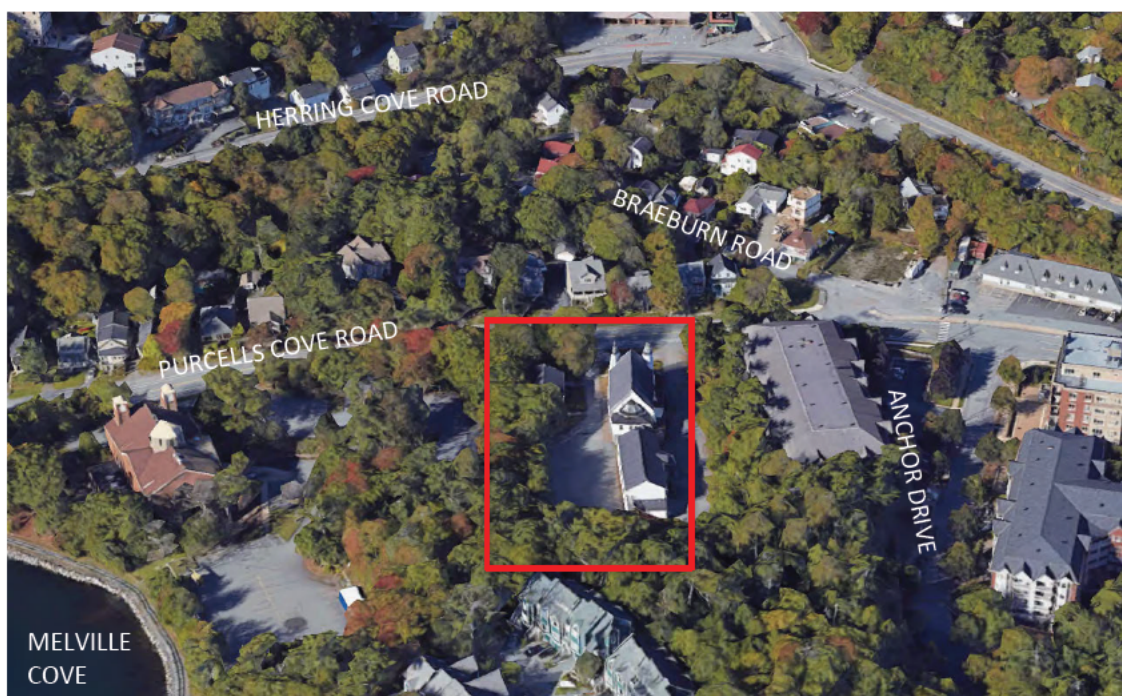


Figure 2b: Context of subject site, looking east

Source: Google Earth

It is set in the most southerly portion of the aforementioned neighbourhood. For planning purposes, it is in the area defined as the Regional Centre Plan Area.

There are a number of low-rise residential buildings in the immediate area, along with another church immediately south of the subject site. The neighbourhood still retains much of its original single-family housing character (see Section 2.2).

The purpose of this Heritage Impact Statement is to present the issues around a DA that is required for the subject site by Halifax Regional Municipality.

The two buildings that make up this Heritage Impact Statement are situated along the east side of Purcells Cove Road immediately south of Anchor Drive. The Registered Heritage Property, 1102 Purcells Cove Road, is proposed to be retained, and specifically the historic portion of the building comprising the former church; the rear of that same building, comprising a later extension as a church hall, is proposed to be demolished. Furthermore, the former church is proposed to be relocated on the same site to allow for a more efficient form of development and to allow the historic resource to be set prominently on site with adequate separation between it and the new development. Additionally, the Rectory that is set on the south portion of the subject site, on a separate parcel addressed as 1110 Purcells Cove Road, is proposed to be demolished. The latter two are buildings that have been assessed as having no heritage value. Redevelopment by the owners requires a DA. It is the intention of the owners to conserve and rehabilitate the Registered

Heritage Property through retention that will see a new high-rise residential development situated on the rear of the site, replacing the existing addition at the rear of the original church. The approach proposed as part of the DA, is to retain the historic resource as the optimal approach as part of its conservation and relocation in the most meaningful context.

The age and style of the former church building that is the focus of this Heritage Impact Statement – constructed in 1929 – exemplifies some of the earliest development during the inter-war era in this section of Halifax, which at that time was relatively rural and underdeveloped.

The former St. John the Baptist Church at 1102 Purcells Cove Road was designed as a hybrid that is not characteristic of any single style. It is valued for how it illustrates some of the earliest development of the neighbourhood, and its former use as a church that included spiritual, cultural, social and educational uses.

It is also valued for its association with the early leaders of the Catholic church, that had it built to address the needs of a growing community, and its architect.

Finally, it is valued for its aesthetic expression, its design details that are a hybrid of several styles. The critical elements are intact, including a high level of integrity vis a vis form, original window openings, frames, sashes and window treatments, entries and other design details.

It is a combination of these intangible and tangible components – early Halifax development and associations with community and church leaders and an architect of local importance, and design that express the heritage values of each.

Furthermore, as a result of these values, the former St. John the Baptist Church at 1102 Purcells Cove Road is formally recognized as a Registered Heritage Property.

These values are further expressed in the Statement of Significance found in Section 4 of this report and address the components proposed to be retained and conserved as part of this development.

The proposed development will result in extremely limited destruction of elements on the former St. John the Baptist Church at 1102 Purcells Cove Road, whereby only those elements that are not defined as character defining will be removed and any wall faces exposed as a result of that removal will be restored. It will, however, result in the removal of the non-registered buildings: the former church hall at the rear and the Rectory addressed as 1110 Purcells Cove Road.

While the former St. John the Baptist Church is not proposed to be retained in situ, it will be retained on the current site. The proposed relocation is minor, setting it slightly forward and to the south. The building's current orientation to Purcells Cove Road is offset, in all likelihood due to the realignment of the road many years ago. It is presumed that the church, when constructed, was placed perpendicular to the road alignment at that time. Having it reoriented as it relates to the road will re-create its historic context. Moving it slightly to the south will allow it to be appropriately set against the new development and stand on its own merit, and be closer to the front of the site, thereby providing suitable circulation and generous open space between it and the tower behind, to lessen the impact of that taller development and have it more fully appreciated and valued by the public. Similarly, the Christ the King statue, set on a stone pedestal at the front as a landscape element, will be relocated to retain its historic orientation to the front of the church.

Character-defining elements will only be replicated if condition is concluded to be beyond repair. At this time, no character-defining elements are anticipated to be impacted as a result of the development. Those changes to the exterior, such as restoration of the smaller vestibule, the alteration to the east side (apse) and removal of the ramp and addition of a lift on the north side are appropriate from a conservation perspective or necessary due to life safety and access/exiting requirements.

As such, the anticipated level of conservation is high and is in accordance with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places*.

The conservation measures include preserving, restoring and rehabilitating all sides of the heritage building. The new development at the rear will be entirely independent as a free-standing building; therefore, the impacts will be extremely minimal and will have no impact on the overall form and character.

1.3. DEVELOPMENT CONTEXT – PROPOSED

The development site, comprising the two properties introduced in Section 1 of this report, includes a building on each parcel. The church building, known as former St. John the Baptist Church, a Registered Heritage Property, is proposed to be retained in full and conserved, although the extension at the rear, the former church hall, will be removed. As introduced in Section 1.2, the former church will be relocated on the existing parcel, moved toward the street and further south and turned slightly and aligned so that it restores its historic orientation and alignment with Purcells Cove Road. The dwelling set to the south, known as the Rectory, at 1110 Purcells Cove Road, will be demolished to allow for development of that portion of the site (Figure 3). Similar to the former church hall at the rear, it has been determined to have no heritage value.

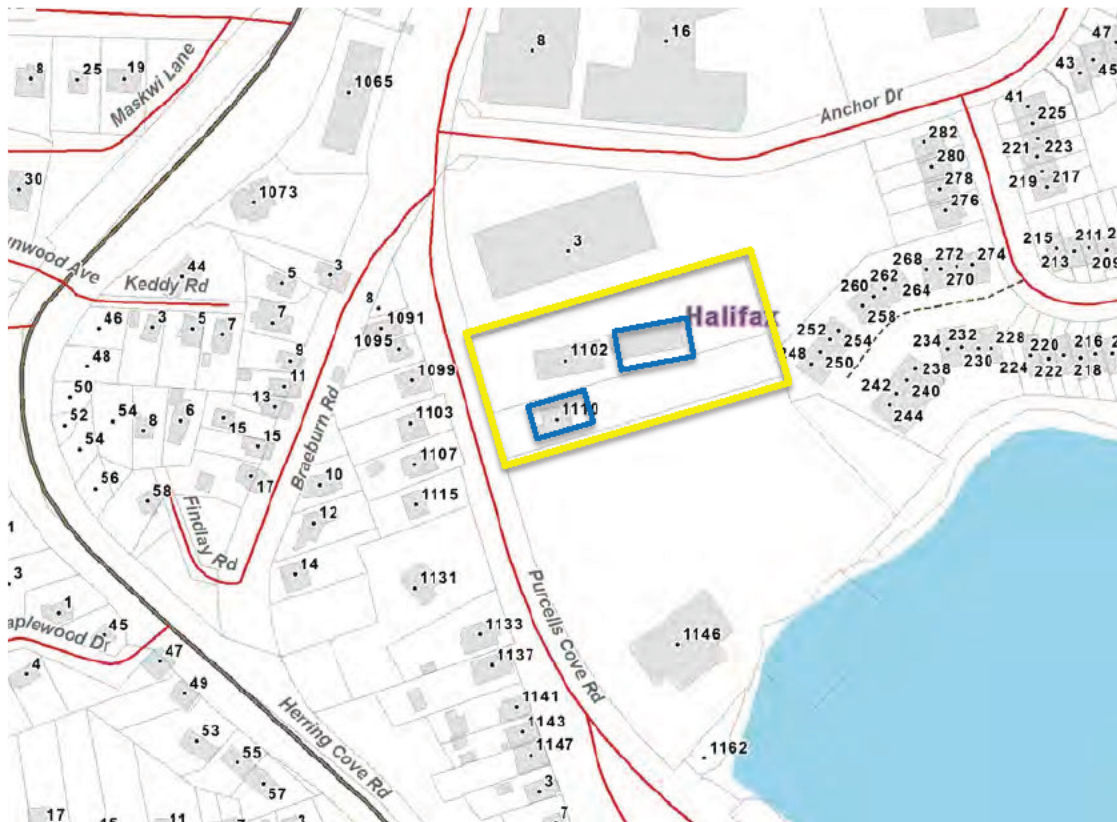


Figure 3: Subject site outlined (yellow), and buildings to be demolished outlined (blue). Source: Nova Scotia Civic Address Finder

The existing buildings' location and images are illustrated in Figure 4.



Figure 4: Subject site, outlined and comprising three buildings on two properties; from top: 1102 Purcells Cove Road (former Church); 1102 Purcells Cove Road (former Church hall); 1110 Purcells Cove Road (former rectory). Source: Nova Scotia Civic Address Finder

The site plan illustrates the overall development concept. This includes retention of the Registered Heritage Property, its relocation on site, moved closer to the street (Figure 5) and demolition of the former church hall at the rear and the house that once served as the rectory, and a new development consisting of a 18-storey plus penthouse residential building set at the rear, behind the former church (Figure 6).

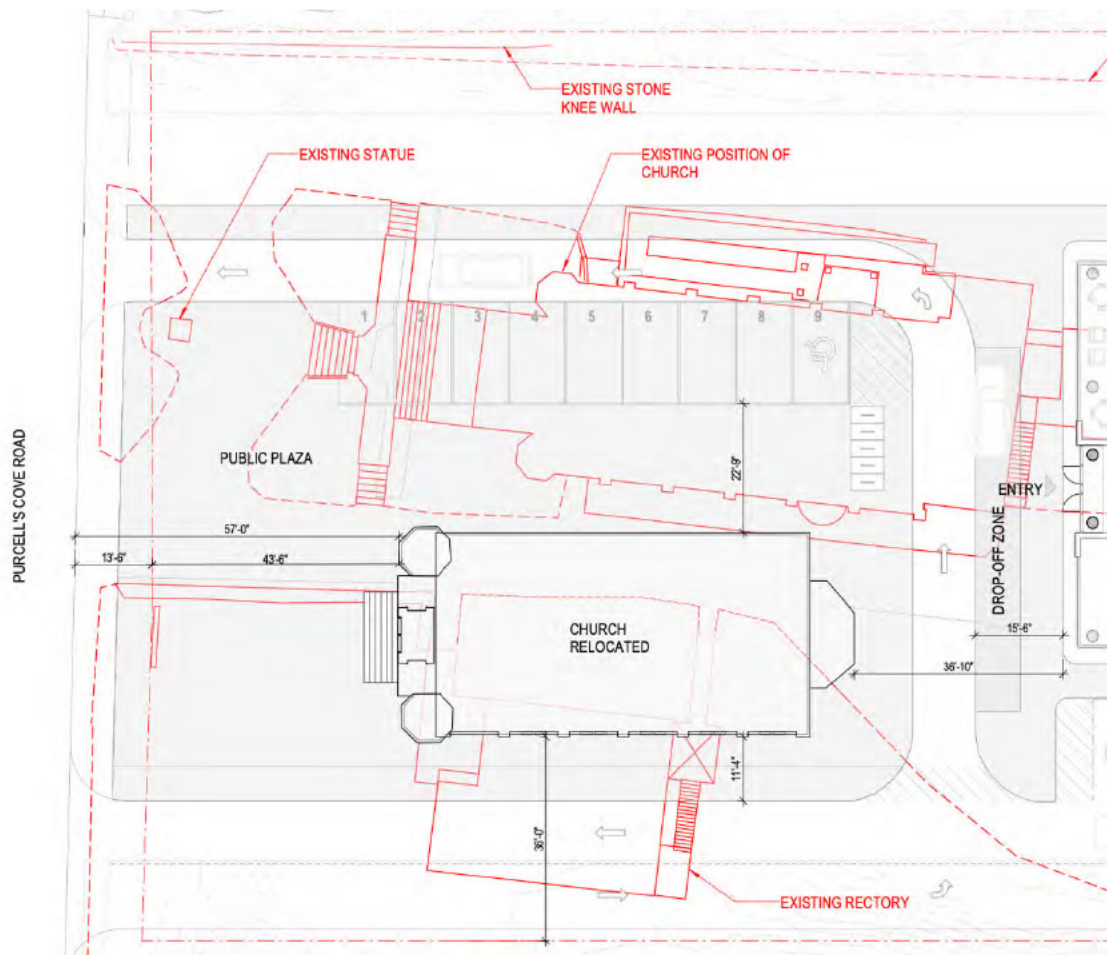


Figure 5a: Development Proposal – Site Plan illustrating existing location of the former St. John the Baptist Church with its proposed new location. Source: FBM Architects

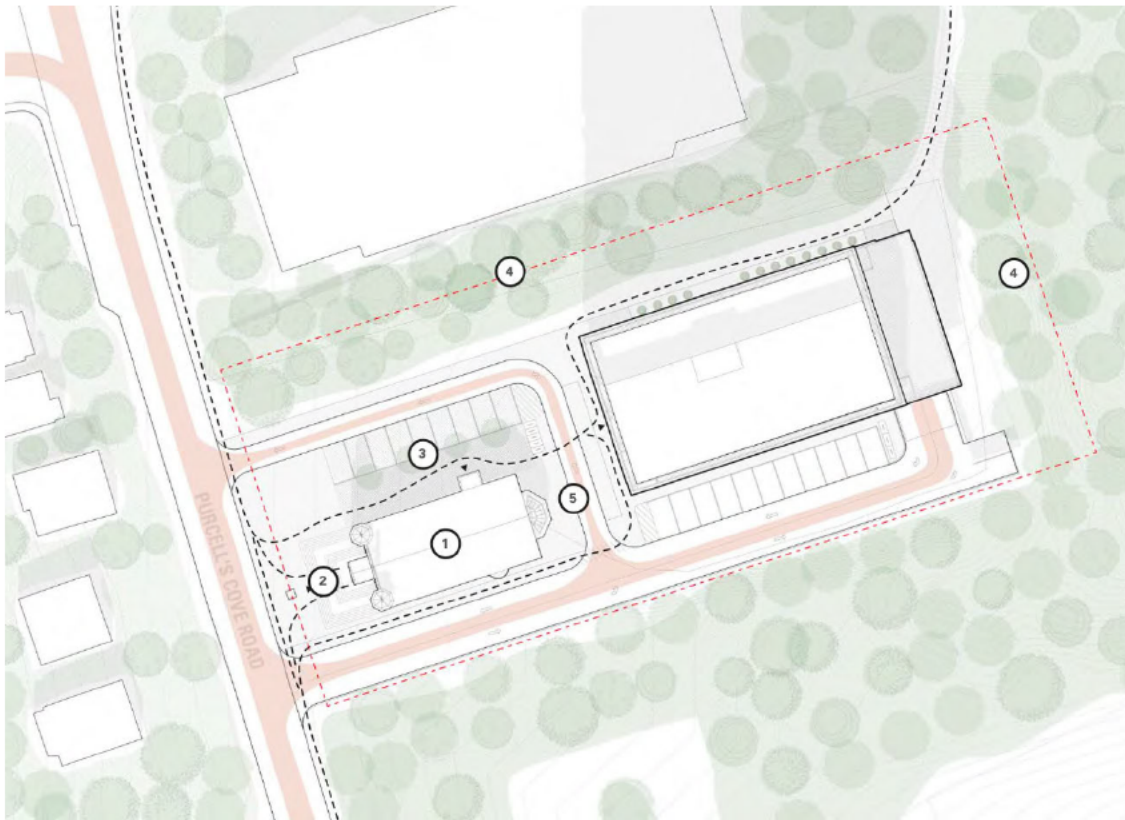


Figure 5b: Development Proposal – Site Plan illustrating relocation of the former St. John the Baptist Church and residential tower behind. Source: FBM Architects



Figure 6: Development Proposal Design Concept – Site Strategy. Source: FBM Architects

The characteristics of each building, their evolution, values and proposed conservation in the context of the revised development is further outlined in Sections 3, 4, and 5 of this report.

The former St. John the Baptist Church – approved by Halifax Regional Municipality as a Registered Heritage Property – dates to the inter-war period, built in 1929. The other two buildings on the site, the former church hall and the rectory on the neighbouring property, date to the post-war period of expanded development tied to the growth of the area in general and of the church's congregation specifically. Both properties on the development site are zoned R-2 (Figure 7).

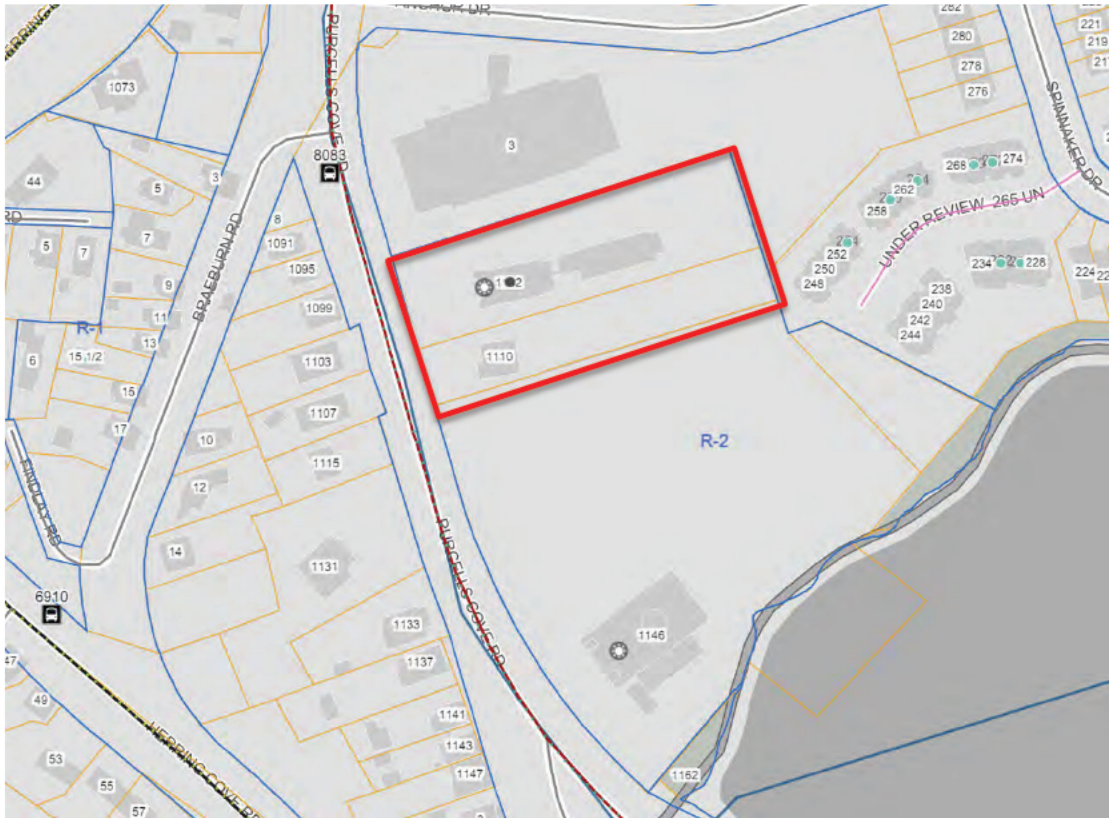


Figure 7: Subject Site Zoning, outlined (red). Source: Halifax Regional Municipality, Explore HRM Arc GIS

This Heritage Impact Statement and the proposed conservation strategy is based on Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*, in conjunction with enabling policies established by the Halifax Regional Municipality. It outlines the preservation, rehabilitation and restoration that will occur as part of the proposed development initiative.

1.4. CURRENT OWNER

The owner of the development site is Anchor Group. The mailing address is 8 Anchor Drive, Halifax, NS B3N 0C2.

1.5. MCLEAN HERITAGE PLANNING AND CONSULTING

As Principal of McLean Heritage Planning and Consulting, Hugh McLean has an extensive municipal background, integrating heritage conservation, urban design and project management. As a registered planner, with over 26 years of work for the City of Surrey and City of Vancouver, his work includes evaluating resources, researching and writing Statements of Significance, determining best strategies for conservation including negotiating incentives and protection through designation, legal agreements and covenants, and administering the Heritage Incentive Program. Municipal policy work includes the Historical-Cultural Review of Powell Street (Paueru Gai), an updated City of Vancouver Heritage Register evaluation system and city-wide upgrade, the City of Vancouver Heritage Awards and plaque program. He serves on the Vancouver Heritage Foundation's Granting Committee, is a Board member, and current President, of the BC Association of Heritage Professionals, is a member of the Village of Cumberland's Heritage Advisory Committee and has served as a Collaborator to the University of Victoria's "Landscapes of Injustice" (2013-2019). A curriculum vitae is provided in Section 9.2 of this report.

2. HISTORIC CONTEXT

2.1. BROADER HISTORIC CONTEXT AND HERITAGE VALUES

In the late 1800s, the westernmost portion of the city set in the southwest part of the larger peninsula was pastoral and rural in character with the Northwest Arm defining the outermost edge of the city (Figure 8).

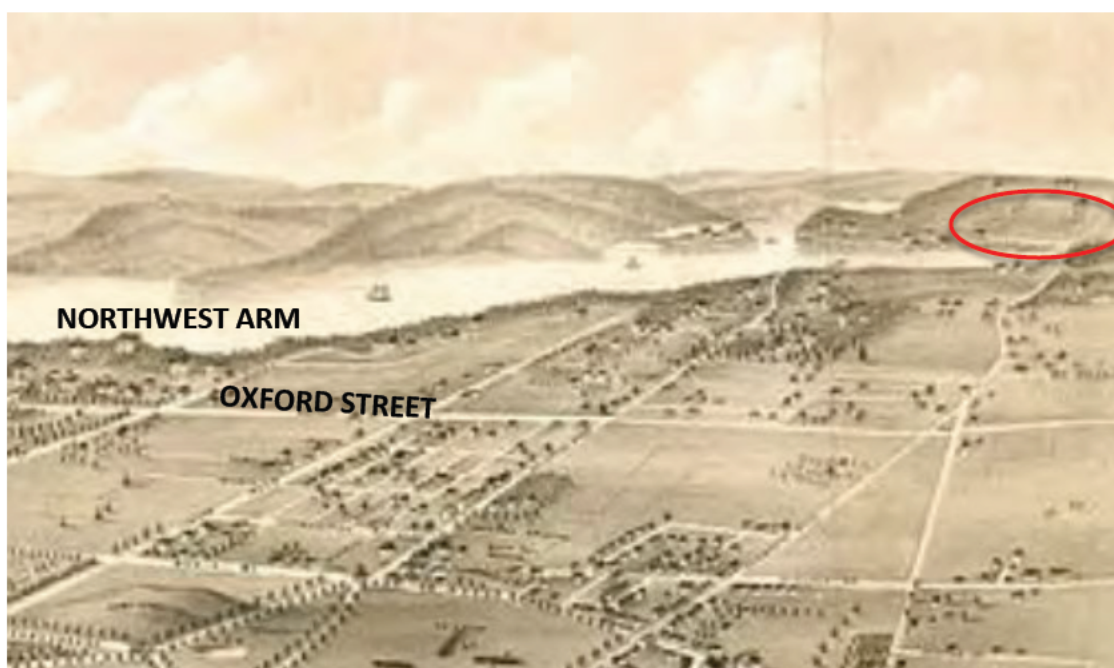


Figure 8: Ruger's Early Panoramic Map of Halifax (partial) looking southwest, 1879. General area of subject site, circled.

It was not until development was nearing completion in that western part of the peninsula on which the core of the city of Halifax is located, as seen in the foreground of the image above, that growth expanded in a meaningful way along the west side of the northwest arm. Well into the early 1900s, the area on the west side of the Northwest Arm was rural or entirely undeveloped.

The historic value of the wider area, as measured over the last 100 years, is one of gradual evolution from a largely rural setting to a more urban setting through the subdivision of what were originally large estate parcels into smaller lots.

2.2. SURROUNDING HISTORIC AND CURRENT CONTEXT

As introduced in Section 1.3, there are no other resources in proximity to the subject site listed as Municipally Registered Heritage Properties, due in large part to the newer, primarily post-war, development of the area. To the north, there is a low-rise multi-unit residential building (Figure 9), while to the south, there is an expanse of open space that comprises St. George's Greek Orthodox Church.



Figure 9: Low rise apartment complex immediately to the north of the subject site

On the west side of Purcells Cove Road, there are single-family dwellings (Figure 10).



Figure 10: West side of Purcells Cove Road, immediately across from the subject site.

By the mid-1900s, the area known as Armdale was becoming a more suburban area than in the period prior to World War II, and was still in what was then known as the County of Halifax, but expanses of open space also existed. Purcells Cove Road was still called by its historic name, Melville Cove Road. Modest sized houses of one or one and a half storeys were common (Figure 11).



Figure 11: 1951 Revised Fire Insurance Plan (partial) with subject site outlined
Source: Nova Scotia Archives

The most prominent buildings in that general area were St. John the Baptist Church, which by that time had its new school building set at the rear, and South Armdale School to the north

3. RESEARCH AND ANALYSIS

One of the two buildings on this site is evaluated for this Heritage Impact Statement, Former St. John the Baptist Church. While it had been evaluated by Halifax Regional Municipality for inclusion as a Registered Heritage Property, it still requires a Statement of Significance, to formally document it and assist in the conservation approach.

The development of the west side of the Northwest Arm was only beginning in any notable degree by the early 1900s. As the decades passed, development continued slowly and in the post-war period, the subject site was surrounded by houses, most of which were on larger lots although most were set on the north side of what was then called Melville Cove Road (Figure 12).

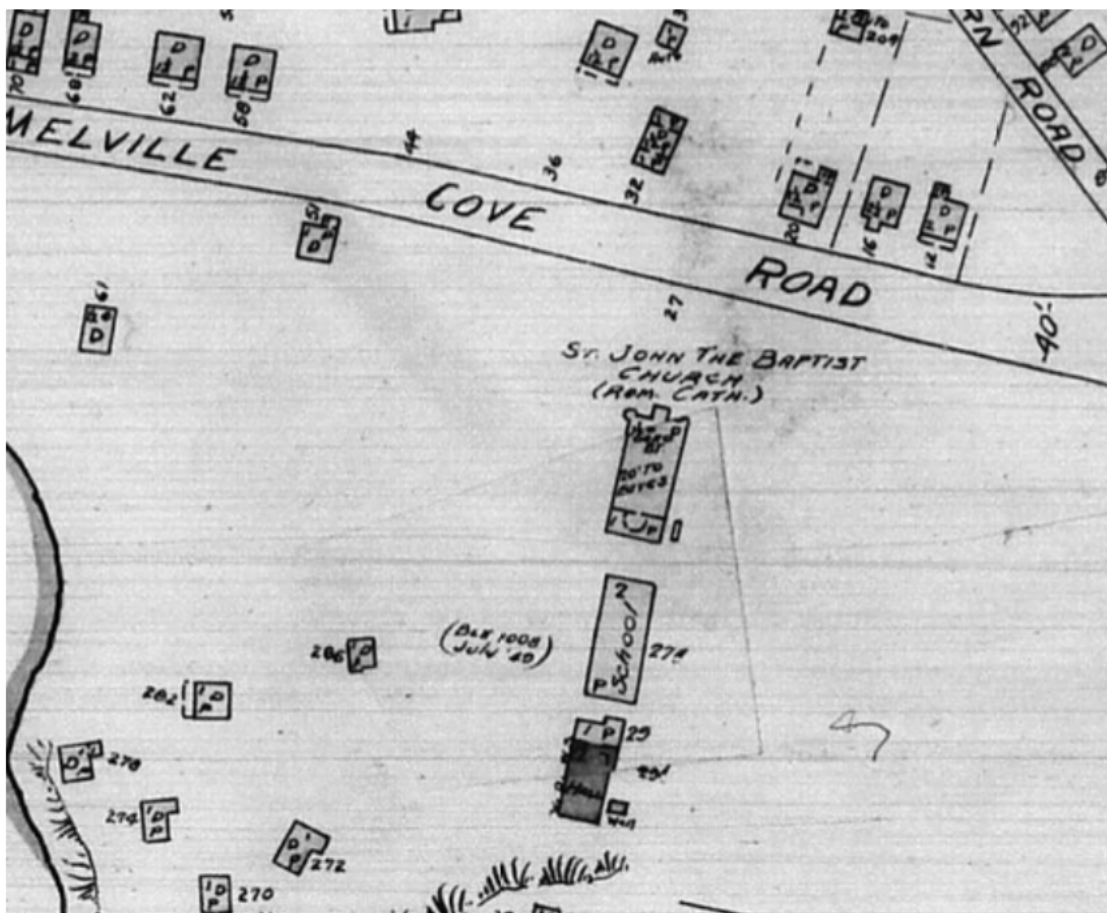


Figure 12: 1951 Fire Insurance Plan (partial) showing subject site and immediate area
Source: Nova Scotia Archives

3.1. FORMER ST. JOHN THE BAPTIST CHURCH AND CHURCH HALL, 1102 PURCELLS COVE ROAD

The former St. John the Baptist Church was originally a place of worship when constructed in 1929, and the later church hall, added in 1948, served as an expanded educational facility. Until recently, it was used continuously by the Catholic Diocese but was deconsecrated in recent years.

3.1.1. HISTORICAL AND CULTURAL CONTEXT

The historic context of St. John the Baptist Church extends back prior to its construction date in 1929. The first building that was used by the Catholic church was a Powder Magazine situated in a forest on a property owned by Mr. Hosterman. The magazine itself was owned by Curtis and Harvey, English manufacturers who stored dynamite and other explosives in that building. As such, for safety purposes, the walls were required to be massive and measured 2½ feet thick.¹

In the closing months of 1919, the magazine was purchased by Mr. John Egan of Melville Cove. In January 1920, Mr. Egan offered the deed of the building and a piece of surrounding land to the Roman Catholic Episcopal Corporation to be used as a chapel (Figure 13)



Figure 13: The First Church (1920-1929) – Adapted from a Powder Magazine storage building. Source: Courtesy of the Mainland South Historical Society

¹ Halifax Mail Star, May 28, 1920, p. 105.

The Halifax Explosion had many implications for the city, including creating a premium for housing – many buildings were either destroyed in the blast or were made uninhabitable – and as such, many began to move westward and across the Northwest Arm. For the latter, the nearest church was St. Agnes’ and it was due to the foresight of John Egan “that the Catholics of Armdale owe their gratitude.”²

John Egan was certainly paramount as a figure who championed the establishment of a Catholic parish in this area. He saw the need to have such a parish serving the area between Armdale and Herring Cove.³ In 1920, he went to California in the hope of improving his health, but he died in August 1921 at the age of 82. His body was brought to Halifax and was interred in Holy Cross Cemetery.⁴

However, he achieved his goal of having a church opened to serve the local area. In 1920, the little church of St. John the Baptist opened to serve the population of Melville Cove, Armdale and the surrounding districts. At that time, it was a mission of St. Agnes’ Church in Halifax. The first priest was Rev. Michael J. Cole, then pastor of St. Agnes’ parish. The building was solemnly blessed by the Archbishop of Halifax, Edward J. McCarthy on June 24, 1920. The first mass was celebrated on the following Sunday by Monsignor Gerald Murphy.

The church was established as a parish in 1927 and Rev. P.F. Martin, who had been ordained in 1920 and was appointed pastor upon establishing the parish here, had served as Curate to Father Cole as St. Agnes’ Church.⁵ He was the son of a late senator and was the brother of Rt. Rev. Cyril J. Martin, pastor of St. Patrick’s parish in Halifax.⁶

Under the direction of Father P.F. Martin, the congregation grew significantly, spurred on by the increasing population of the district. It became necessary to build an addition to the little church of St. John the Baptist to accommodate an additional 50 people. What was originally a handful of parishioners grew to 70 people and the number of children attending Sunday school grew from 13 to 130.⁷

Arrangements were made for a new church, the present building that was completed in 1929. The cornerstone was laid on June 24, 1929, by his Lordship

² Nova Scotia Archives, Catholic Reference Book and Parish Register, 1929, p. 56-59.

³ *Evening Mail*, December 7, 1929

⁴ Peter Martin, Sister Pius School Archives, updated November 2018

⁵ Nova Scotia Archives, Catholic Reference Book and Parish Register, 1929, p. 56-59

⁶ *Halifax Mail Star*, September 22, 1964, p. 3

⁷ *Evening Mail*, December 7, 1929

Bishop MacDonald. The original pastor was Rev. Father Peter Martin served continuously until his death on September 21, 1964.⁸ The church continued to serve many roles in the community, including educational (Figure 14).



Figure 14: The first cohort of students, c. 1946. Source: Courtesy of the Sister Pius Memorial School

The church, designed by architect David Saxton of Halifax, and built by Richard Carmichael, included a statue of Christ the King set on a stone plinth at the front of the property (Figures 15 and 16) and was immediately a landmark in the community (Figure 17).

⁸ Iris V. Shea, Chebucto News, August 2021



Figure 15: St. John the Baptist Church, c. 1949-1950. Source: Courtesy of the Sister Pius Memorial School.



Figure 16: Statue of Christ the King, c. 1951. Source: Courtesy of the Sister Pius Memorial School.



Figure 17: Front and south side of former St. John the Baptist Church, 1102 Purcells Cove Road, c. 1954. Source: Courtesy of the Mainland South Historical Society.

David Saxton was an architect who designed other noteworthy buildings in and around Halifax between 1913 and 1929. As such, St. John the Baptist Church represents one of the last works by this architect. He was trained in the building trades, went to the United States in 1909 to receive his architectural training,

and returned in 1913 to Nova Scotia. He opened an office in Halifax in 1920 but had closed it by 1927 and chose to join the staff of Charles A.D. Fowler, architect. Around the same time as he designed St. John the Baptist Church, he designed a rectory for St. Thomas Aquinas Roman Catholic Church and St. Ignatius Roman Catholic Church (both in 1929). Following this he joined the Nova Scotia Department of Highways and Public Works. He became a member of the Nova Scotia Society of Architects in 1941. He retired in 1959 and died in Halifax in January 1962.⁹

The opening of Sister Pius Memorial School by Father Martin in 1946 was a notable illustration of the church's growth and role. It was a parochial school, with three classrooms situated in the basement of St. John the Baptist Church. These rooms served the 125 pupils in grades one to four, but not long afterwards, a call went out to parishioners to help fund a new building to accommodate the growing number of students from kindergarten to grade nine.

Sister Pius Memorial School had up to 150 students in its Sunday School, taught by the Sisters of Charity. As such, in 1948, it was necessary to build a larger school at the rear of the church which housed six more classrooms. This new school was to serve the growing number of Roman Catholics in Armdale, Melville Cove, Kline Heights, Spryfield, Jollimore, and Purcell's Cove (Figure 18).¹⁰



Figure 18: First grade students in the basement of the church, c. 1948. Source: Courtesy of the Sister Pius Memorial School

⁹ *Halifax Chronicle Herald*, January 22, 1962.

¹⁰ Iris V. Shea, *Chebucto News*, August 2021

The parochial school was amalgamated with the Halifax School Board in 1969 and thus became a public school. However, it closed in 1972 because of declining enrolment. Sister Elsie Martin was principal when it closed.¹¹

3.1.2. ARCHITECTURAL ASSESSMENT

The former St. John the Baptist Church is an excellent example of a church built in the inter-war period in the Spanish Mission style, which was one of the styles that was common to this era. Between the 1890s and 1920s, California architects contributed significantly to bring a distinctly south-west flair from their historic surroundings, to adapt this across North America. The style is characterized by silhouetted shapes, white stucco walls, red clay roofs and bell towers, punctuated by deep windows and door openings. Surfaces were commonly devoid of any ornamental detail. The former St. John the Baptist Church strongly reflects this influence and style.

Notably, it has a modest setback from the street and is set on a generous size lot with most of the space on the north side and at the rear; the significant amount of space on the south side is deceptive, as this is a separate lot on which the former Rectory is located. However, when assessing the entire subject site, the space on all sides is generous. It is presented as a balanced form of front gable, flanking octagonal spires and a wide front entry, in front of which is set the Christ the King statue (Figure 19).

¹¹ Peter Martin, Sister Pius School Archives, updated November 2018



Figure 19: Front of former St. John the Baptist Church, 1102 Purcells Cove Road.

The rear extension comprising the former church hall. This is a simple two-storey elongated low-pitched chamfered gable roof form with extensive tripartite window arrangements. It is a functional building and does not present the ornate character of the former church, as it was built to serve the classroom and general education functions to support the church (Figure 20).



Figure 20: South side of former St. John the Baptist church hall, 1102 Purcells Cove Road.

The other elements that contribute to the overall character and significance of the former St. John the Baptist Church are: ¹²

- Location on the west side of Purcells Cove Road south of Anchor Drive;
- Main floor set nearly a full floor above grade;
- Craftsmanship as evidenced in its design and finishes;
- Front-gabled form, presented as a Spanish-Mission parapet capped by a cross, with a steeply-pitched roof structure behind and flanked by turrets on the front corners;
- Multiple central entries;
- Punched window openings on the main floor;
- Octagonal spire towers on either side of the front face, capped by a narrower octagonal face and covered by a rounded roof form, with crosses on top;
- Variety of wood windows;
- Modest “buttresses” protruding out slightly along the north and south sides;
- Fenestration including:
 - Set of three front entry doors with arched tops;

¹² A more extensive list can be found in the Character-Defining Elements of the Statement of Significance, Section 4.1

- Single-set rounded-top tall **leaded** glass windows on either side of the entry bay;
- Multi-frame rounded top leaded glass picture window on the front above the entry;
- Single-set rounded-top windows in the capped tops of the corner spires;
- Small rectangular ribbon windows on the north side, south side and front of the corner spires;
- Paired fixed ribbon windows on the front, sides and rear with arched tops and circular “oeil de boeuf” window set at the top, each of which has leaded stained glass;
- Rounded bay on the south side with shorter inset fixed windows;
- Design details including:
 - Decorative wood “lintels” set as a surround of the top sections of the single and paired leaded glass windows with a ball and raised ribbed banding profile;
 - Inset rounded-top alcove on front of each of the corner spires with a statue of a religious figure;
 - Raised wood banding framing the outer edges of the windows;
- Landscape features including Christ the King set on a stone pedestal at the front.

These elements are illustrated in Figure 21a to 21d.



Figure 21a: St. John the Baptist Church, 1102 Purcells Cove Road – front and south side



Figure 21b: St. John the Baptist Church, 1102 Purcells Cove Road – south side



Figure 21c: St. John the Baptist Church, 1102 Purcells Cove Road – north side



Figure 21d: St. John the Baptist Church, 1102 Purcells Cove Road – rear

3.1.3. INTEGRITY, REPRESENTATION OF STYLE AND DESIGN

Overall, the integrity of the former St. John the Baptist Church is excellent. The only notable alterations are on the front and rear, and a ramp on the north side.

On the front, there is a larger entry vestibule added which changed the appearance of that face of the ground floor (Figure 22).



Figure 22: Entrance enclosure of front of church and side window detail

However, the doors from the original entry appear to have been removed and not reincorporated in the larger vestibule, although the proportion of openings is accurate to original given that the transoms that were set above the original entry doors are intact (Figure 22). The change to the glazing in the doors, comparing Figure 22 to Figures 23 and 24 (following page), is evidence of the changes but also verifies that the transom is original



Figure 23: Original modest entry at the front with the doors reset on the newer front wall face which appear to be replacements based on glazing pattern (1954)



Figure 24: Original entry doors, transom and side windows on front face (1946)

In addition, the windows that were located on either side of the entry bay appear to be exactly the same ones that are now set on each side of that newer enlarged entry space.

Therefore, although the front, ground level, was significantly altered in its appearance, the fenestration was preserved, albeit in a different arrangement. This will allow an excellent opportunity for the front to be restored back to its original appearance, including reinstatement of the transoms and narrow sidelights – see Section 8 for more details.

At the rear, the original bay that would have housed the altar area was enlarged. However, the structure of that bay is still evident, extending out from the roof of the newer enlargement (Figure 25).



Figure 25a: Access ramp and entry bay on the north side



Figure 25b: Rear additions to church with original bay still evident, seen from north side

There is also an access ramp and what appears to be a newer entry set on the north side toward the rear. It is presumed that this section of the north side would originally have had a rounded bay similar to the one on the south side. While these changes do express its evolution over time, they also have an impact on the overall character.

The building has also had vinyl siding added. While the general profile appears to be historically correct, it is not accurate since the original shingle cladding is presumed to exist underneath); the vertical corners of the vinyl siding that disguise the points of horizontal connection do detract slightly.

Otherwise, all the notable fenestration and design detail appears to be intact with the exception of those areas at the front and rear that have been covered by the additions.

The overall integrity of the church hall addition is good, but it is not assessed as part of this report as it is proposed to be removed as part of the development proposal.

3.2. RECTORY, 1110 PURCELLS COVE ROAD

For the purposes of this report, the Rectory at 1110 Purcells Cove Road has only a limited historical overview and heritage assessment, since it is not proposed to be retained as part of the development.

3.2.1. HISTORICAL AND CULTURAL CONTEXT

The Rectory was constructed in 1969. According to church records the building was constructed as a residence for the priest of St. John the Baptist Church.

3.2.2. ARCHITECTURAL ASSESSMENT

The Rectory is a two-storey wood frame dwelling that is a fair example of the modern style, fronting Purcells Cove Road. Its Modern form includes the south half of the front face set prominently forward from the other half of the front.

Its context is a modest setback from the street, on a large lot with significant open space at the rear (Figure 26).



Figure 26: Context of the former church and Rectory (right), seen from Purcells Cove Road

The other elements that contribute to the overall character and significance of this building are: ¹³

- Location on the west side of Purcells Cove Road south of Anchor Drive;
- Basement set nearly at grade on the north side and at grade on the south side;
- Craftsmanship as evidenced in its design and finishes;
- Front-gabled form, with a modest pitched roof structure, the south half of which is extended forward to offset the north half;
- Central set side-facing entry;
- Fenestration including:
 - Large fixed windows with a small side section that is operable;
- Decorative elements including:
 - Vertical banding in the sections of walls with windows;
- Variation in cladding, presented primarily as shingles;
- Exterior face brick chimney at the rear.

These elements are illustrated in Figures 27a to 27b.

¹³ A more extensive list can be found in the Character-Defining Elements of the Statement of Significance, Section 4.2



Figure 27a: Rectory, 1102 Purcells Cove Road – front



Figure 27b: Rectory, 1102 Purcells Cove Road – rear and north side

3.2.3. INTEGRITY, REPRESENTATION OF STYLE AND DESIGN

The Rectory appears to retain its full integrity.

3.3. SUMMARY

The historical significance of the building that is a Registered Heritage Property, the former St. John the Baptist Church, and that makes up this Heritage Impact Statement is notable. The construction in 1929 exemplifies the earliest development of this outlying area with further ties back to the previous church that had been modified in 1920 out of a magazine storage building. The former church illustrates the role and prominence of the Catholic church in the community, and its ties to persons of importance in the local area.

The character remains well intact. The alterations include the front and rear, with the addition of a larger and wider entry and the connection between the original church and the 1948 addition of a church hall at the rear, and a newer entry with a ramp on the north side. These detract slightly from the overall heritage character. The critical elements of the former church are intact, including its form, original window openings, frames and sashes, stained glass and other design details. The

two areas that have undergone the most change – the front and rear – will be restored back to their original appearance.

It is a combination of tangible and intangible values – some of the earliest spiritual worship in this area of Halifax and associations with church leaders and the architect, both of local importance, along with the transition of the neighbourhood, **that express the heritage values (see Section 4, Statements of Significance)**. It is also the basis for retention of the Registered Heritage Property.

These values are found in the former church and while the church hall and Rectory on the adjacent property, while retaining much of their character, do not have heritage significance and the values needed to justify their retention.

4. STATEMENT OF SIGNIFICANCE

A Statement of Significance is prepared for the former St. John the Baptist Church, 1102 Purcells Cove Road, due to its status as a Registered Heritage Property, while a Statement of Significance is not proposed for the Rectory, 1110 Purcells Cove Road.

4.1. FORMER ST. JOHN THE BAPTIST CHURCH, 1102 PURCELLS COVE ROAD

DESCRIPTION OF HISTORIC PLACE

The former St. John the Baptist Church is a two-storey wood frame and wood clad place of worship from the inter-war era, situated on the east side of Purcells Cove immediately north of Anchor Drive, in the Halifax West – Armdale neighbourhood of Halifax, Nova Scotia. It is presented in the Spanish Mission style and is notable for its paired octagonal towers on each corner of the front and its expansive front window arrangement.

HERITAGE VALUE

The former St. John the Baptist Church, built in 1929, is valued as an example of some of the earliest development in Halifax West – Armdale and the growth of the local Catholic congregation, for its association with the earliest parishioners and its architect, for its expression of the church's growth and evolution, and for its aesthetic qualities.

The development of this church extends back prior to the existing building and is valued for its ties to the earliest settlement of the area, which in the early 1900s was still an outlying area predominantly rural in character. The rapid growth westward, spurred on in large part as a result of the Halifax explosion of 1917 and the post-war optimism focused on Armdale as one of the more desirable places to live, away from the active harbour and downtown.

The former St. John the Baptist Church is valued for its association with both the early congregation, led by John Egan of Melville Cove. In January 1920, Mr. Egan offered the deed of the former magazine building and surrounding land to the Roman Catholic Episcopal Corporation to be used as a chapel. It is furthermore important for its association with Father Peter F. Martin, who oversaw the rapid earliest growth of his congregation in the 1920s, who continued on from the original church to lead this church in its new building, and who oversaw it expand to house a large school added at the rear in 1948. Father Martin served continuously until his death in September 1964.

The association with its architect, David Saxton, is another valued trait. The former church exemplifies one of his last works. He practices in and around Halifax between 1913 and 1929, who also designed a rectory for St. Thomas Aquinas Roman Catholic Church and St. Ignatius Roman Catholic Church, also in 1929. He became a member of the Nova Scotia Society of Architects in 1941, retired in 1959 and died in Halifax in 1962.

The former St. John the Baptist Church exemplifies the growth of the Catholic congregation, from a small group who required a place of worship in the outlying area of Halifax. Its first building was modified in 1920 from a wartime facility that housed munitions, and with the rapid growth of its congregation in the years immediately following, saw the need for a larger building for worship and education. The completion of the current building in 1929 illustrates the rapid changes taking place here over less than a decade in duration. The construction of an educational building at the rear in 1948 further illustrates how those needs were expanding and met.

The former St. John the Baptist Church is additionally valued for its Spanish Mission style and design elements as expressed in its form, which includes octagonal towers, stained glass windows of varying sizes and its remaining interior including a vaulted beamed ceiling.

CHARACTER DEFINING ELEMENTS

The character-defining elements of the former St. John the Baptist Church at 1102 Purcells Cove Road are its:

- Location on the west side of Purcells Cove Road south of Anchor Drive;
- Basement set nearly at grade on the north side and at grade on the south side;
- Wood frame construction and finishes;
- Craftsmanship as evidenced in its design and finishes;

- Materials that are considered, in today's context, to be uncommon or more challenging and costly to source and represent significant embodied energy, and for which the retention is in line with principles of sustainability, in this case its old growth lumber in both the structure and the decorative fenestration;
- Front-gabled form, presented as a Spanish-Mission parapet capped by a cross, with a steeply-pitched roof structure behind and flanked by turrets on the front corners;
- Multiple central entries;
- Punched window openings on the main floor;
- Octagonal spire towers on either side of the front face, capped by a narrower octagonal face and covered by a rounded roof form;
- Variety of wood windows;
- Modest "buttresses" protruding out slightly along the north and south sides;
- Apse protruding from the east side, in a bay form;
- Fenestration including:
 - Set of three front entry doors with arched tops;
 - Single-set rounded-top tall leaded glass windows on either side of the entry bay;
 - Multi-frame rounded top leaded glass picture window on the front above the entry;
 - Single-set rounded-top windows in the capped tops of the corner spires;
 - Small rectangular ribbon windows on the north side, south side and front of the corner spires;
 - Paired fixed ribbon windows on the front, sides and rear with arched tops and circular "oeil de boeuf" window set at the top, each of which has leaded stained glass;
 - Rounded bay on the south side with shorter inset fixed windows;
- Design details including:
 - Decorative wood "lintels" set as a surround of the top sections of the single and paired leaded glass windows with a ball and raised ribbed banding profile;
 - Inset rounded top alcove on each of the corner spires with a statue of a religious figure;
 - Raised wood banding framing the outer edges of the windows;
- Interior elements including:
 - Vaulted ceiling;
 - Fir rafters and beams and supporting brackets;
 - Fir window trim;
 - Series of metal light fixtures suspended from the ceiling by chain

5. CONSERVATION STANDARDS AND ASSESSMENT OF EXISTING CONDITIONS

This Heritage Impact Study is to determine the appropriateness of the proposed degree of conservation for the retained building on the subject site and in the context of the broader proposed development, using locally and nationally-approved standards for conservation.

The proposed work entails the preservation and rehabilitation of the former St. John the Baptist Church. The *Standards and Guidelines for the Conservation of Historic Places in Canada*, by Parks Canada, is the most critical of conservation resources to be referenced when assessing the appropriate level of conservation and intervention here.

A series of Technical Preservation Briefs is also available through the *U.S National Park Service*. These include energy efficiency, roofing, abrasive cleaning and identification of visual aspects to aid in preserving character. While not outlined in this Heritage Impact Statement, these may serve as a helpful reference and supplement the two primary sources noted above.

5.1. STANDARDS AND GUIDELINES – PARKS CANADA

The of the above-noted building contributes meaningfully to the heritage character and context of the immediate area. It has the values that justify retention, preservation, restoration and rehabilitation as part of the larger development project, and as formally recognized by Halifax Regional Municipality.

Under Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*, the work proposed includes aspects of preservation, restoration and rehabilitation.

Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form and integrity of a historic place or of an individual component, while protecting its heritage value.

Restoration: the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

Interventions to the historic buildings should be based upon these Standards, which are conservation principles of best practice. The following General Standards should be followed when carrying out any work to a historic property.

STANDARDS

Standards Relating to All Conservation Projects

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character-defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an on-going basis. Repair character-defining elements by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is

- insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
 12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

5.2. EXISTING CONDITION – FORMER ST. JOHN THE BAPTIST CHURCH, 1102 PURCELLS COVE ROAD

The condition of the former St. John the Baptist Church, which is proposed to be retained in full as part of this DA, is generally good. It has been well maintained and the alterations that have occurred to the front and rear have covered but have not compromised the original components, some of which remain but in a different arrangement.

Its current conditions are outlined in the following sub-sections.

Condition Assessment is based on the following accepted criteria:¹⁴

Physical Condition: The physical state of a property, system, component or piece of equipment. Within the context of the assessment, the consultant may offer opinions of the physical condition of the property, or of systems, components and equipment observed. Such opinions commonly employ terms such as good, fair and poor, though additional terms such as excellent, satisfactory and unsatisfactory may also be used.

¹⁴ Read Jones Chrisoffersen Engineers

Good Condition: In working condition and does not require immediate or short-term repairs above an agreed threshold.

Fair Condition: In working condition but may require immediate or short-term repairs above an agreed threshold.

Poor Condition: Not in working condition or requires immediate or short-term substantially above an agreed threshold.

Further details on conservation strategies are found in Section 8 of this report.

Foundation:

Not assessed as this development requires relocation of the building.

Cladding:

Vinyl siding, in generally good condition on all sides.

Roof:

Asphalt shingles on the rear roof face appear to be in fair condition, exhibiting some signs of weathering.

Windows:

Wood frame and sash, in generally good condition.

Doors:

Front entry doors are in generally good condition. However, they are not original, but rather replications when the larger vestibule was added.

Other Decorative Elements:

Window trim, brackets, crosses on the spires and raised lintels and rounded edge inset corner trim are in good condition.

5.3. PHOTO DOCUMENTATION

The overall views of each side of the former St. John the Baptist Church, along with design details and evidence of a newer addition is illustrated in Figures 28a to 28m.

5.3.1. FORMER ST. JOHN THE BAPTIST CHURCH, 1102 PURCELLS COVE ROAD



Figure 28a: Context of Former St. John the Baptist Church, 1102 Purcells Cove Road – front



Figure 28b: Context of former St. John the Baptist Church, 1102 Purcells Cove Road – rectory on the south side and Christ the King statue set in front



Figure 28c: Former St. John the Baptist Church, 1102 Purcells Cove Road – front and south side



Figure 28d: Former St. John the Baptist Church, 1102 Purcells Cove Road – front entry



Figure 28e: Former St. John the Baptist Church, 1102 Purcells Cove Road – partial front



Figure 28f: Former St. John the Baptist Church, 1102 Purcells Cove Road – partial front and spatial setback on the north side



Figure 28g: Former St. John the Baptist Church, 1102 Purcells Cove Road – south side and rear addition



Figure 28h: Former St. John the Baptist Church, 1102 Purcells Cove Road – north side (original section)



Figure 28i: Former St. John the Baptist Church, 1102 Purcells Cove Road – north side with secondary entry and ramp, seen from the rear



Figure 28j: Christ the King statue set at the front of the site



Figure 28k: Interior view toward the apse illustrating the vaulted ceiling, walls and overall spatial arrangement



Figure 28l: Interior view toward the apse illustrating the decorative and structural wood components set into the vaulted ceiling and the walls



Figure 28m: Interior view from the apse toward the rear illustrating the rounded bay on the south side, the choir loft and tracery

5.3.2. FORMER CHURCH HALL, 1102 PURCELLS COVE ROAD



Figure 29a: Connection between Church Hall, north side



Figure 29b: Former Church Hall – south side



Figure 29c: Former Church Hall – rear and south side



Figure 29d: Former Church Hall – south side (partial)



Figure 29e: Former Church Hall – north side



Figure 29f: Former Church Hall, 1102 Purcells Cove Road – rear

5.3.3. RECTORY, 1110 PURCELLS COVE ROAD

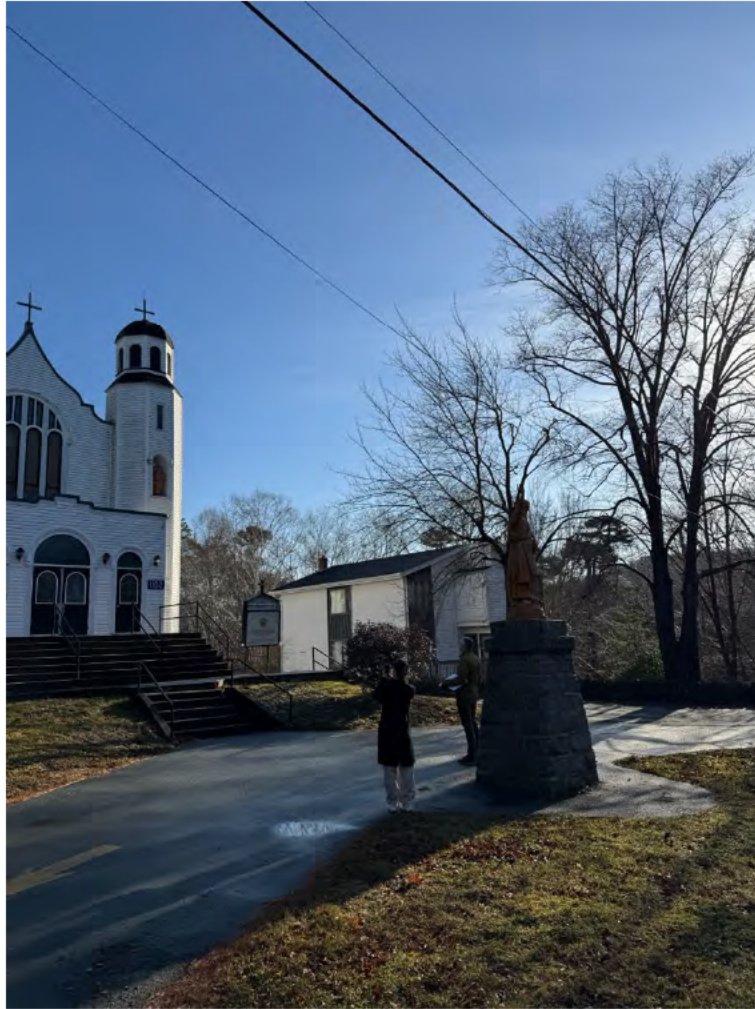


Figure 30a: Former Rectory, 1110 Purcells Cove Road – context as seen with Former St. John the Baptist Church (left)



Figure 30b: Rectory, 1110 Purcells Cove Road – context from rear seen with former St. John the Baptist Church (right)



Figure 30c: Former Rectory, 1110 Purcells Cove Road – front and north side



Figure 30d: Former Rectory, 1110 Purcells Cove Road – south side



Figure 30e: Former Rectory, 1110 Purcells Cove Road – north side and rear



Figure 30f: Former Rectory, 1110 Purcells Cove Road – rear

5.4. HALIFAX REGIONAL MUNICIPALITY – MUNICIPAL REQUIREMENTS

The proposed development is further guided by Halifax Regional Municipality's **Secondary Municipal Planning Strategy (SMPS) with amendments to August 2022.**

The subject area is not part of any established or proposed Heritage Conservation District. As such, conservation policy and related regulations and incentives, particularly those found in **Part 5 – Culture and Heritage** of the **Secondary Municipal Planning Strategy (SMPS)**, are the basis by which further evaluation of the conservation standards are applied to the proposal to retain the building on site and integrate a new multi-unit residential development at the rear. This includes direction on:

- Setbacks and the relationship of the new building to the heritage building;
- Application of massing and materials;
- Façade articulation through use of materials, rhythm and order; and
- Proposed conservation approaches to the former church

Section 5.1 – Cultural and Heritage Resources

The high-level objectives that apply to this site are: ¹⁵

CH1 - Consider built heritage and the impacts of land use and built form on community character.

CH2 - Preserve and enhance the built and living heritage including places, sites, structures.....which reflect the Regional Centre's diverse evolution, built heritage and culture.

CH3 - Inventory potential cultural landscapes, built and living heritage, including heritage sites, landmark buildings, and Heritage Conservation Districts to inform land use and development decisions.

CH4 - Identify and protect a wide range of cultural resources that reflect the heritage and culture of diverse communities.

CH5 - Establish incentives to encourage public and private sector investments in heritage conservation and stewardship of cultural resources.

CH6 - Evaluate heritage and cultural policies, programs, interventions, and building regulations to ensure consistency with evolving community values and new guiding documents.

This outlines the basis for principles of formal recognition and management of heritage properties and buildings, including interiors and cultural landscapes, that define various communities, provide a sense of identity, and illustrate that community's evolution, while encouraging their continued use. This also explains the key components of identification as part of protection, restoration and interpretation. This is primarily achieved, though not exclusively, through the expression of character defining elements (as found in a Statement of Significance) and preserving, rehabilitating and restoring those elements. Furthermore, new construction should be compatible yet distinguishable from the heritage component(s). This is also consistent with *Standards and Guidelines for the Conservation of Historic Places in Canada* (elaborated on in Section 5.1 of this report).

As per this section, under Policy 5.1, "The Municipality shall consider creating and maintaining a broad range of programs that provide financial or other incentives for the identification, registration, conservation, and continued use of buildings, structures, streetscapes, cultural landscapes, areas and districts of historic, architectural or cultural value." ¹⁶

¹⁵ Regional Centre Secondary Municipal Planning Strategy, p. 151.

¹⁶ Regional Centre Secondary Municipal Planning Strategy, p. 152.

This forms the foundation of enabling Development Agreement policies. The intent of this tool is to support the rehabilitation and adaptive re-use of Registered Properties – such as the former St. John the Baptist Church at 1102 Purcells Cove Road – by providing increased land use flexibility and development potential to property owners, though measures such as incentives and other regulations to protect, restore and enhance through the measures outlined under Policy 5.3 to maintain the heritage value and context of the heritage building(s) and the surrounding neighbourhood.¹⁷

This includes conservation and applying regulations such as height, floor area ratios, and incentives to repair and conserve through bonus zoning and DA's.

6. IMPACT OF DEVELOPMENT – SITE ALTERATION

The proposed development will result in specific destruction of two resources: the former church hall at 1102 Purcells Cove Road, which technically comprises part of the Registered Heritage Property, and the Rectory at 1110 Purcells Cove Road. However, as the proposal pertains specifically to impact on character-defining elements of the Registered Heritage Property, none is proposed to be altered or removed as part of the proposal.

Due to 1102 Purcells Cove Road being a Registered Heritage Property located outside a Heritage Conservation District, an application for substantial alterations is necessary.

This is discussed further in the following sections.

6.1. DESTRUCTION OF CHARACTER DEFINING ELEMENTS

As outlined in Section 4 of this report, the character-defining elements of the Registered Heritage Property apply entirely to the former St. John the Baptist Church. While the building added to the rear of the church, and subsequently attached at ground level, illustrates the growth and evolution of the church and particularly its role in education, on its own it does not have the values or other heritage merit, including character-defining elements, to be considered for retention, either in whole or in part. The education role of the church, as an intangible component, is not continuous (i.e. it has been many years since that role was disbanded), and the education role of the church is equally expressed (in an intangible form) in the former church itself, specifically the lower floor which served as the earliest function of Sunday school and was known as Sister Pius Memorial School. Likewise, the removal of the Rectory at 1110 Purcells Cove Road will not

¹⁷ SMPS, 2022, p. 153

have any effect on the Registered Heritage Property, as it does not have any heritage value or character-defining elements.

The slight relocation of the former St. John the Baptist Church (illustrated in Figure 5 of this report) will additionally allow for it to have an even stronger street presence and bring back much of its earliest appearance – because of the road realignment many years ago, the church no longer retains its historic orientation to the street. Moving it slightly will re-establish that same orientation that it had when it was constructed, and it will retain the same orientation to grade as it has always had. In addition, the Christ the King statue which is set in front of the former church as a landscape element will be relocated in order to retain the historic orientation of this component with the front of the building.

With the removal of the front addition and restoration of the entry, the components that were relocated earlier, comprising the door frames, transoms and narrow “sidelight” windows (currently facing north and south) and their surrounds, will be conserved and reinstated in their original locations. (It should be noted that the current entry doors are not original and therefore are not character-defining elements.) The former church will remain accessible with a new use of the interior space. The new use of the interior of the former church will not result in any alteration to the remaining character-defining elements.

Therefore, no character-defining elements will be impacted as a result of this proposed development.

6.2. ALTERATIONS OR INTERVENTIONS

The major alterations or interventions consist of the removal of the former church hall and the Rectory. The minor intervention consists of the slight relocation of the former St. John the Baptist Church, along with the removal of the later additions at the front and rear. This will allow for the restoration of the former St. John the Baptist Church on site, and the development of a detached 18-story residential building at the rear.

The interior of the former St. John the Baptist Church will accommodate a new use, which has yet to be determined. The anticipated intervention to the exterior of the former St. John the Baptist Church is the addition of new exiting as part of life safety and accessibility improvements. The extent of the interventions are currently being explored.

With removal of the former church hall, and the full restoration of the front and rear of the former St. John the Baptist Church, a generous amount of spatial separation and landscaping will occur between the heritage building and the tower which will serve to soften the impact of the larger development and provide suitable green and

open space around the former church. The removal of the front addition specifically, the full restoration of that original entry and the relocation of the building closer to the street to restore its original alignment with the street will allow for it to be further showcased and take on a new use.

It will be imperative that there be no unforeseen negative impacts beyond these interventions. These are summarized as follows.

The alterations and interventions to the former St. John the Baptist Church are extremely limited as follows:

- Relocation of the building slightly to the south and west to be set on a new foundation, with general preservation of the historic orientation of main floor to grade;
- Removal of front and rear additions and restoration of those wall faces to their original appearance;
- Conservation of the original entry openings (but not the doors themselves), the transoms and the narrow “sidelight” windows, to be reinstated in their original configuration at the front, with the restored vestibule bringing back the same proportions as the original one;
- Removal of the vinyl siding and conservation of the shingle cladding underneath – on the understanding that that cladding is in good condition and does not require replacement; **should this not be the case, alternative actions are recommended, see Section 7.2 of this report;**
- Addition of a new exiting door, presuming that building code requirements for life safety and exiting, and to accommodate the change of use, to be achieved in the most discreet manner possible;
- Signage for the new business that will operate in the former church, in a design and illumination that will complement the historic character of the exterior.

The alterations and interventions to the Rectory at 1110 Purcells Cove Road involve the full removal of this building. As it has been assessed as having no heritage value and particularly in the sense of its contribution to the former church or other aspects of the area, this intervention is considered acceptable.

These components are illustrated in the elevations presented in Section 9 of this report.

6.3. SHADOWING, ISOLATION, OBSTRUCTION OR CHANGE IN USE

Aspects of shadowing and isolation, or obstruction, have been assessed. Given that the Registered Heritage Property will remain on site and will be moved forward, and a generous amount of open space will be provided at the rear of the former church, and be fully accessible and visible from the street, the new development at the rear will have no impact on shadowing, isolation or obstruction. In fact, the relocation will improve any past issues around isolation or obstruction, as it will be set closer to the street and be provided with ample circulation – both pedestrian and vehicular – around all sides.

The change of use is expected to only have extremely limited impact. It is acknowledged that the church is no longer viable as place of worship, either for the Catholic congregation, or for any new congregation. Therefore, a new use that will ensure the long-term viability of this building is paramount. A residential use inserted into this building would be expected to have detrimental impacts on both the exterior and interior, with new windows, doors and other upgrades. A new commercial use is the one that would have the least impact. This will require the conversion of the interior space to accommodate a new business, and it is critical that such conversion will not have any impact on the exterior character as seen from the street and for which alterations to the interior is minimal and has not impact on character-defining elements, including the need for any new exiting, as required by Building Code, and signage.

7. PROPOSED DEVELOPMENT – ALTERNATIVE AND MITIGATIVE STRATEGIES

This section provides an assessment of alternative options and mitigative strategies to ensure that the proposed intervention on the heritage resource is the best or only option available, while mitigative strategies are presented to ensure that the impact of the proposed intervention is reduced, minimized or eliminated.

7.1. ALTERNATIVE DEVELOPMENT APPROACHES

Due to the extremely high level of conservation proposed for the Registered Heritage Property, the only alternative development approach for the former church that was considered was to retain the former St. John the Baptist Church in its existing location, as part of the as-of-right development. While this option would ideally preserve its historic context, it presented a number of challenges, as follows.

- It would result in limited space on all sides on which to develop new, and with that constraint, would compete with, and crowd out, the former church and force the new building to be set extremely close to, the former church; it would require a low-rise building set along the south edge of the site, in front

of the former church, and negatively impact it vis a vis shadowing, massing and open space/landscaping and how it is seen from the street;

- Have the heritage building set further back from the street, thereby reducing its prominence, and would prevent it from being showcased, appreciated, and more easily accessed by those who might use the space and generate business, and thereby creating another negative impact, potentially limiting the economic viability of that new business;

In terms of development approaches for the new residential tower, this alternative massing scheme, prepared by the architects, is illustrated in Figure 31.

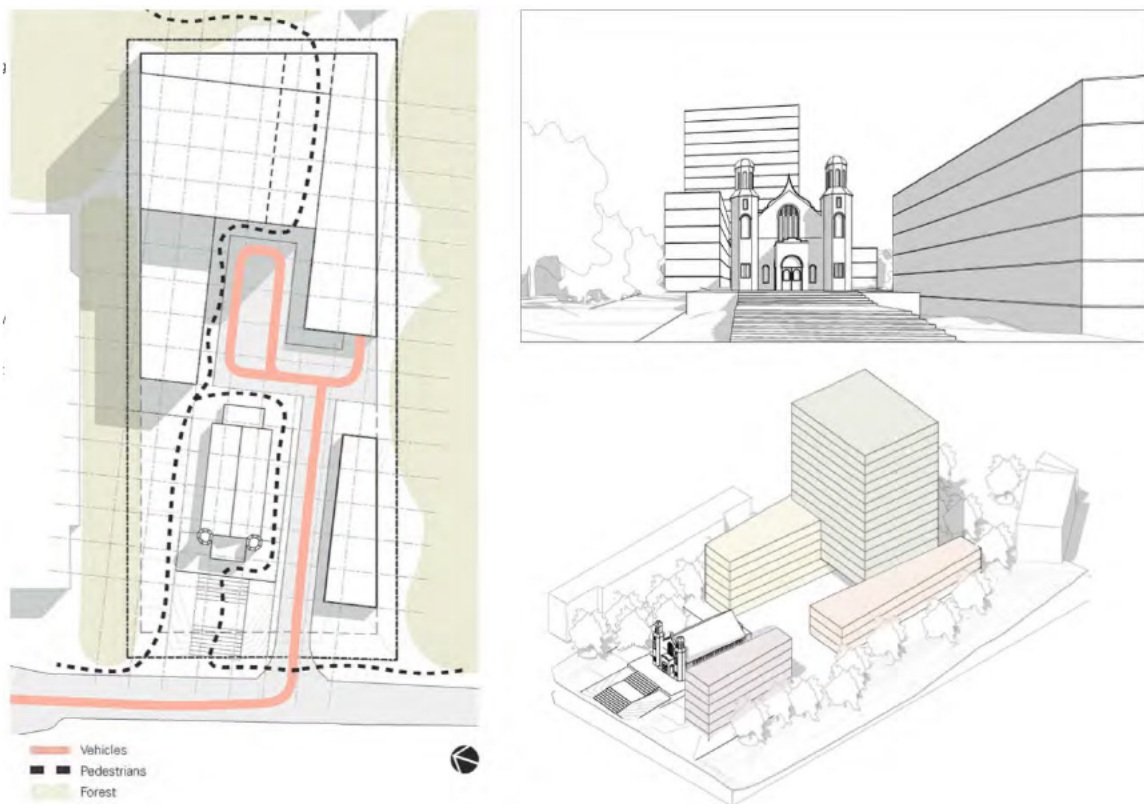


Figure 31: Alternative massing approach for the new residential tower

As previously discussed, it is important to note that the former church will remain on site, and repair of existing elements will be the overriding strategy. The relocation of the former church alleviates the many negative impacts noted above, keeps the building viable for new use(s) and achieves the maximum amount of open space between it and the new buildings on site.

7.2. MINIMIZING IMPACT AND IDEAL DESIGN APPROACHES

Standards and Guidelines for the Conservation of Historic Places forms the basis for addressing impact and arriving at the ideal design approaches for this development.

The new development will not require any changes to the heritage building, given that it is fully detached and the heritage building will accommodate a new use that is respectful to both the exterior and interior spaces. No introduction of new window openings is proposed at this time.

However, there are potential exterior changes tied to the change in use and to the restoration of the front and rear,

One potential impact, beyond the relocation itself, is the potential addition of one or more entry or emergency exit doors for the commercial business that is expected to occupy the former church sanctuary. Those will be entirely at the rear.

A second potential impact is the removal of the vinyl cladding on all sides of the former church, which is anticipated to expose the original wood shingle cladding (based on what is seen in archival photographs). The condition of these shingles, or even whether they still exist, is not known at this time. Therefore, an alternative strategy must be considered for this cladding. If, after removal of the vinyl cladding, it is determined that the wood shingles are non-existent, or that they are damaged or deteriorated to a point where it is not feasible to repair, then the alternative approach is to consider a material that is historically accurate from a visual point of view: cladding that has the same appearance and texture as wood shingles. To maintain consistency, that material is proposed to be used on the restored front vestibule wall face.

Finally, the third potential impact is on the stained-glass windows. To ensure that they are preserved and protected, the developer proposes to remove them and store them to protect them from being damaged from vandalism or during the development process. The windows will all be reinstated in the same configuration as they were when removed and have an additional layer of protective glass set on the exterior.

The ideal design approaches for the new development include sufficient spatial separation, the use of complementary textures, colour and degree of transparency, each of which are intended to lessen the impact of the new building on the heritage building.

7.3. RESPECTING THE HERITAGE RESOURCES

The heritage resources on the development site are fully respected as outlined in Sections 7.1 and 7.2 of this report. Restoring the front vestibule and rear apse, and particularly the front with the door frames, transoms and “sidelight” windows to be reinstated in their original locations, is a highly respectful approach. In addition, moving the stained-glass windows into storage during the development, and reinstating, is an acceptable and responsible approach.

Removing the ramp on the north side, to replace with a lift, will be far less overwhelming than is currently the case and be much more respectful of the overall heritage character of the building.

8. CONSERVATION STRATEGY

This conservation strategy, presenting the best option selected for the proposed development, is based on the principles and direction provided in Parks Canada’s *Standards and Guidelines for the Conservation of Historic Places (referred hereon as “Standards and Guidelines”)*.

Overall, the scope of work on the Registered Heritage Property that is to be retained in situ as part of the DA, and as elaborated on in Section 8.2, is to:

- Relocate the former church to a more prominent location on the site that will also allow for a more ample spatial separation between it and the new development to the rear;
- Retain and conserve the exterior of the heritage building;
- Restore the exterior to its original appearance vis a vis cladding, front entries and rear wall;
- Remove the residential building situated at 1110 Purcells Cove Road;
- Develop a new residential tower at the rear of the property.

This section also presents how the mitigative measures will be implemented. No need is anticipated for additional studies, documentation or salvage, since no heritage resource is proposed to be demolished.

8.1. METHODOLOGY FOR MITIGATING NEGATIVE IMPACTS

The former St. John the Baptist Church at 1102 Purcells Cove Road is a *contributing heritage resource* (i.e. formally listed/protected) and therefore requires retention. As such, all should be subject to conservation criteria specified under the *Standards and Guidelines*.

The work proposed for each includes aspects of preservation, restoration and rehabilitation as outlined in the *Standards and Guidelines*, and each standard is being met as outlined in the following table.

General Standards for Preservation, Rehabilitation and Restoration

Standard	Description
1	<p>Its intact and repairable character-defining elements are not to be substantially altered, removed or replaced.</p> <p><i>Comment: All elements on the Registered Heritage Property will be carefully examined for condition and are to be replaced only where it is demonstrated that it is beyond repair.</i></p> <p>Location, as one of its character-defining elements, is to be retained.</p> <p><i>Comment: While a relocation of the Registered Heritage Property will occur to orient it better to the street and allow for improved access and separation from the new development, it will remain on the same property and its historic orientation will only be adjusted slightly: it will still face Purcells Cove Road and due to the historic realignment of the road that altered the orientation of the former church, its relocation will allow that original orientation to the road to be reinstated. In addition, the relocation of the Christ the King statue, as a landscape feature, will reinstate its historic orientation to the front of the church as part of the larger relocation.</i></p>
2	<p>Minimal changes have occurred over time. However, only alterations that have become Character-Defining Elements in their own right, and as such, should be retained. Alterations that have not become Character-Defining should be removed.</p> <p><i>Comment: The changes to the front and rear of the Registered Heritage Property, consisting of a larger enclosed front vestibule and an expansion of the rear, including the addition of an education building, have not become Character-Defining Elements. As such, they are to be removed, and those walls restored. Restoration will be to a period-appropriate appearance using period-appropriate materials where none exist in situ. If early or original materials are found in situ, such as an original exterior wall face now situated on an interior wall, that shall be retained and repaired.</i></p>

Standard	Description
3	<p>Adopt an approach calling for minimal intervention.</p> <p><i>Comment: This is the overall standard expected of this development. Only where elements have reached a point beyond repair shall they be restored through replication vis a vis appearance, profile and material. Where they are in good condition, removal (and reinstatement) should only be done where cleaning, repair or other measures necessitate removal from the building. An example of this is the removal of stained-glass windows into storage during the development to protect from vandalism or damage.</i></p>
4	<p>Recognize a resource as a physical record of its time, place and use and do not create a false sense of history by adding other elements.</p> <p><i>Comment: The physical records of the intact building are to be retained, no other elements from other historic places are to be incorporated, and no features from this property that previously did not co-exist are to be combined.</i></p>
5	<p>Find a use requiring minimal or no change.</p> <p><i>Comment: The historic spiritual and educational uses of the Registered Heritage Property, which is normally a Character-Defining Element, cannot be retained or reinstated. The building has been deconsecrated and another congregation to fill it is not viable. As such, a new use will need to be found to provide long-term viability of the building. The most intrusive use, both to the exterior and interior, would be conversion to residential. Therefore, the proposed commercial use of the space will result in the minimal change, or no change at all, to the exterior beyond the required restoration of front and rear. A single commercial use will also allow for the interior to be fully respected and the maximum conservation of the remaining interior components – those that were not removed from the church before deconsecrating it. The only impact of the change of use may be at the rear where additional exiting and accessibility may be required as a life-safety measure.</i></p>
6	<p>Protect and stabilize if necessary.</p> <p><i>Comment: The buildings will be protected for the duration of the work. As noted above, the stained-glass windows will be placed into temporary storage during the development</i></p>
7	<p>Evaluate the condition of Character-Defining Elements to determine level of intervention required.</p> <p><i>Comment: As part of the proposed development, the condition of each Character-Defining Element is to be inventoried and assessed, with priority placed on repair, and replaced only if deteriorated.</i></p>

Standard	Description
8	<p>Maintain Character-Defining Elements on an on-going basis.</p> <p><i>Comment: The conservation and rehabilitation consisting of both repair and restoration will ensure that Character-Defining Elements are retained and maintained under approved standards. The section of this report that deals with maintenance is to be followed.</i></p>
9	<p>Make any intervention to preserve Character-Defining Elements physically and visually compatible with the existing. Document all interventions.</p> <p><i>Comment: No interventions are anticipated to Character-Defining Elements. However, if this is necessary, it will be mandatory to achieve a certain degree of subtle distinguishability, through design details. This would apply to the rear, if exiting is required, and to the north side where the ramp is being removed and replaced with a lift. Documentation of the entire project shall be a key part of the works (the approved drawings forming the approved DA) for future reference and on-going maintenance (see Section 8.3 of this Impact Statement).</i></p>

Additional Standards Relating to Rehabilitation

Standard	Description
10	<p>Repair rather than replace Character-Defining Elements.</p> <p><i>Comment: All elements will be carefully examined for condition and only where repair is not possible due to the condition, identical elements on the building will be used as a means to replicate to achieve an exact match. Due to the overall good condition of the exteriors, this measure is not expected to be required, with the exception of select areas of cladding where the vestibule is being down-sized to its original proportions, thereby exposing certain sections of the front wall that will need to be re-clad.</i></p>
11	<p>Conserve heritage value and Character-Defining Elements when making any new additions, with the addition physically and visually compatible with, subordinate to and distinguishable from the historic place.</p> <p><i>Comment: No additions are proposed to the heritage building, and all exterior elements will remain intact. The one exception is the ramp on the north side, which is proposed to be replaced with a lift, but this will be subordinate and distinguishable and improve the general character of that north side. The development at the rear, while notably larger than the heritage building, will be compatible and distinguishable by way of placement and significant separation, set toward the rear of the site, and will offer materials that complement the surrounding historic area while remaining highly distinguishable through colour, texture, and pattern of solid to transparent.</i></p>
12	<p>Create any new additions so that the form/integrity of an historic place is not impaired if the new work is removed later.</p> <p><i>Comment: No additions are proposed to either heritage building, except for the addition of a lift on the north side as noted above..</i></p>

The planning objectives of the proposed development meet the general objectives for Preservation, Rehabilitation and Restoration as outlined in the *Standards and Guidelines*.

8.2. SCOPE OF WORK

The scope of work, as introduced in this section, brings a complete and integrated approach to achieve a high level of conservation to the Registered Heritage Property.

The former St. John the Baptist Church will remain on site and retain its historic orientation to Purcells Cove Road, although it will be moved slightly forward and to the south. It will undergo a minimal amount of work, pertaining primarily to repair of character-defining elements. This includes restoration of the front vestibule and rear apse, retention and reinstatement of the front transoms and sidelights in their original locations, and possibly repair and select replacement to areas of the walls that have experienced deterioration and weathering. All exterior elements will be conserved and restored. Primarily, the new work involves the north side which may need either an alteration to the existing opening, or a new opening to allow for exiting and access as part of life safety improvements. Any new opening shall be distinguishable yet compatible, and respectful, through the use of similar materials but a newer interpretation of design so that it can be identified as an intervention and not something that existed previously. Any components that have been replaced or installed in the past and are not period-appropriate are to be removed with those walls restored to its original.

The elevations and floor plans outlining this scope of work is presented in Section 9.3 of this report.

8.3. IMPLEMENTATION OF MAINTENANCE AND MONITORING PLAN

A maintenance plan is critical to any development, whether heritage or new construction. Short-term and long-term targets need to be set for each element. A building that has undergone a higher degree of renovation, replication or repair is equally prone to the need for maintenance as compared to a building that has had more components retained and conserved. In particular, any errors or weaknesses in material or method should be identified in the early stages and corrected where necessary, so that accelerated deterioration does not take place.

Regularly scheduled maintenance ensures the longevity of any element, whether wood, stone, brick or other material. Water is essential to manage, as it is the singularly the most invasive and damaging to any building. Other forces such as sun-exposed wall faces, wind, ice and vermin affect building elements and the while the cost of maintenance on a regular basis may seem high, putting off this work inevitably leads to greater costs to restore, particularly for heritage buildings that often contain materials that are expensive, in short supply or need to be custom made.

By undertaking work on a routine basis, a sensitive approach to the cleaning treatment is the more likely outcome since dirt or other damage will not have had as much time to build up. The principle of any cleaning should be in accordance with *Standards and Guidelines for the Conservation of Historic Places* which specifies the gentlest means possible. In cases where the removal of dirt and other material is necessary on stucco, concrete or wood, a soft bristle brush without water is best, sweeping away the loosened material. The recommended approach for elements that require a more intensive cleaning is to use a soft bristle brush with warm water and a mild detergent. Pressure washing, sandblasting or any abrasive cleaning should not be used under any circumstances.

Inspections are a key element as part of the implementation of conservation measures and should be carried out by a qualified person or firm, preferably with experience in both phases of construction and in the assessment of heritage buildings. Heritage buildings can “disguise” certain conditions which only become apparent early in, or sometimes well into, the rehabilitation exercise. From this inspection, a report should be compiled that will include notes, sketches, and observations and to mark areas of concern: for example, conditions that were not apparent at the time of permit issuance, and mitigative measures.

The report need not be overly complicated, but must be thorough, clear and concise and address the component(s) of work that are underway for that reporting period (see Schedule below). Issues of concern, from the report, should be entered in a log book so that corrective action can be documented and tracked, and the heritage consultant in charge of the work must be duly informed and act upon any reports or recommendations.

These inspections should be conducted on a regular and timely schedule, addressing all stages of the exterior and site rehabilitation. An appropriate schedule for regular inspections and reports during the rehabilitation process would be a weekly reporting period, with a separate summary report for each of the major phases of work:

1. Initial assessment.
2. Securing of heritage building.
3. Repair or replication of character-defining elements.
4. Reinstatement of all elements – repaired and replicated.

Inspections may also occur more frequently on an “as-need” basis should an issue arise that needs more immediate attention, so as to not inadvertently delay the broader rehabilitation work.

The most potentially damaging element to heritage buildings is water, including frost, freezing and thawing, and rainwater runoff including pipes and ground water. Animal infestation is a secondary concern.

The most vulnerable part of any building is the roof, where water can enter in without warning. Roof repair and renewal is one of the more cost-effective strategies. Any leak, however minor it might be, needs to be taken seriously and may be a sign that other areas are experiencing the same, or that a more significant leak or water entry is imminent.

The following contains a range of potential problems specific to wood-frame and wood-clad structures: water/moisture penetration, material deterioration and structural deterioration. This does not include interior inspections.

Exterior Inspection

Site and Foundation

- ☒ Does water drain away from the foundation?
- ☒ Is there back-splash occurring?
- ☒ Is there movement or settlement of the foundation as illustrated by cracks or an uneven surface?
- ☒ Is there any evidence of rising damp?

Wooden Elements

- ☒ Are there moisture problems present?
- ☒ Is any wood in direct contact, or extremely close to, the ground?
- ☒ Is there any evidence of insect infestation?
- ☒ Is there any evidence of fungal spread or any other type of biological attack?
- ☒ Does any wood appear warped or cupped?
- ☒ Does any wood display splits or loose knots?
- ☒ Are nails visible, pulling loose or rusted?
- ☒ Do any wood elements show staining?

Exterior Painted Materials

- ☒ Is the paint blistering, peeling or wrinkling?
- ☒ Does the paint show any stains such as rust, mildew or bleeding through?

Windows

- ☒ Is any glass cracked or missing?
- ☒ Does the putty show any sign of brittleness or cracking, or has any fallen out?
- ☒ Does paint show damage by condensation or water?
- ☒ Do the sashes operate easily or if hinged do they swing freely?
- ☒ Does the frame exhibit any distortion?
- ☒ Do the sills show any deterioration?

- ☒ Is the flashing properly shedding water?
- ☒ Is the caulking connection between the frame and cladding in good shape?

Doors

- ☒ Are the hinges sprung or in need of lubrication?
- ☒ Are the latches and locks working freely?
- ☒ Is the sill in good shape?
- ☒ Is the caulking connection between the door frame and cladding in good shape?
- ☒ Is the glazing in good shape and held securely in place?
- ☒ Is the seal of the door in good shape?

Gutters and Downspouts

- ☒ Are any downspouts leaking or plugged?
- ☒ Do the gutters show signs of corrosion?
- ☒ Are there any missing sections of downspouts and are they securely connected to the gutters?
- ☒ Is the water being redirected away from the building to either in-ground drainage or rainwater catchment?

Roof

- ☒ Are there water blockage points?
- ☒ Is the leading edge of the roof wet?
- ☒ Is there any sign of fungus, moss, birds, vermin, insects, etc.?
- ☒ Are the shingles showing any advanced sign of weathering such as curling or exposure of sub-surface?
- ☒ Are any shingles loose or missing?
- ☒ Are the flashings well set?
- ☒ Are any metal joints or seams sound?
- ☒ Is there any water ponding present?

The owner(s) should retain an information file where inspection reports can be filed. This should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available to the owner(s), which will aid in determining appropriate interventions when needed. This information file should be passed along to any subsequent owner(s).

The file would include a list outlining the finishes and materials used. The building owner(s) should keep on hand a stock of spare materials for minor repairs.

The maintenance log book is an important tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist

relevant legislative provisions, policy, zoning, guidelines and *Standards and Guidelines for the Conservation of Historic Places*.

Consultancy Project Summary (partial) – 2021-2025

Principal, McLean Heritage Planning and Consulting

- **City of White Rock, Statements of Significance for P'Quals (White Rock), The Pier and the Train Station, 2023-2024**
- **City of Chilliwack, Heritage Interest Inventory Review:** Assess current heritage buildings and update as a first step towards creating a Heritage Register
- **203 Pembina Street, New Westminster:** Conservation Plan for a historic oak tree proposed to be retained as part of a new residential development
- **86 Ochterloney Street, Dartmouth, NS:** Heritage Impact Statement to determine the appropriate degree of retention for two historic buildings and rationale for removal of one other building as part of a multi-use commercial-residential tower development
- **3560 Moncton Street, Richmond:** Design Consultation for a new multi-use development situated in the Steveston Heritage Conservation Area
- **Duncan City Hall, 200 Craig Street, Duncan:** Conservation Plan and Roof Replacement Strategy as part of seismic upgrades, window restoration and slate roof replacement
- **Elmwood Hotel, 5185 South Street, Halifax, NS:** Heritage Impact Statement for the “best practices strategy” to determine the appropriate degree of higher-density redevelopment and conservation in the context of Halifax’s “Old South Suburb” Heritage Conservation District
- **Ikeda Dry Goods, 3831 Moncton Street, Richmond:** Conservation Plan including condition assessment for retaining a small commercial building with a boutique hotel addition, situated in the Steveston Heritage Conservation Area
- **Sandwich Manor, 276 Sandwich Road, Courtenay:** Heritage Strategy Report to assess potential incentives and planning tools to conserve a historic house within a commercially-zoned area
- **Frome Residence, 228 Thrift Street, Coquitlam:** Heritage Assessment for a single-family house situated in the historic area of Maillardville
- **Anglican Church of the Epiphany, 10553 148 Street, Surrey:** Heritage Assessment of a church including reincorporation of select character-defining elements into a new development
- **Mackenzie Residence, 5418 184 Street, Surrey:** Heritage Interiors Study, with recommendations to maximize the conservation of the interior elements of this legally-protected house
- **Dolman Residence, 1611 Cedar Crescent, Vancouver:** Heritage Assessment of proposed exterior rehabilitation to a legally-protected residence within the First Shaughnessy Heritage Conservation Area
- **Cobalt Hotel, 917 Main Street; Angeles Rooms, 927 Main Street, Vancouver:** Statements of Significance for two SRO buildings in the Downtown Eastside

Previous Experience

2001 to 2006; 2008 to 2020: Heritage Planner, Planning, Urban Design and Sustainability, City of Vancouver

- Negotiation of Heritage Revitalization Agreements and heritage designation as part of development applications, with incentives based on merits of restoration, adaptive re-use and financial analysis; presentation of reports to Council at Public Hearing
- Managing all aspects of Statements of Significance (SoS) with staff and heritage consultants, chair of the SoS/VHR Subcommittee; management of heritage SoS projects including RFP and contracts, securing provincial funding, coaching of consultants
- Oversee the upgrade to the City of Vancouver's Heritage Register Evaluation system
- Coordination with Province to place Statements of Significance on Canadian Register
- Management of Transfer of Density database, By-law updates and Heritage Register database
- Design of biennial Heritage Awards program
- Liaison to Heritage Commission, Gastown Planning Committee and Shaughnessy Design Panel
- Issuance of heritage alteration permits including conditions for heritage clearance
- Management of plaque program, updates to heritage website, administrative bulletins

2006 to 2008: Planner, Central Area Planning, City of Vancouver

- Design and implementation of a consultant's historical/cultural review of Paueru Gai (Powell Street) in the context of themes, community values, potential for zoning incentives, including community outreach and development of an interactive website
- Department representative to Oppenheimer Park planning process
- Policy and ODP review for Downtown Eastside and review and input on local initiatives such as the new Strathcona Library

1994 to 2001: Planner, City of Surrey

- Project management of rezoning and subdivision applications including negotiation of Heritage Revitalization Agreements as the staff member responsible for the heritage program
- Updated heritage, transportation and parks provisions of the Official Community Plan
- Established Surrey's Heritage Register: evaluation of buildings and owner consultation

Other Relevant Roles

Vancouver Heritage Foundation Granting Committee, 2013 to present
Collaborator – Landscapes of Injustice, University of Victoria, 2013 to 2020
Board Member, BC Association of Heritage Professionals, 2019 to present

Education

Master of Arts, Community and Regional Planning
University of British Columbia, 1988

Bachelor of Environmental Studies, Urban and Regional Planning
University of Waterloo, 1984

Professional Membership

Full Member - Canadian Institute of Planners / Planning Institute of British Columbia
Professional Member - Canadian Association of Heritage Professionals

Awards

Canadian Institute of Planners, Murray Zides Award for Planning Excellence
Grand Prize - City of Surrey Official Community Plan, 1997

9.4. SITE PLAN AND ELEVATION DRAWINGS

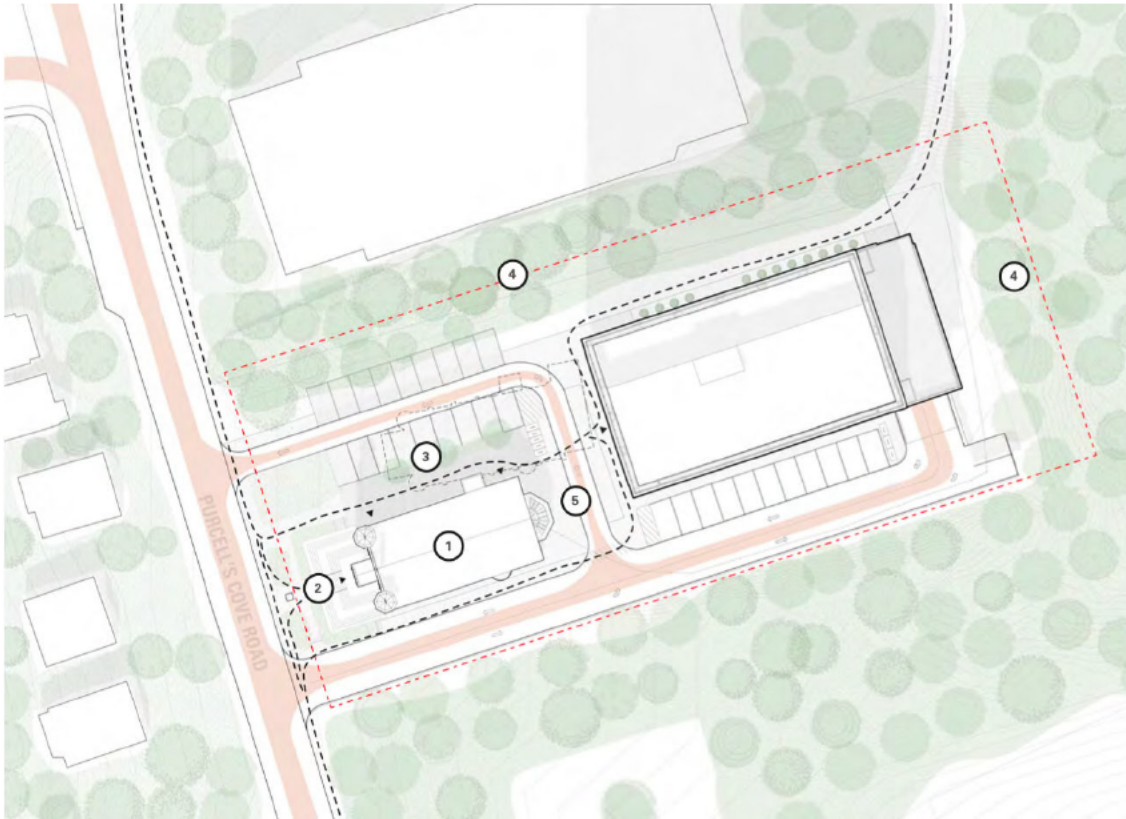


Figure 32: Site Plan
Source: FBM Architects

1. Site Hierarchy

Positioning the heritage building prominently at the front, aligned with Purcells Cove Road, preserves its status as the dominant visual element.

2. Heritage Building Front Yard

To honour the church's historical relationship with the community, the front yard and approach will be carefully restored.

3. Heritage Building Side Yard

Shifting the heritage building south allows for a generous side yard and opening new visual perspectives.

4. Enhanced Side and Rear Property Green Space

By minimizing the residential building's footprint, centering it on the rear of the site, a significant greenbelt is preserved along the north and west property lines.

5. Separation Between Buildings

A generous buffer is maintained between the heritage and residential buildings with no physical connection between the two.

Heritage Building Proposed Drawings

West Elevation



Figure 33: 1102 Purcells Cove Road – Front Elevation

Source: FBM Architects

Appendix A. Drawings

Heritage Building Proposed Drawings

South Elevation

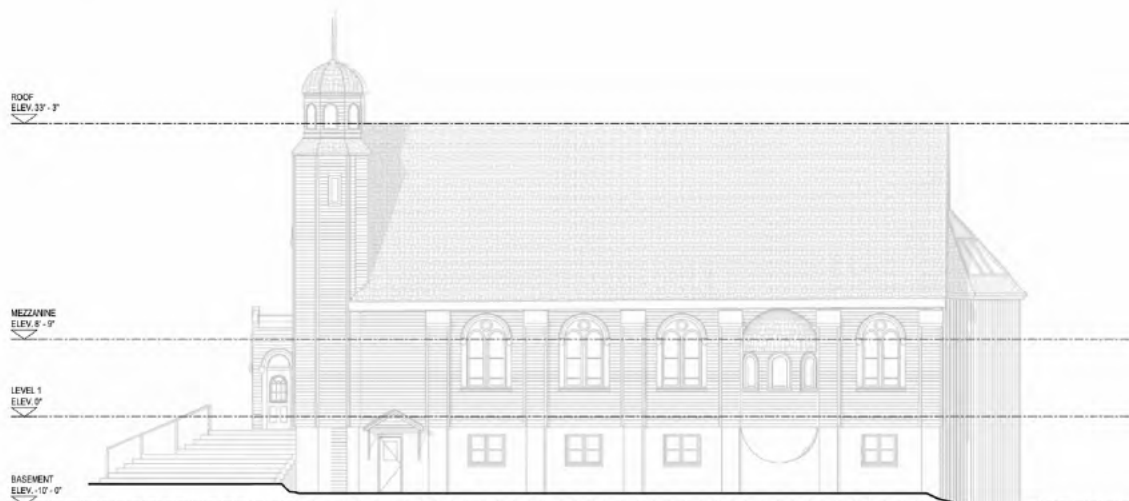


Figure 34: 1102 Purcells Cove Road – South Elevation

Source: FBM Architects

Heritage Building Proposed Drawings

East Elevation

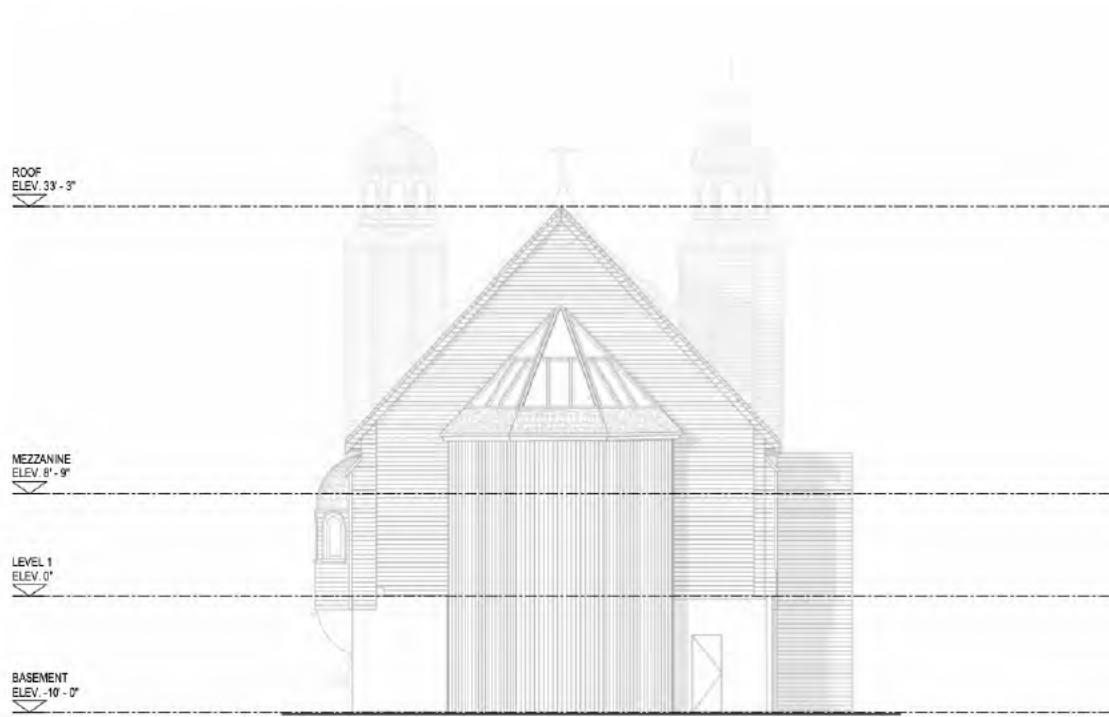


Figure 35: 1102 Purcells Cove Road – Rear Elevation
Source: FBM Architects

Appendix A. Drawings

Heritage Building Proposed Drawings

North Elevation



Figure 36: 1102 Purcells Cove Road – North Elevation

Source: FBM Architects

9.5. LANDSCAPE PLAN

Figure 37: Landscape Plan

Source: FBM Architects



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- ☒ Is the flashing properly shedding water?
- ☒ Is the caulking connection between the frame and cladding in good shape?

Doors

- ☒ Are the hinges sprung or in need of lubrication?
- ☒ Are the latches and locks working freely?
- ☒ Is the sill in good shape?
- ☒ Is the caulking connection between the door frame and cladding in good shape?
- ☒ Is the glazing in good shape and held securely in place?
- ☒ Is the seal of the door in good shape?

Gutters and Downspouts

- ☒ Are any downspouts leaking or plugged?
- ☒ Do the gutters show signs of corrosion?
- ☒ Are there any missing sections of downspouts and are they securely connected to the gutters?
- ☒ Is the water being redirected away from the building to either in-ground drainage or rainwater catchment?

Roof

- ☒ Are there water blockage points?
- ☒ Is the leading edge of the roof wet?
- ☒ Is there any sign of fungus, moss, birds, vermin, insects, etc.?
- ☒ Are the shingles showing any advanced sign of weathering such as curling or exposure of sub-surface?
- ☒ Are any shingles loose or missing?
- ☒ Are the flashings well set?
- ☒ Are any metal joints or seams sound?
- ☒ Is there any water ponding present?

The owner(s) should retain an information file where inspection reports can be filed. This should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available to the owner(s), which will aid in determining appropriate interventions when needed. This information file should be passed along to any subsequent owner(s).

The file would include a list outlining the finishes and materials used. The building owner(s) should keep on hand a stock of spare materials for minor repairs.

The maintenance log book is an important tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist

in the overall maintenance planning of the building. Routine maintenance work should be noted in the maintenance log to keep track of past, and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity.

A full record will help to plan for future repairs and provide valuable information in the overall maintenance of the building and will provide essential information for the longer-term and serve as a reminder to amend the maintenance and inspection activities on an as-needed basis.

8.4. PRECEDENTS

A recent precedent for this undertaking would be St. Mark's Church at 5522 Russell Street, Halifax. While that site was different in a number of aspects – the church had not been deconsecrated, and its congregation still actively worshiped there and therefore no change of use was contemplated – it did propose a residential development on the same property in a tower form. The approach to take follows a similar approach of using *Standards and Guidelines for the Conservation of Historic Places* and using similar high-level principles of conservation: namely rehabilitation and restoration of a building within a cultural landscape. The approach here will achieve a better degree of spatial separation because the site itself is larger than the one for St. Mark's Church.

8.5. INTERPRETATION AND COMMEMORATION STRATEGIES

Normally a Commemoration Plan is prepared as a result of the demolition of a building that is either formally recognized (i.e. legally protected or listed) or has known heritage values, for the purpose of educating the public, and owners or tenants of the building, of the early importance of the site and its evolution over time. Since the building comprising three Registered Heritage Properties is being conserved and rehabilitated on the subject site, and the only buildings being removed are the former church hall at the rear and the Rectory at 1110 Purcells Cove Road, a strategy for historical interpretation and commemoration, in the form of a Commemoration Plan or something similar, is not considered to be necessary here. **However, it is recommended that, as part of the DA and the ultimate conversion of interior space to a commercial use, that a graphic or informational presentation be included in the interior, or immediately outside, that commercial space.**

Pertaining to landscaping, a comprehensive high-quality landscape plan should be designed that will allow for the front of the property to be used by both the general public and those who are visiting the business as customers, in order to support that business and make it a draw for the local area to ensure its long-term economic

viability. Opportunities for having some business component outside, when weather is ideal, should be considered, as long as that does not impact or compromise any of the heritage character. An example would be outdoor patio space with tables and umbrellas.

Pertaining to lighting and signage, this will be assessed in the course of the development and a plan will be put into place that will address respectful lighting, both exterior and interior, and signage that is appropriate to the character of the site.

9. APPENDICES

9.1. BIBLIOGRAPHY

- Nova Scotia Archives – City Directories and Archival Photos
- Heritage Trust of Nova Scotia
- Nova Scotia Civic Address Finder
- Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, Second Edition, 2010
- Biographical Dictionary of Architects in Canada, 1800-1950.

9.2. VITAL STATISTICS, CHURCH RECORDS AND NEWSPAPER ARTICLES

- *Halifax Mail Star*, May 28, 1920
- Nova Scotia Archives, Catholic Reference Book and Parish Register, 1929
- *Evening Mail*, December 7, 1929
- *Halifax Mail Star*, September 22, 1964
- Sister Pius School Archives, updated November 2018
- *Chebucto News*, August 2021

9.3. MCLEAN HERITAGE PLANNING AND CONSULTING – CURRICULUM VITAE

Highlights of Qualifications

Drawing from 26 years of experience in public sector heritage planning and land development with the City of Surrey and City of Vancouver, Hugh McLean established his heritage consultancy in 2021. He serves clients in the public and private sector, and prepares reports covering a range of heritage scenarios: evaluating a building for addition to a heritage register, values-based historic research and architectural assessment as part of Statements of Significance, assessment of building condition and preservation strategies, restoration and rehabilitation as part of Conservation Plans, and higher-level strategies for potential incentives using an array of planning tools including legal protection and agreements. This requires interest-based negotiation to achieve heritage conservation, and familiarity with and application of,

relevant legislative provisions, policy, zoning, guidelines and *Standards and Guidelines for the Conservation of Historic Places*.

Consultancy Project Summary (partial) – 2021-2025

Principal, McLean Heritage Planning and Consulting

- **City of White Rock, Statements of Significance for P'Quals (White Rock), The Pier and the Train Station, 2023-2024**
- **City of Chilliwack, Heritage Interest Inventory Review:** Assess current heritage buildings and update as a first step towards creating a Heritage Register
- **203 Pembina Street, New Westminster:** Conservation Plan for a historic oak tree proposed to be retained as part of a new residential development
- **86 Ochterloney Street, Dartmouth, NS:** Heritage Impact Statement to determine the appropriate degree of retention for two historic buildings and rationale for removal of one other building as part of a multi-use commercial-residential tower development
- **3560 Moncton Street, Richmond:** Design Consultation for a new multi-use development situated in the Steveston Heritage Conservation Area
- **Duncan City Hall, 200 Craig Street, Duncan:** Conservation Plan and Roof Replacement Strategy as part of seismic upgrades, window restoration and slate roof replacement
- **Elmwood Hotel, 5185 South Street, Halifax, NS:** Heritage Impact Statement for the “best practices strategy” to determine the appropriate degree of higher-density redevelopment and conservation in the context of Halifax’s “Old South Suburb” Heritage Conservation District
- **Ikeda Dry Goods, 3831 Moncton Street, Richmond:** Conservation Plan including condition assessment for retaining a small commercial building with a boutique hotel addition, situated in the Steveston Heritage Conservation Area
- **Sandwich Manor, 276 Sandwich Road, Courtenay:** Heritage Strategy Report to assess potential incentives and planning tools to conserve a historic house within a commercially-zoned area
- **Frome Residence, 228 Thrift Street, Coquitlam:** Heritage Assessment for a single-family house situated in the historic area of Maillardville
- **Anglican Church of the Epiphany, 10553 148 Street, Surrey:** Heritage Assessment of a church including reincorporation of select character-defining elements into a new development
- **Mackenzie Residence, 5418 184 Street, Surrey:** Heritage Interiors Study, with recommendations to maximize the conservation of the interior elements of this legally-protected house
- **Dolman Residence, 1611 Cedar Crescent, Vancouver:** Heritage Assessment of proposed exterior rehabilitation to a legally-protected residence within the First Shaughnessy Heritage Conservation Area
- **Cobalt Hotel, 917 Main Street; Angeles Rooms, 927 Main Street, Vancouver:** Statements of Significance for two SRO buildings in the Downtown Eastside

Previous Experience

2001 to 2006; 2008 to 2020: Heritage Planner, Planning, Urban Design and Sustainability, City of Vancouver

- Negotiation of Heritage Revitalization Agreements and heritage designation as part of development applications, with incentives based on merits of restoration, adaptive re-use and financial analysis; presentation of reports to Council at Public Hearing
- Managing all aspects of Statements of Significance (SoS) with staff and heritage consultants, chair of the SoS/VHR Subcommittee; management of heritage SoS projects including RFP and contracts, securing provincial funding, coaching of consultants
- Oversee the upgrade to the City of Vancouver's Heritage Register Evaluation system
- Coordination with Province to place Statements of Significance on Canadian Register
- Management of Transfer of Density database, By-law updates and Heritage Register database
- Design of biennial Heritage Awards program
- Liaison to Heritage Commission, Gastown Planning Committee and Shaughnessy Design Panel
- Issuance of heritage alteration permits including conditions for heritage clearance
- Management of plaque program, updates to heritage website, administrative bulletins

2006 to 2008: Planner, Central Area Planning, City of Vancouver

- Design and implementation of a consultant's historical/cultural review of Paueru Gai (Powell Street) in the context of themes, community values, potential for zoning incentives, including community outreach and development of an interactive website
- Department representative to Oppenheimer Park planning process
- Policy and ODP review for Downtown Eastside and review and input on local initiatives such as the new Strathcona Library

1994 to 2001: Planner, City of Surrey

- Project management of rezoning and subdivision applications including negotiation of Heritage Revitalization Agreements as the staff member responsible for the heritage program
- Updated heritage, transportation and parks provisions of the Official Community Plan
- Established Surrey's Heritage Register: evaluation of buildings and owner consultation

Other Relevant Roles

Vancouver Heritage Foundation Granting Committee, 2013 to present
Collaborator – Landscapes of Injustice, University of Victoria, 2013 to 2020
Board Member, BC Association of Heritage Professionals, 2019 to present

Education

Master of Arts, Community and Regional Planning
University of British Columbia, 1988

Bachelor of Environmental Studies, Urban and Regional Planning
University of Waterloo, 1984

Professional Membership

Full Member - Canadian Institute of Planners / Planning Institute of British Columbia
Professional Member - Canadian Association of Heritage Professionals

Awards

Canadian Institute of Planners, Murray Zides Award for Planning Excellence
Grand Prize - City of Surrey Official Community Plan, 1997

9.4. SITE PLAN AND ELEVATION DRAWINGS

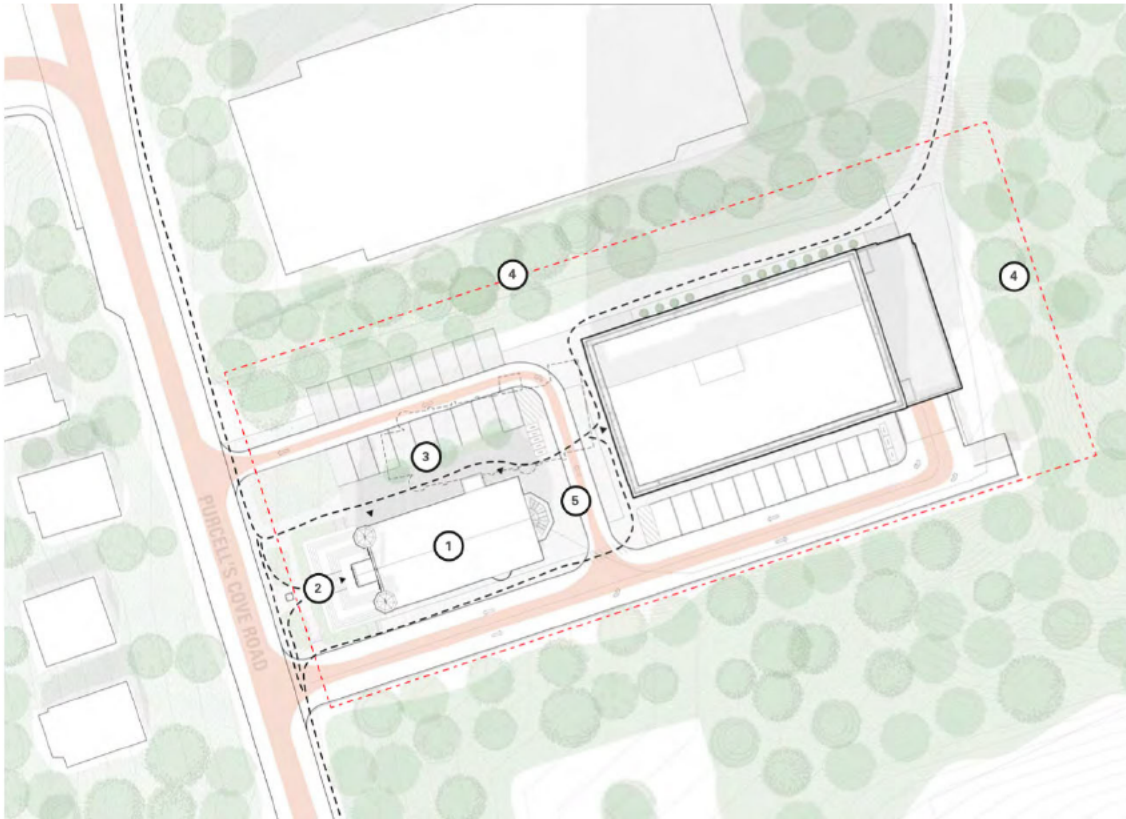


Figure 32: Site Plan
Source: FBM Architects

- 1. Site Hierarchy**
Positioning the heritage building prominently at the front, aligned with Purcells Cove Road, preserves its status as the dominant visual element.
- 2. Heritage Building Front Yard**
To honour the church's historical relationship with the community, the front yard and approach will be carefully restored.
- 3. Heritage Building Side Yard**
Shifting the heritage building south allows for a generous side yard and opening new visual perspectives.
- 4. Enhanced Side and Rear Property Green Space**
By minimizing the residential building's footprint, centering it on the rear of the site, a significant greenbelt is preserved along the north and west property lines.
- 5. Separation Between Buildings**
A generous buffer is maintained between the heritage and residential buildings with no physical connection between the two.

Heritage Building Proposed Drawings

West Elevation



Figure 33: 1102 Purcells Cove Road – Front Elevation

Source: FBM Architects

Appendix A. Drawings

Heritage Building Proposed Drawings

South Elevation

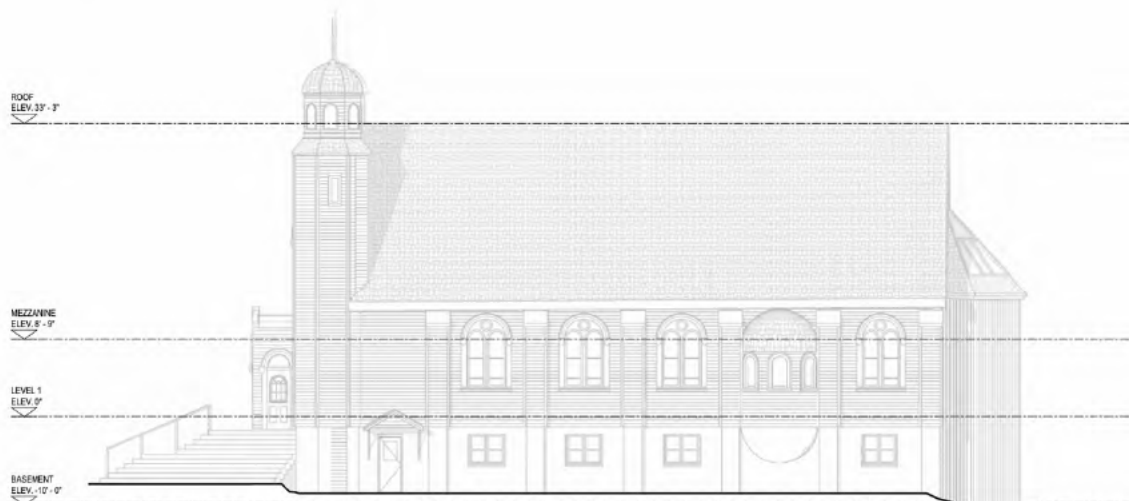


Figure 34: 1102 Purcells Cove Road – South Elevation

Source: FBM Architects

Heritage Building Proposed Drawings

East Elevation

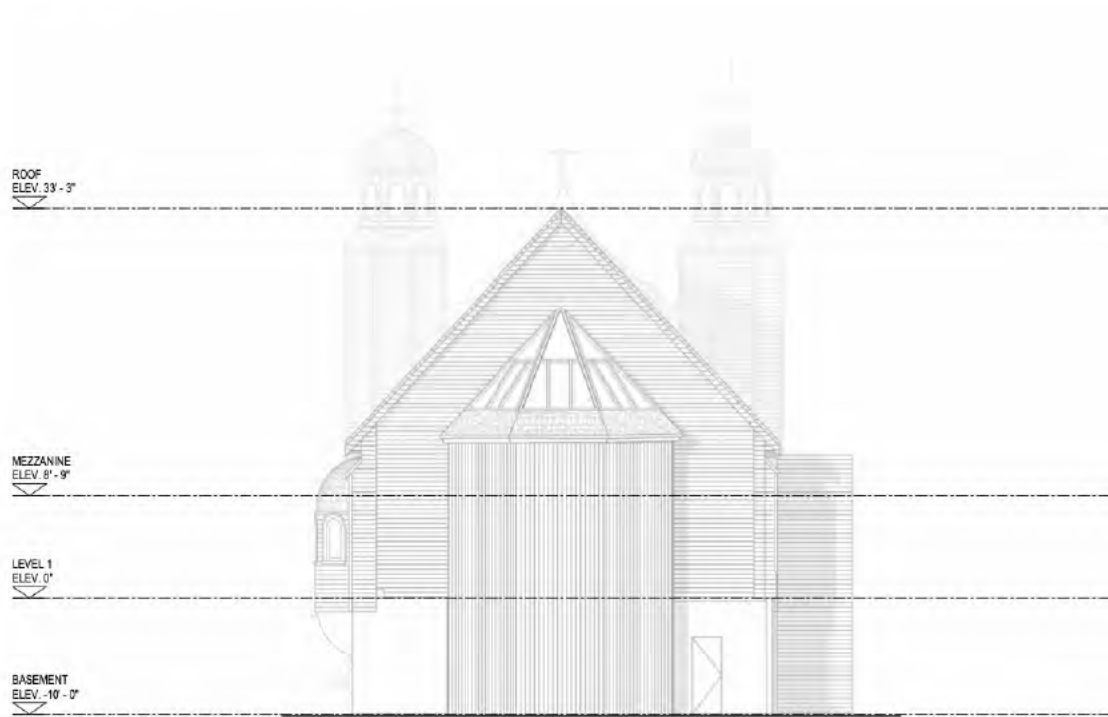


Figure 35: 1102 Purcells Cove Road – Rear Elevation
Source: FBM Architects

Appendix A. Drawings

Heritage Building Proposed Drawings

North Elevation



Figure 36: 1102 Purcells Cove Road – North Elevation

Source: FBM Architects

9.5. LANDSCAPE PLAN

Figure 37: Landscape Plan

Source: FBM Architects



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