

1 Street Corner



2 From Sackville Drive

NOTES:

 THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING.
 DO NOT SCALE FROM DRAWINGS USED FIGURED DIMENSIONS.

3) DRAWING REPRESENTATIONS MAYBE IN VARIANCE W/ DETAILED SPECS. & SCHEDULES, IN WHICH CASE SPECS. & SCHEDULES OVERRIDE THE DRAWINGS. 4) CHANGES FROM THESE PLANS & SPECS. MUST BE AGREED TO IN WRITING, & APPROVED BY THE ARCHITECT & OWNER, BEFORE PROCEEDING.
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6)THESE DRAWINGS ARE TO BE READ IN

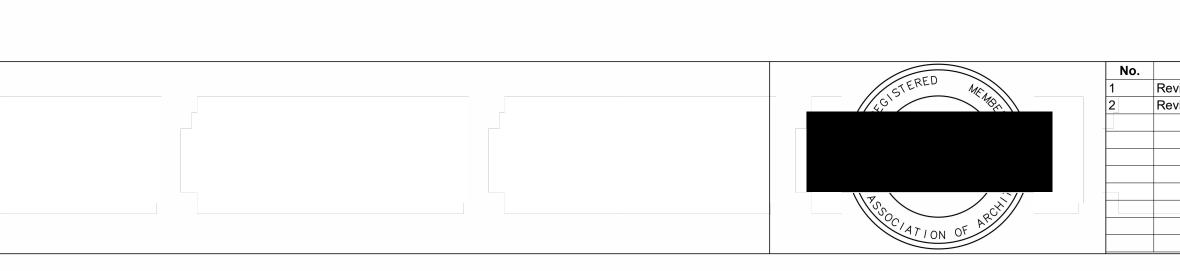
-CONJUNCTION W/ THE SPECS.

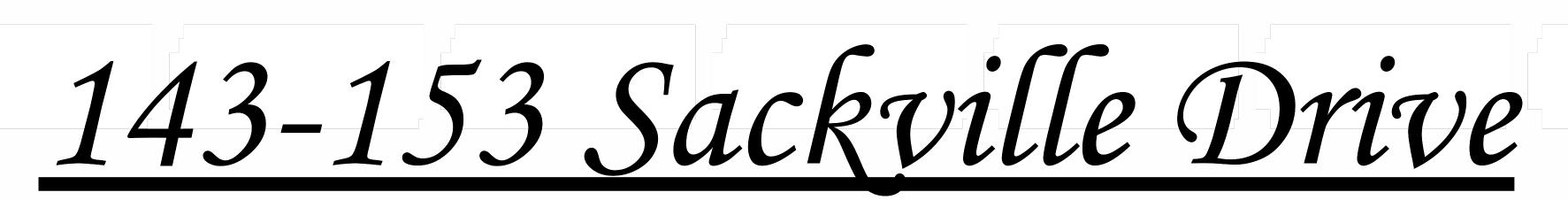


3 From Hillcrest - Straight on



(4) From rear corner of lot







Description	Date		
ised per HRM Comments	2024-04-24	Paul Skerry Associates Ltd.	
ised plans per HRM comments	2024-09-20		
		5514 LIVINGSTONE PLACE	
		5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9	
		Phone: 902-455-4361	
		E-mail: pskerry@pskerry.ca	
		E-man. psken y@psken y.ca	

			Fire Safety & Buildin art 3 of the National E esidential), E (Mercan	Building Code (NE	
		Building F Number of St	ot Size: 93,086 sqft. (8 , Footprint: 36,230 sqft. (tories: 14 Above Grad ht of Building: ~140'-0 ''	(3,365.9 sqm.) e, 2 Below Grade	
		Fire Rated S Fire Rated S C C & F E & F Classifie	Fire Access Routes/Stre Sprinkler System: Prop Seperation between Ma & E: 1 Hour Fire Rate 2: 2 Hour Fire Rated S 2: 2 Hour Fire Rated S d as a High Building (m	osed jor Occupancies: d Seperation Seperation Seperation in. 18m): Yes	
			n-Combustible Const PID: 40010068 & 4001 Zone: PC		
		Barrier	Residential Units: 3 Free Units Required/P	• -	
			Unit Sizes: 3 Bedrooms: 10 Un 2 Bedrooms: 105 Un 1 Bedrooms: 186 Un	its	
		Upp Leve	Parking Area ver Parking Garage: 122 ver Parking Garage: 122 el 1 Parking Garage: 23 Exterior Spaces: 40 Sp I: 309 Spaces (x Hanc	2 Spaces 5 Spaces baces	
			<u>Amenity Area</u> enity Proposed: 5,283sf ity: Balconies Avg. 100 <u>Commercial Area</u> Proposed: 12,009s)sf/unit = ∼30,100s	f
			Building Eleva		
		Up	wer Parking Level per Parking Level	87.17' 95.83' 105.50'	
		Le	vel 1 vel 2 vel 3	105.50' 117.50' 127.17'	
		Le	vel 4 vel 5 vel 6	136.83' 146.50' 156.17'	
		Le [.] Le [.]	vel 7 vel 8	165.83' 175.50'	
		Le	vel 9 vel 10 vel 11	185.17' 194.83' 204.50'	
		Le	vel 12 vel 13 vel 14	214.17' 223.83' 233.50'	
		Т.С	D. Roof (Tower 1) D. Roof (Tower 2)	235.83' 245.50'	
		A2.0 PAR A3.0 FIRS A3.1 SEC A3.2 THIR A3.3 FOU A3.4 TYP A3.5 THIR A3.6 FOU A4.0 OVE A4.1 OVE A4.2 OVE A4.3 OVE A4.4 TOW A4.5 TOW A4.6 TOW A4.8 TOW A4.9 TOW A4.10 TOW	ER PLAN KING GARAGE PLAN OND FLOOR PLAN OND FLOOR PLAN RTH FLOOR PLAN ICAL TOWER FLOOR RTEENTH FLOOR PLA RALL TOWER FLOOR RALL SOUTH ELEVA RALL WEST ELEVAT RALL NORTH ELEVA RALL EAST ELEVAT VER 1 SOUTH ELEVA VER 1 NORTH ELEVA VER 1 NORTH ELEVA VER 1 NORTH ELEVA VER 2 SOUTH ELEVAT VER 2 NORTH ELEVAT VER 2 NORTH ELEVAT VER 2 EAST ELEVAT VER 2 EAST ELEVAT	PLAN AN AN TION ION TION ON TION ON TION ON TION ON	
		Vicinity Map:			
Cove	er	<u> </u>		Drawn by	GJ
Proposed Mixed L 143 -153 Sa	Jse Developm	ent	Date 2023-10 Scale	0-27 Checked by	2:05:34 PM
143 -153 Sa Sackvil For:JP Sun D	lle, NS		Project number	A	O Solution Set 54 PM
			3		202



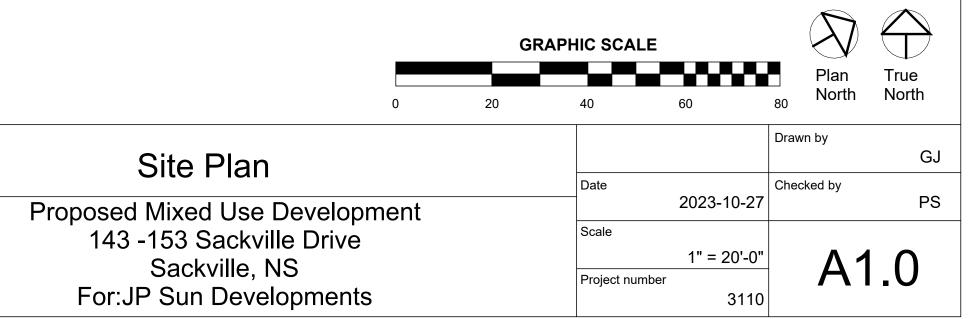
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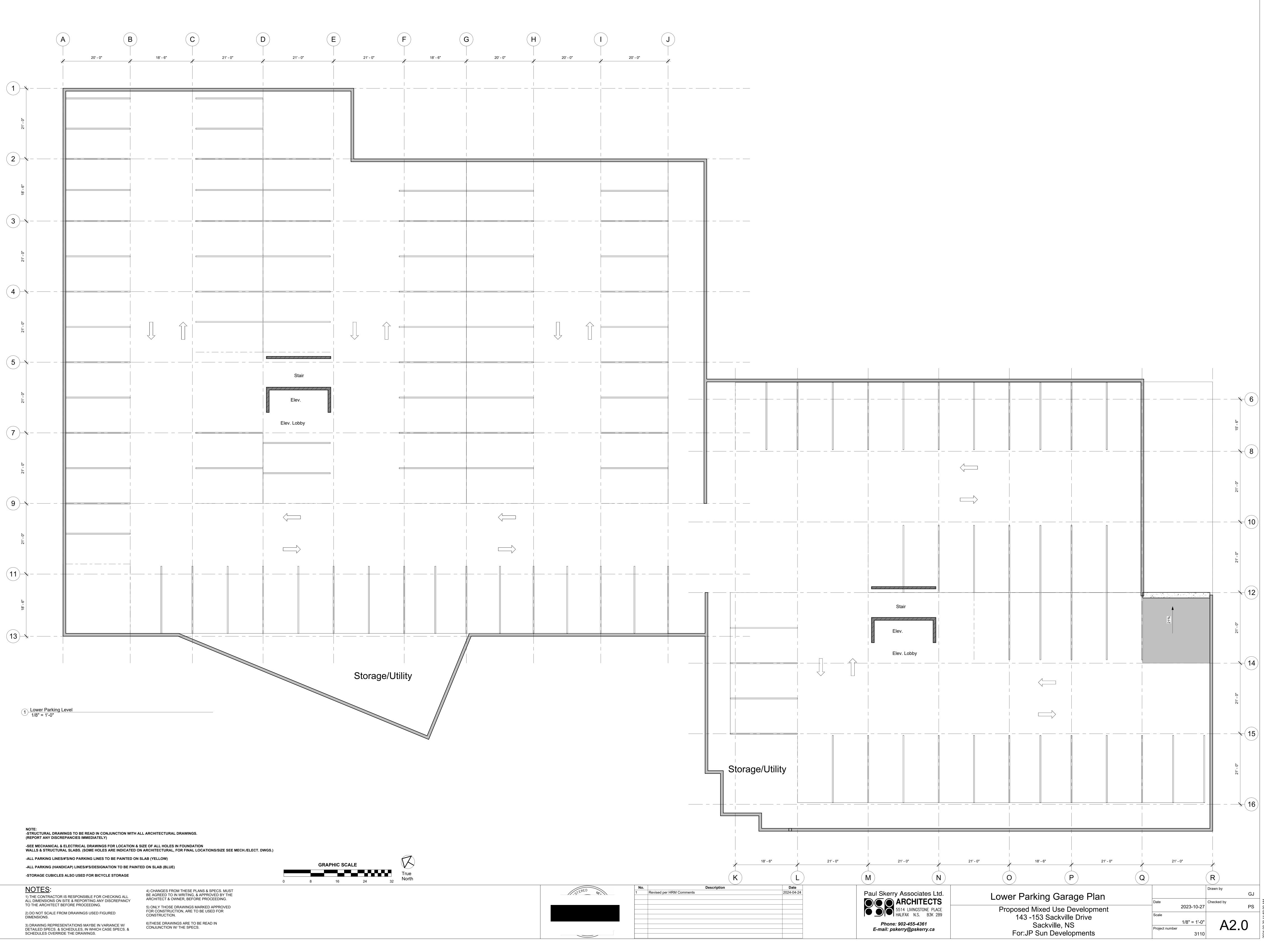
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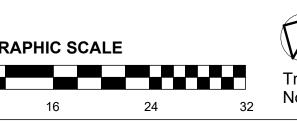
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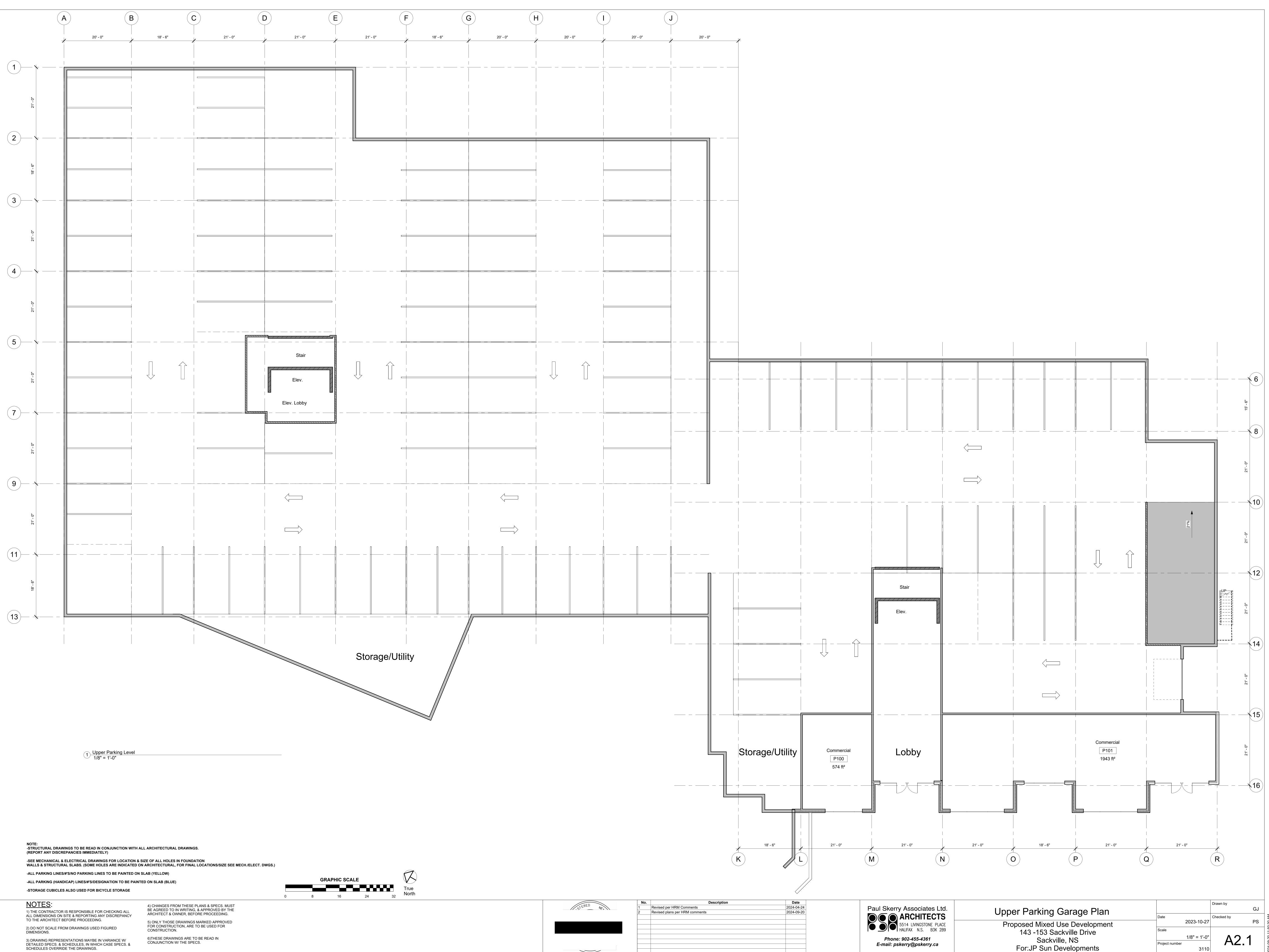
LEGEND: 32.1' Existing Grade 32.1' Proposed Grade

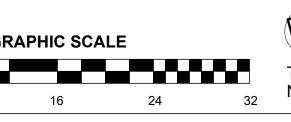




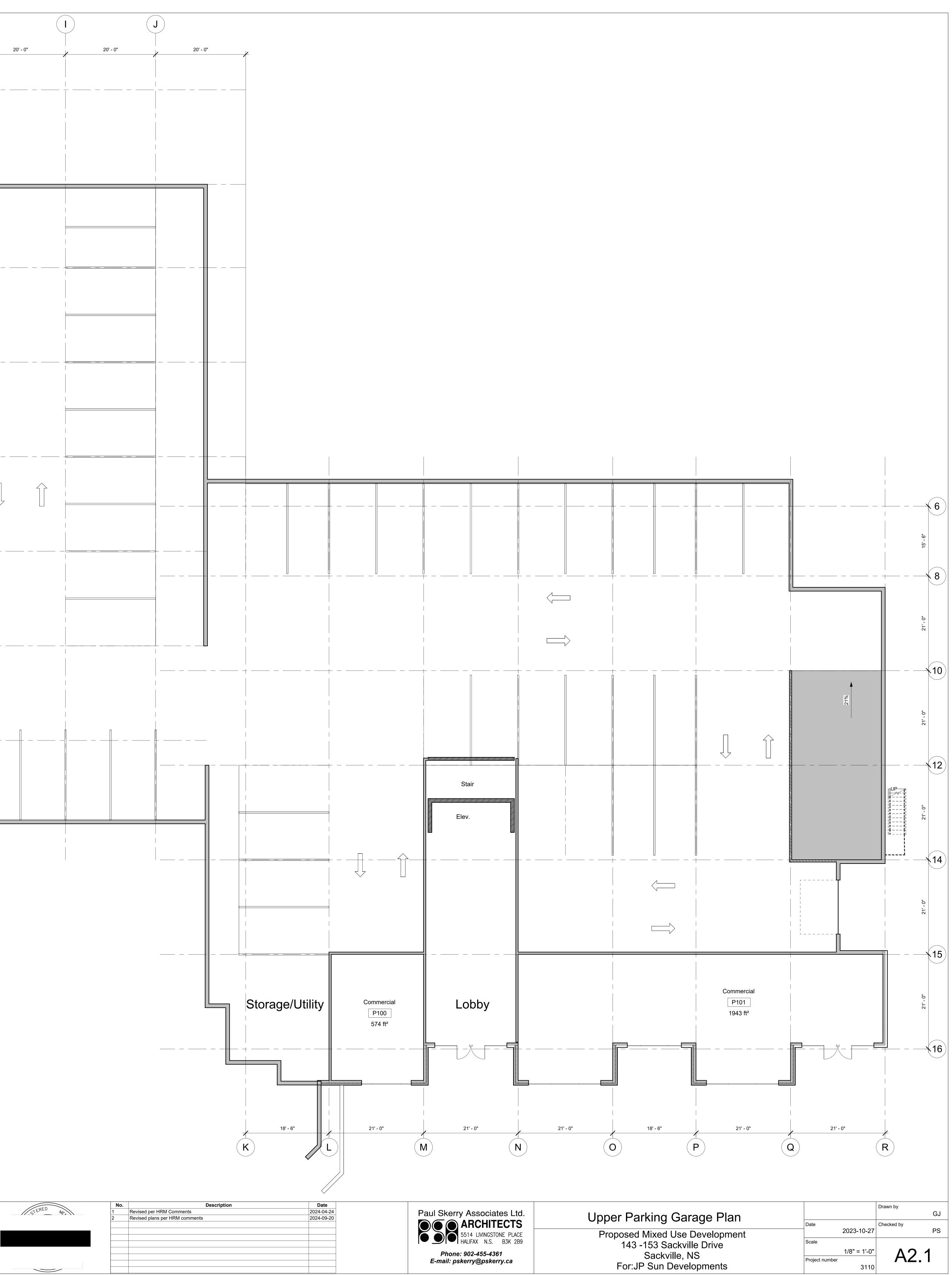


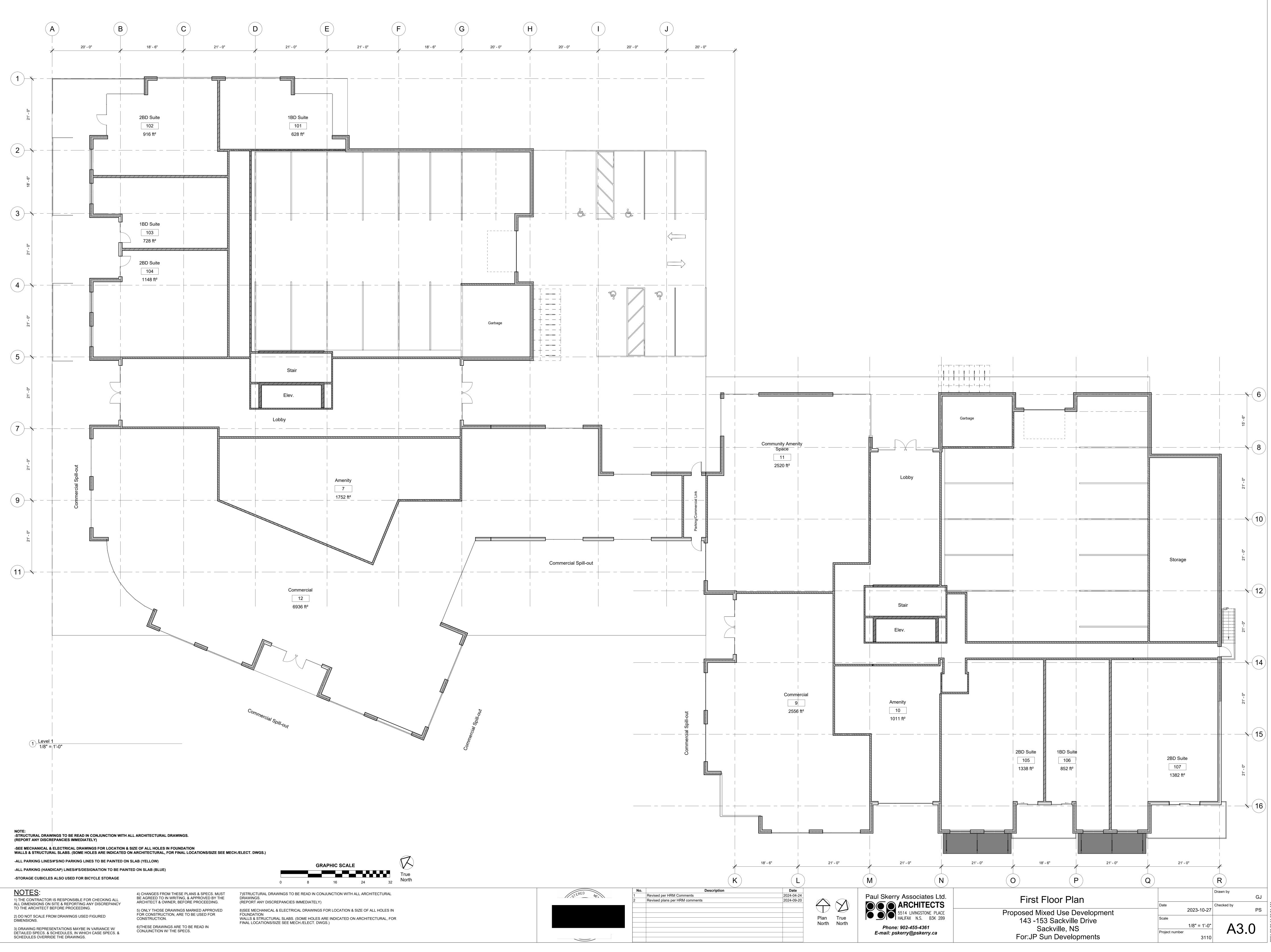


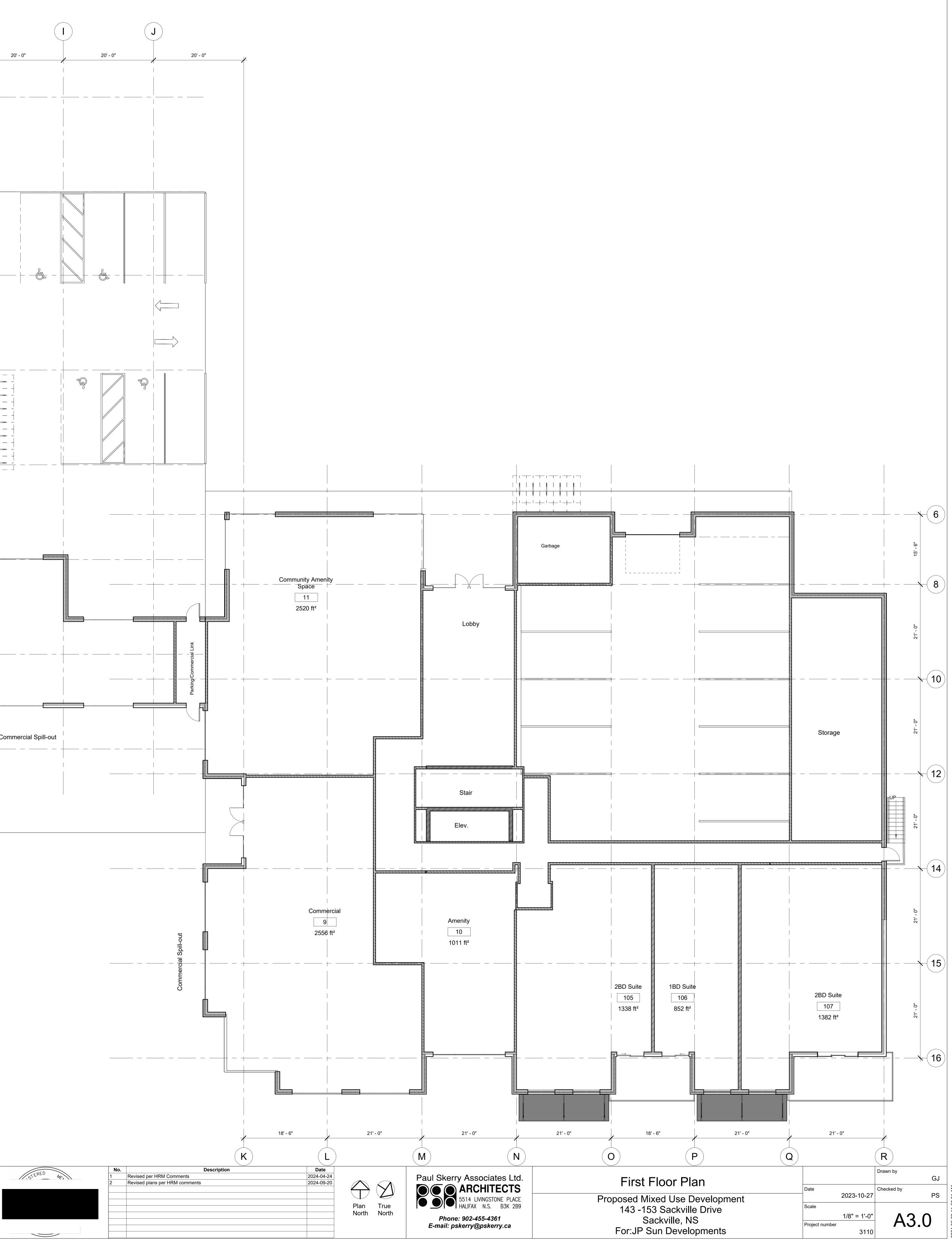


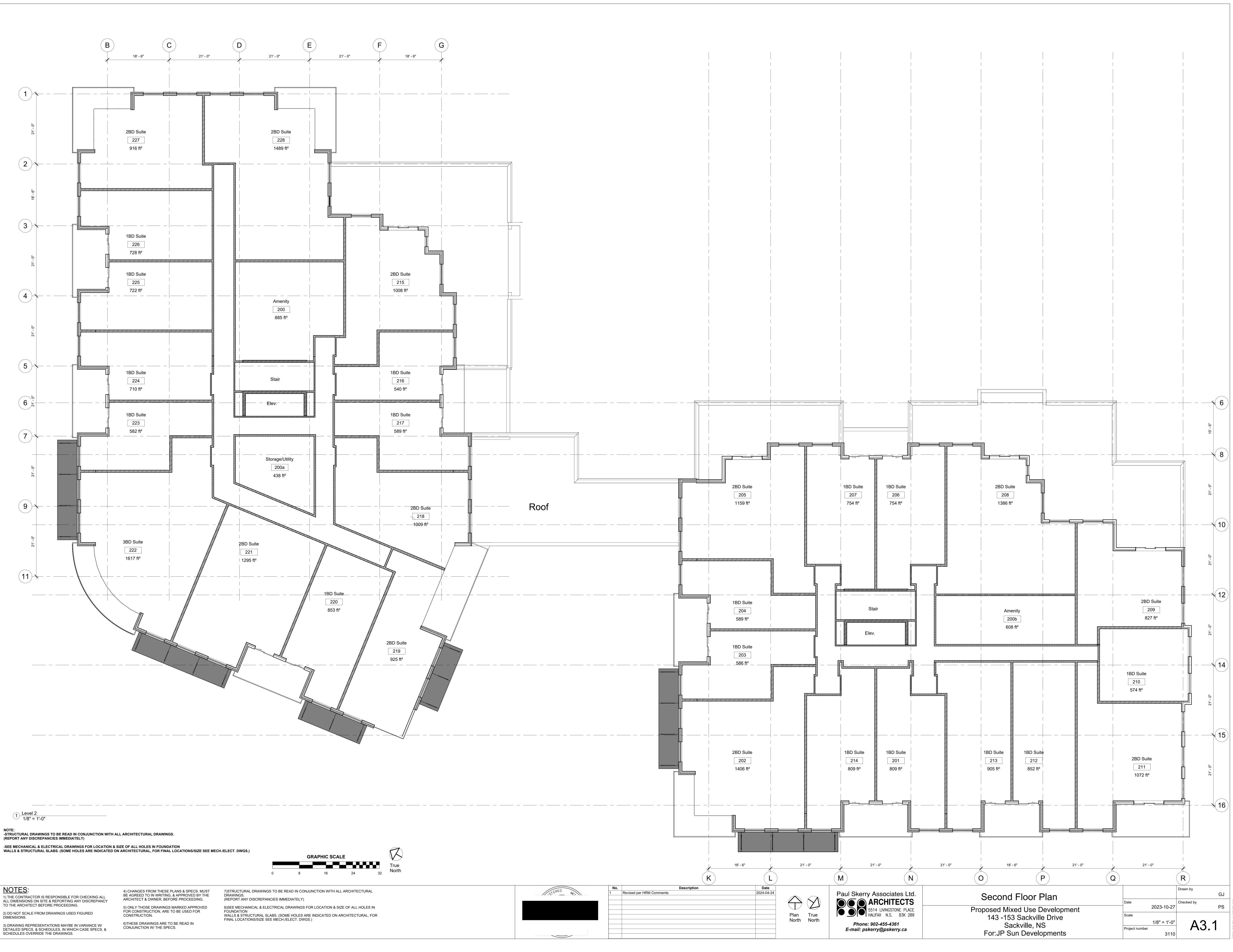












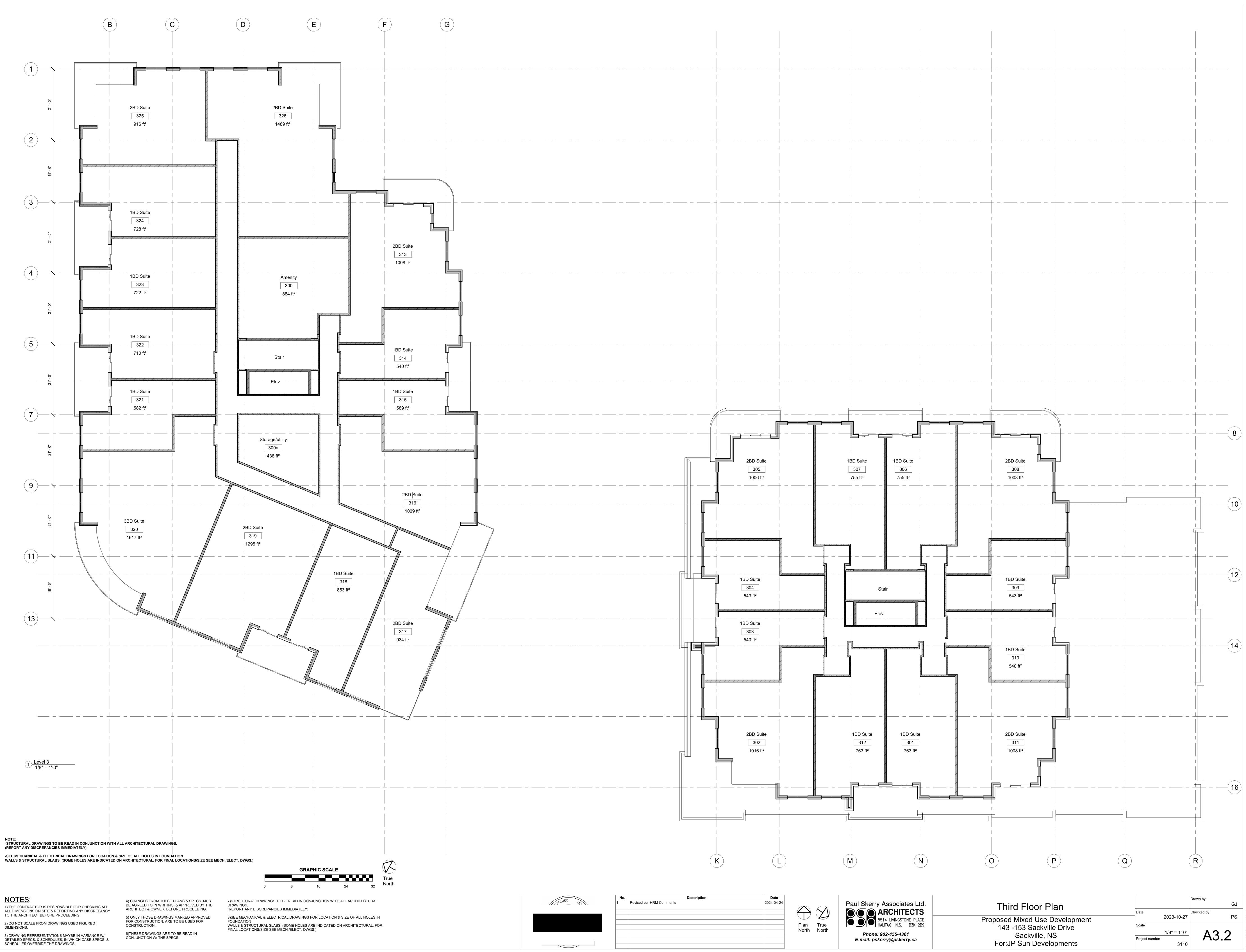
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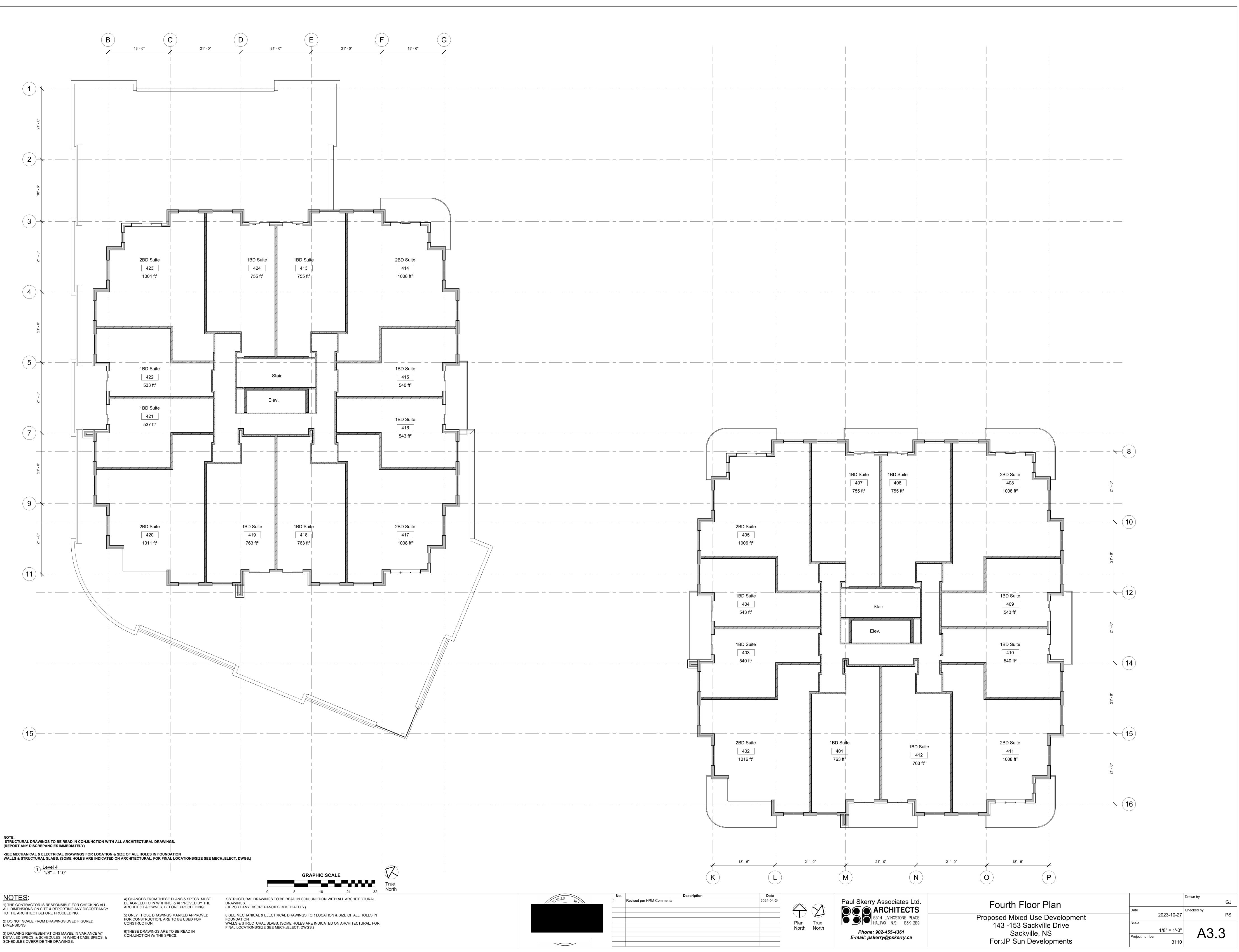
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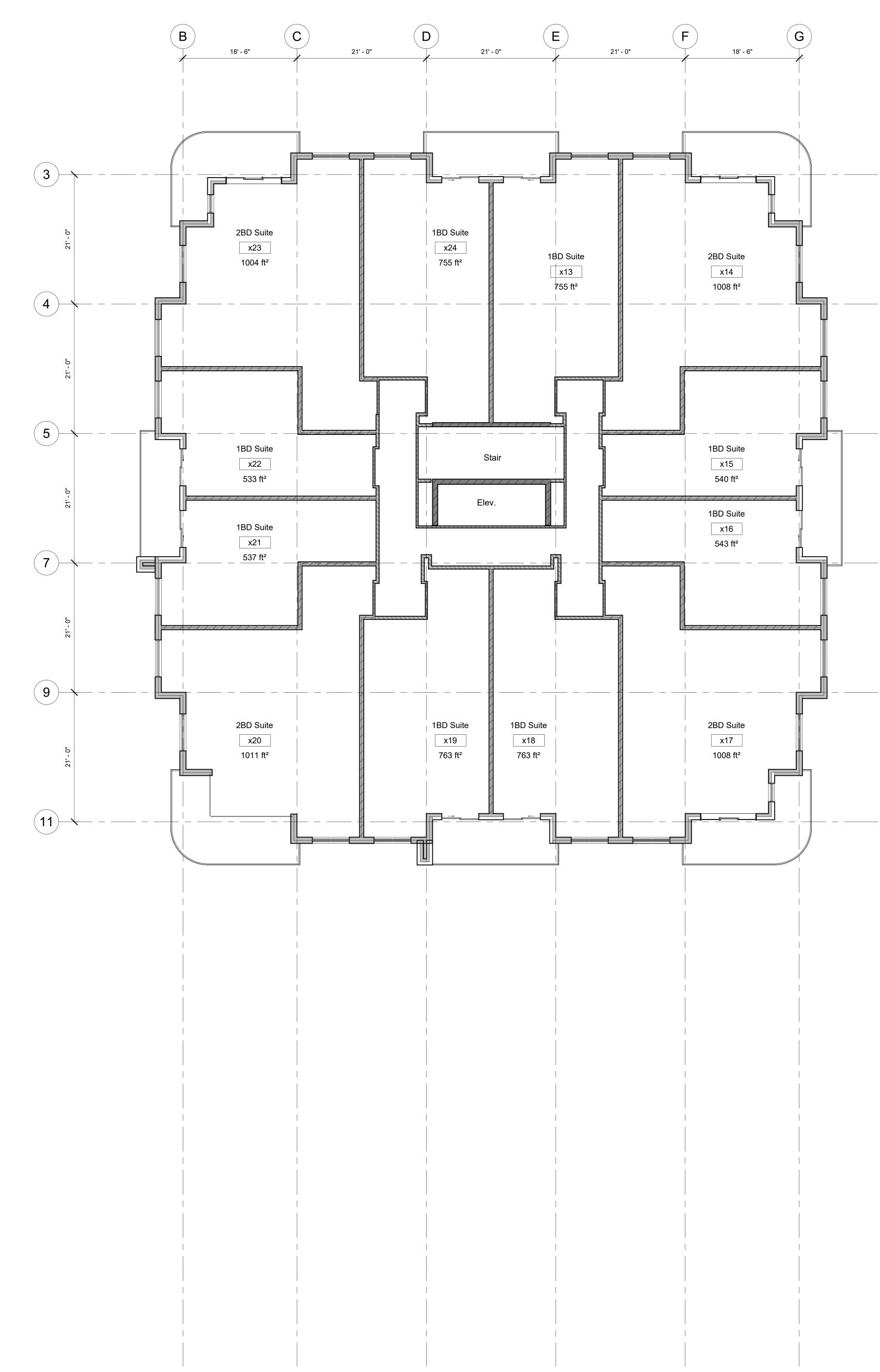


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1 Level 5 1/8" = 1'-0"

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-SEE MECHANICAL & ELECTRICAL DRAWINGS FOR LOCATION & SIZE OF ALL HOLES IN FOUNDATION WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR FINAL LOCATIONS/SIZE SEE MECH./ELECT. DWGS.)

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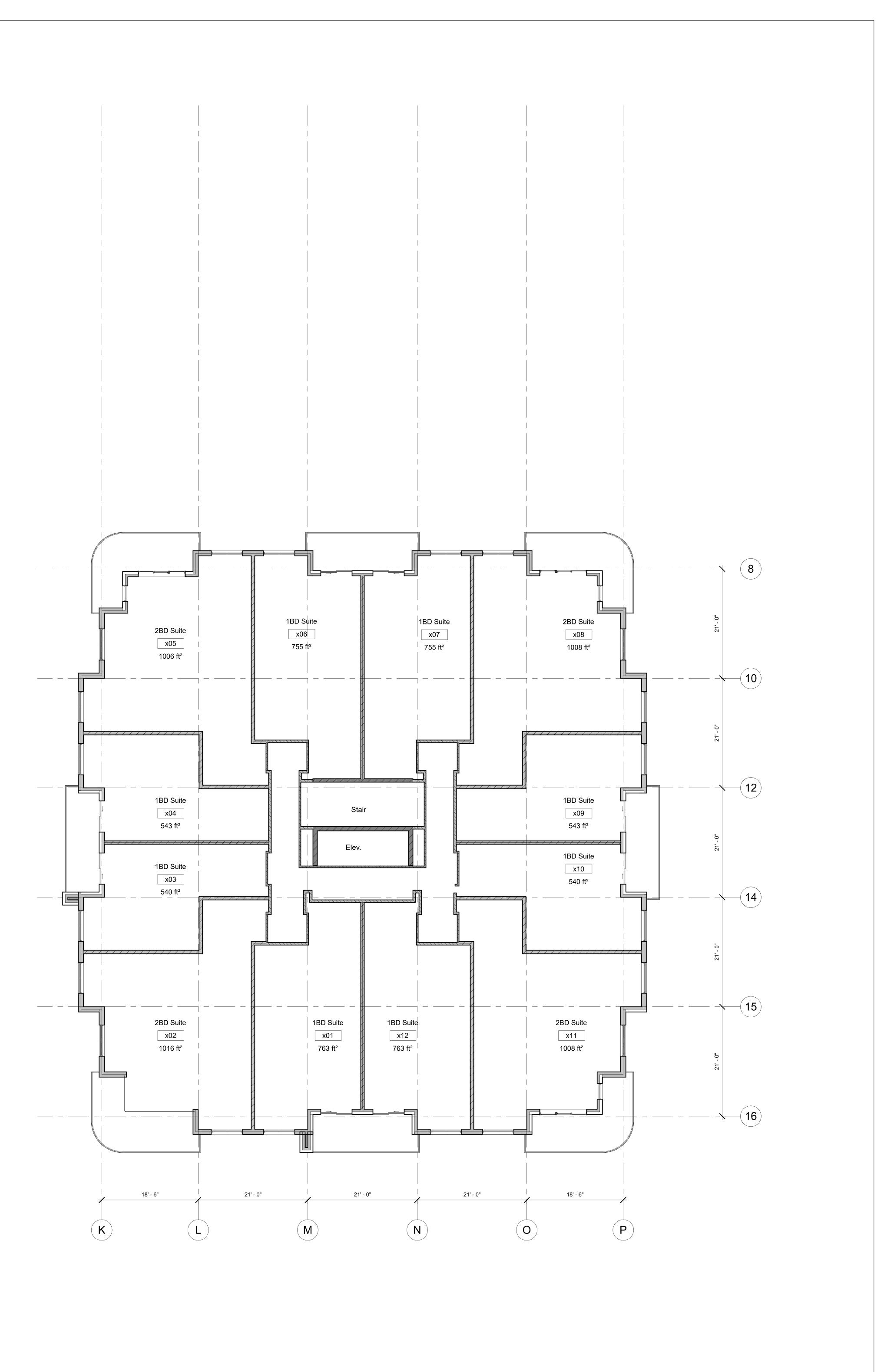
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 \bigvee **GRAPHIC SCALE** True North 16 24 32

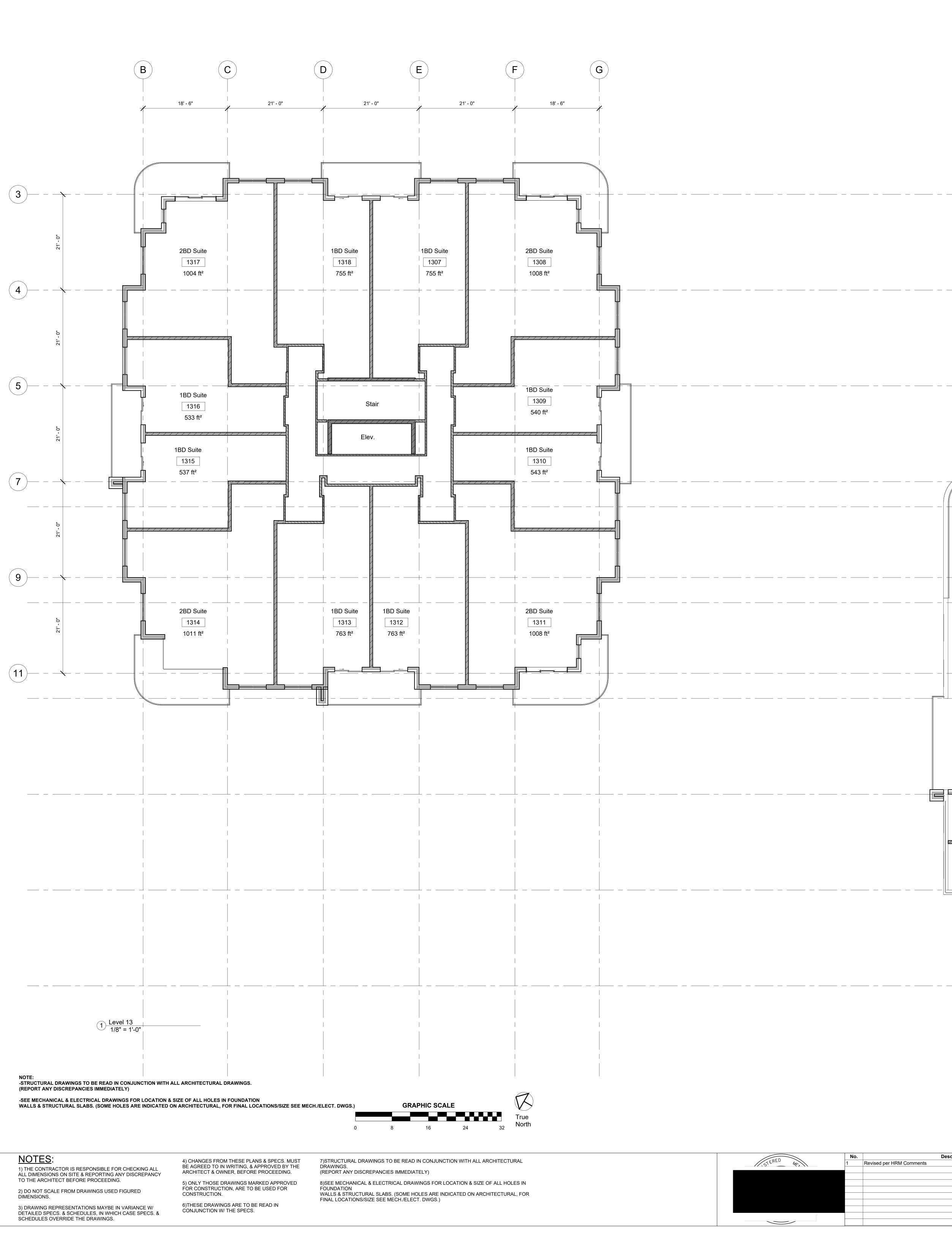


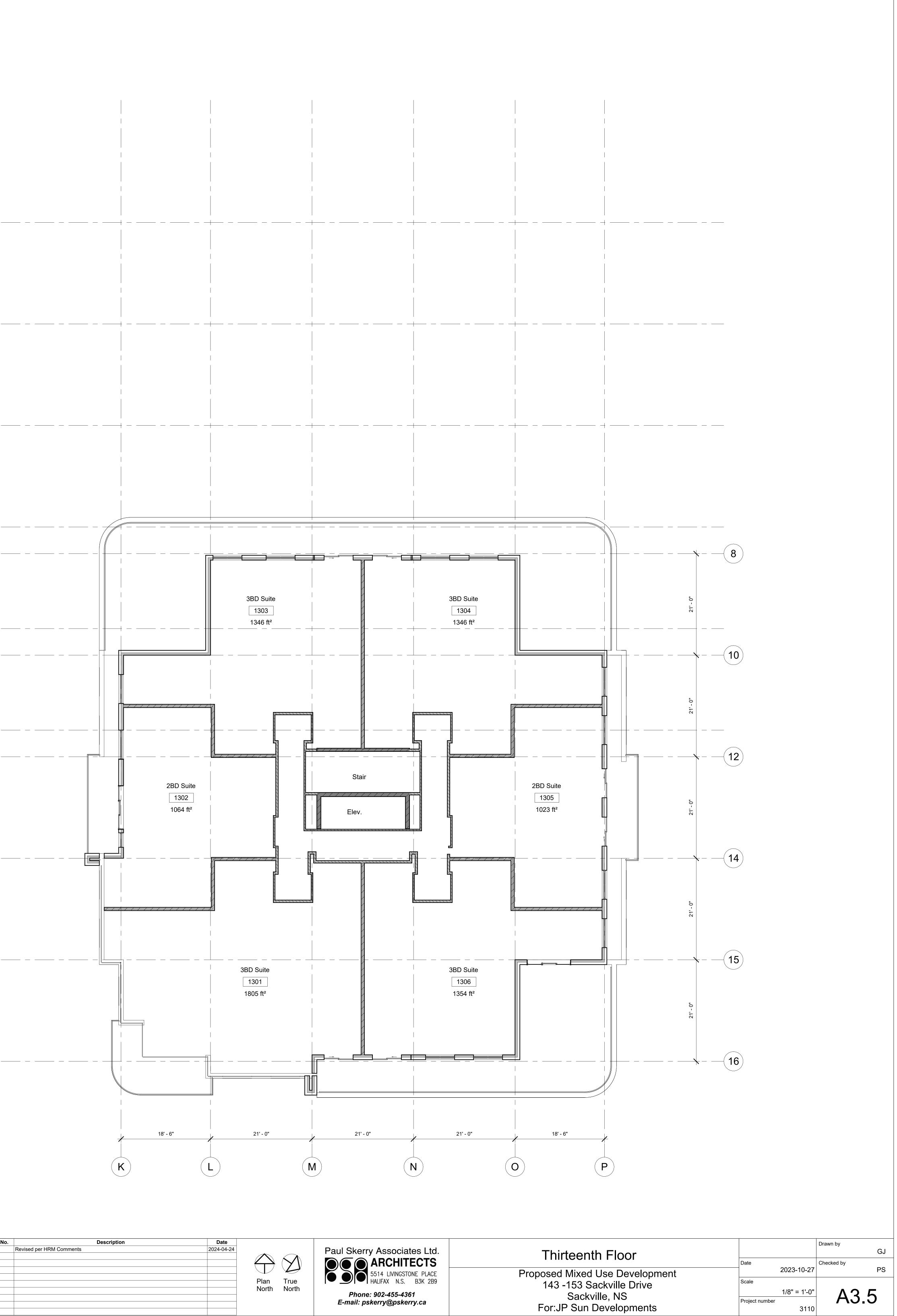


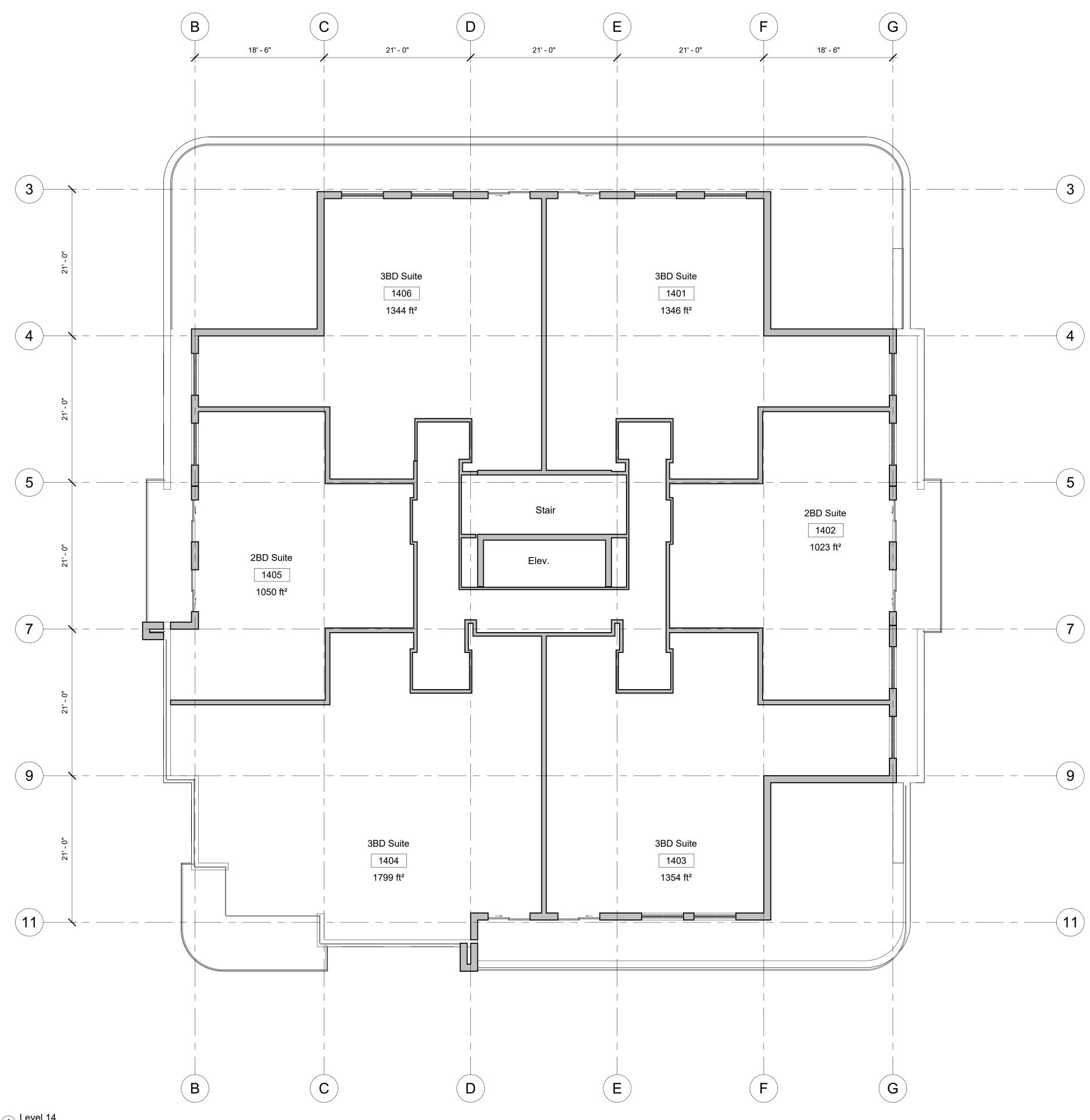
Description evised per HRM Comments	Date 2024-04-24	rue Iorth Paul Skerry Associates Ltd. ARCHITECTS 5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9 Phone: 902-455-4361 E-mail: pskerry@pskerry.ca	

Typical Tower Plan Proposed Mixed Use Development 143 -153 Sackville Drive Sackville, NS For:JP Sun Developments

		Drawn by	
		GJ	
Date		Checked by	MA
	2023-10-27	PS	75.5
Scale			1.5(
	1/8" = 1'-0"	A3_4	2024-09-20 11-50-34 AM
Project number		AJ.4	
	3110		004







1 Level 14 1/8" = 1'-0"

NOTE: -STRUCTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS. (REPORT ANY DISCREPANCIES IMMEDIATELY)

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DRAWINGS. (REPORT ANY DISCREPANCIES IMMEDIATELY) FOUNDATION

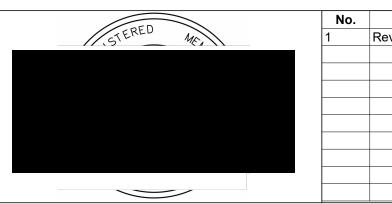
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 $\overline{\mathcal{N}}$ **GRAPHIC SCALE** True North 16 24 32

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Description	Date		
Revised per HRM Comments	2024-04-24		Paul Skerry Assoc
			-
		Plan True	HALIFAX N
		North North	
			Phone: 902-455
			E-mail: pskerry@ps

ociates Ltd. HITECTS INGSTONE PLACE N.S. B3K 2B9 5-4361 pskerry.ca

Fourteenth Floor

Proposed Mixed Use Development 143 -153 Sackville Drive Sackville, NS For:JP Sun Developments

_			
			Drawn by
			GJ
	Date		Checked by
		2023-10-27	PS
	Scale		
		1/8" = 1'-0"	V3 C
	Project number		A3.6
		3110	

A	B	C	D Tower 2	E
<u>T.O. Roof</u> (Tower 2)				
 ● T.O. Roof (Tower 1) 235' - 10" ● Level 14 233' - 6" ● Level 13 ■ Level 13 				
€ Level 12 214' - 2"				
Level 11 204' - 6" Level 10 194' - 10"				
Level 9 185' - 2" Level 8 175' - 6"				
Level 7 165' - 10" Level 6 156' - 2"				
 Level 5 146' - 6" Level 4 136' - 10" 				
Level 3 127' - 2" Level 2 117' - 6"				
Level 1 GRADE 105' - 6"				
Upper Parking Level				
1 Overall South Elev 1/8" = 1'-0"	ration			

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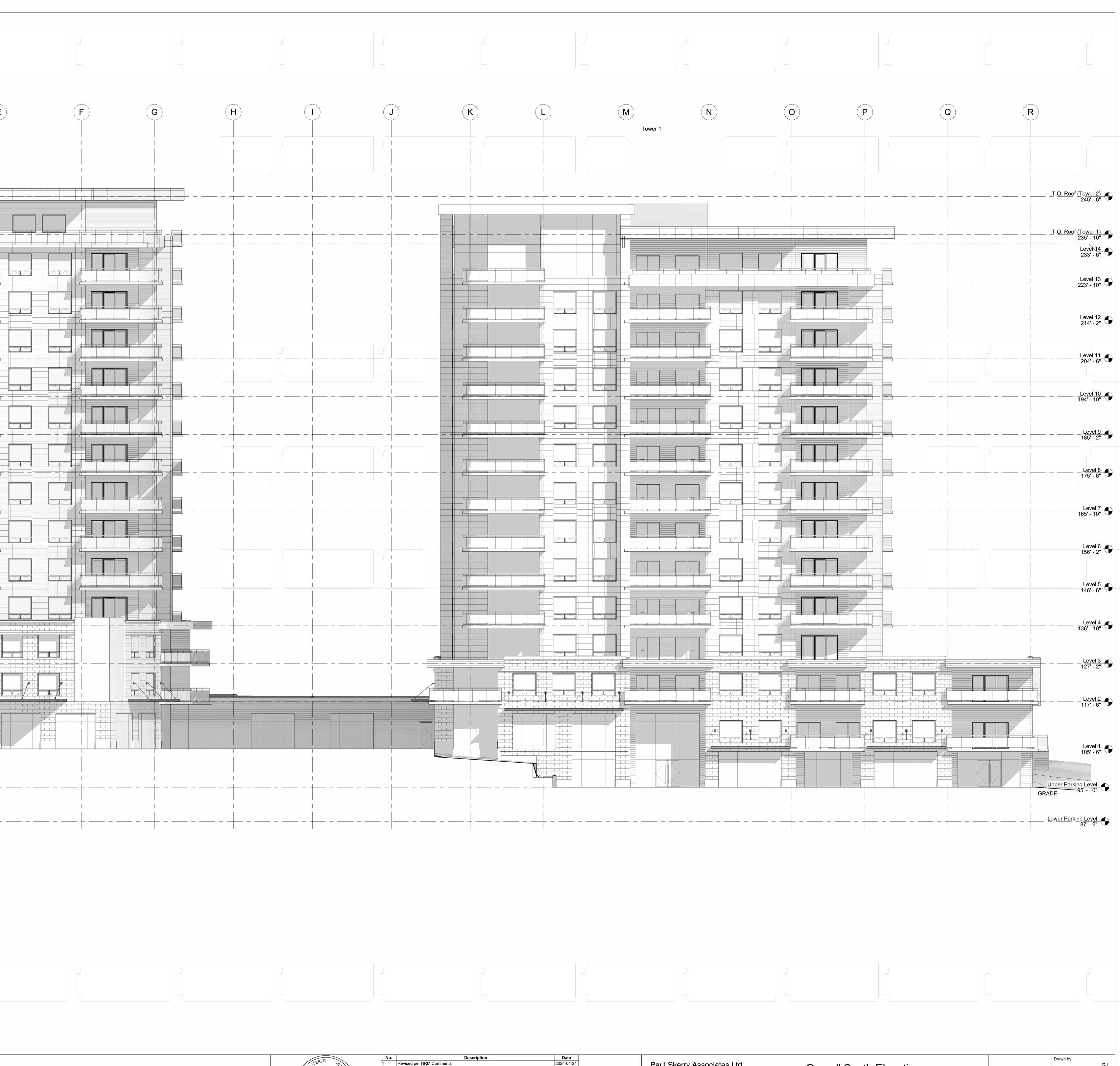
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Revised pla

Description	Date	
r HRM Comments	2024-04-24	Paul Skerry Associates Ltd.
ans per HRM comments	2024-09-20	
		5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9
		I - I HALII AA IN.S. DJK ZD9
		Phone: 902-455-4361
		E-mail: pskerry@pskerry.ca

Overall South Elevations		Drawn by	GJ
Proposed Mixed Use Development	Date 2023-10-27	Checked by	PS
143 -153 Sackville Drive Sackville, NS	Scale 1/8" = 1'-0"	A4	$\mathbf{\cap}$
For:JP Sun Developments	Project number 3110		.0

		2 3	4 6 7 8	9 10 11 12	13 14 15 16	
Existing House	$ \begin{array}{c} 214 \cdot 2^{2} \\ 204^{2} \cdot 6^{2} \\ 2^{2} $					T.O. Roof (Tower 2) 245' - 6" $235' - 10"$ Level 11 233' - 6" $233' - 6"$ Level 12 223' - 10" $233' - 6"$ Level 12 214' - 2" $214' - 2"$ Level 11 204' - 6" $214' - 6"$ Level 10 194' - 10" $135' - 2"$ Level 8 175' - 6" $135' - 2"$ Level 7 165' - 10" $135' - 2"$ Level 7 165' - 10" $135' - 2"$ Level 7 165' - 10" $135' - 2"$ Level 8 175' - 6" $135' - 2"$ Level 7 165' - 10" $135' - 2"$ Level 7 165' - 10" $135' - 2"$ Level 7 165' - 10" $135' - 2"$ Level 8 175' - 6" $145' - 6"$ Level 7 165' - 10" $135' - 6"$ Level 4 105' - 6" $135' - 6"$
	Lower Parking Level 87' - 2" Overall West Elevation 1/8" = 1'-0"					Lower Parking Level 87' - 2"
NOTES: 4) CHANGES FROM THESE PLANS & SPECS. MUST 1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL BE AGREED TO IN WRITING, & APPROVED BY THE ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY BE AGREED TO IN WRITING, & APPROVED BY THE TO THE ARCHITECT BEFORE PROCEEDING. 5) ONLY THOSE DRAWINGS MARKED APPROVED 2) DO NOT SCALE FROM DRAWINGS USED FIGURED 5) ONLY THOSE DRAWINGS MARKED APPROVED DIMENSIONS. 6) THESE DRAWINGS ARE TO BE USED FOR 3) DRAWING REPRESENTATIONS MAYBE IN VARIANCE W/ 6) THESE DRAWINGS ARE TO BE READ IN CONJUNCTION W/ THE SPECS. & SCHEDULES, IN WHICH CASE SPECS. & SCHEDULES OVERRIDE THE DRAWINGS. 6) THESE DRAWINGS ARE TO BE READ IN		STERED 46	No. Description Date 1 Revised per HRM Comments 2024-04 2 Revised plans per HRM comments 2024-04	Paul Skerry Associates Ltd. Paul Skerry Associates Ltd. ARCHITECTS 5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9 Phone: 902-455-4361 E-mail: pskerry@pskerry.ca	Overall West Elevation Proposed Mixed Use Development 143 -153 Sackville Drive Sackville, NS For:JP Sun Developments	Drawn by 2023-10-27 1/8" = 1'-0" A44

	No.	Description		Date	
STERED ME	1	Revised per HRM Comments		024-04-24	Paul Skerry Associates Ltd.
	2	Revised plans per HRM comments	2	024-09-20	
					5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9
					Phone: 902-455-4361
					E-mail: pskerry@pskerry.ca

5	6	7 8	9) (10)	11 12	13
		То	wer 2			

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1 Overall North Elevation 1/8" = 1'-0"

	R	Q	Ρ	0	
• <u>T.O. Roof</u> (<u>Tower</u> 2) 245' - 6"	 		 	 	
T.O. Roof (Tower 1) 235' - 10" 233' - 6"					
<u>Level 13</u> 223' - 10"					
<u>Level 12</u>					
<u>Level 11</u>	 				
<u>Level 10</u> 194' - 10"					
<u>Level 9</u>	 	 			
Level 8					
Level 7 165' - 10"					
Level 6					
● Level 5 146' - 6"					
Level 4					
• Level 3					
Level 2 117' - 6" − −					
Level 1 105' - 6" GRADE					
Upper Parking Level 95' - 10"				 · 	_
Lower Parking Level 87' - 2"		+	 	 +	



	A I.O. Roof (Tower 2) 245' - 6" I.O. Roof (Tower 1) 255' - 10" 233' - 6" Level 13 223' - 10" Level 12 214' - 2" Level 11 204' - 6" Level 10 194' - 10" Level 9 185' - 2" Level 8 175' - 6" Level 7 165' - 10" Level 7 165' - 10' Level 7 17' 10' 10' 10' 10' 10' 10' 10' 10
	Upper Parking Level 95' - 10" Lower Parking Level 87' - 2"

Overall North Elevation		Drawn by	GJ
Proposed Mixed Use Development	Date 2023-10-27	Checked by	PS
143 -153 Sackville Drive Sackville, NS	Scale 1/8" = 1'-0"	A4.	2
For:JP Sun Developments	Project number 3110		2

Phone: 902-455-4361

E-mail: pskerry@pskerry.ca

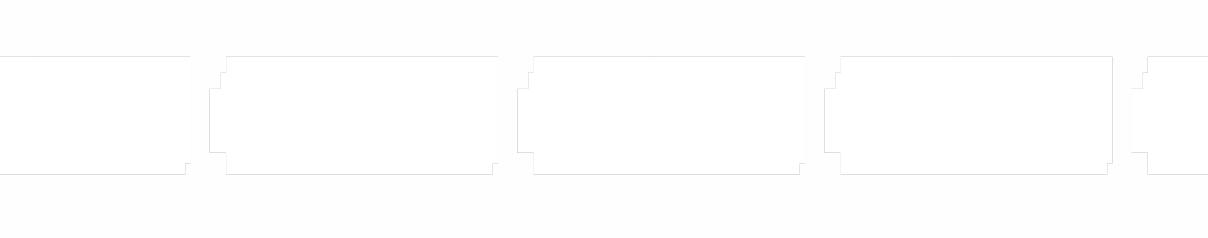
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	1/8" = 1'-0) "		

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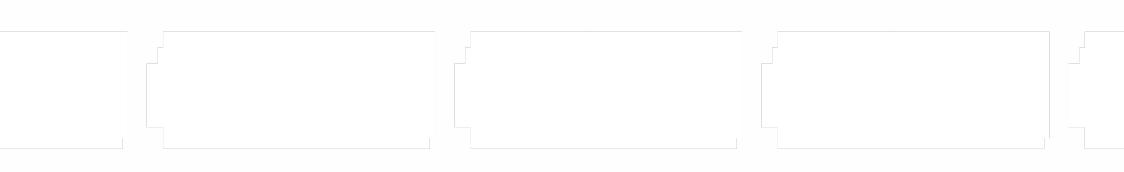
STERED Revised plans per HRM comments

2024-04-24	t	
2024-09-20)	

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GRADE Level 1 105' - 6"		
L <u>ower Parking Level</u> 87' - 2"		
Overall East Elevation Proposed Mixed Use Development 143 -153 Sackville Drive Sackville, NS	Drawn by Date 2023-10-27 Checked by Scale 1/8" = 1'-0"	GJ PS 4.3
For:JP Sun Developments	Project number 3110	2024-05

			Level 13 223' - 10"			
			$ \begin{array}{c} $			
			$ \begin{array}{c} $	Partition –	4' - 6"	
			$ \begin{array}{c} $			
	1 <u>T1 South Elevation</u> 1/8" = 1'-0"		Eower Parking Level			
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 Date

 2024-04-24

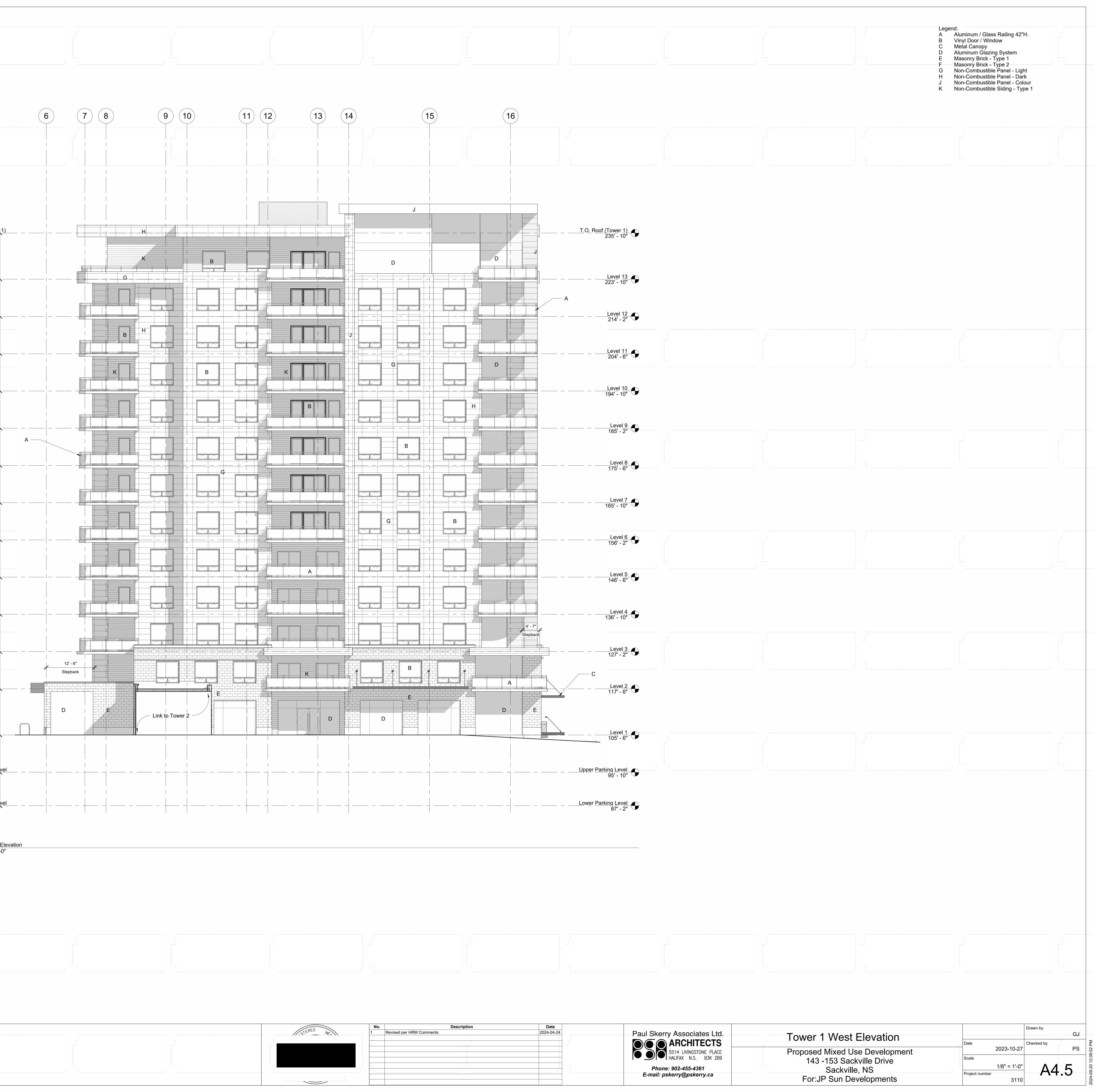
 2024-09-20
 Description Paul Skerry Associates Ltd. ARCHITECTS 5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9 Revised per HRM Comments Revised plans per HRM comments ____ Phone: 902-455-4361 E-mail: pskerry@pskerry.ca

	Legend: A Aluminum / Glass Railing 42"H. B Vinyl Door / Window C Metal Canopy D Aluminum Glazing System E Masonry Brick - Type 1 F Masonry Brick - Type 2 G Non-Combustible Panel - Light H Non-Combustible Panel - Dark J Non-Combustible Panel - Colour K Non-Combustible Siding - Type 1	
Poof (Towar 1)		
Roof (Tower 1) 235' - 10"		
Level 13 223' - 10"		
Level 12 214' - 2"		
Level 11 204' - 6"		
<u>Level 10</u> 194' - 10"		
$\frac{\text{Level 8}}{175' - 6''}$		
<u>Level 7</u> 165' - 10"		
<u>Level 6</u> 156' - 2"		
Level 5 146' - 6"		
<u>Level 4</u> 136' - 10"		
<u>Level 3</u> 127' - 2"		
Level 2 117' - 6"		
Level 1 105' - 6"		
er Parking Level 95' - 10"		
r Parking L <u>evel</u> 87' - 2"		
Tower 1 South El	evation Drawn	GJ
Proposed Mixed Use I 143 -153 Sackvill Sackville, N For:JP Sun Develo	Development2023-10-27le DriveScaleIS1/8" = 1'-0"	Ved by PS PS 40.2015:00:21 02-60-7202

		• <u>T.O. Roof (Tower 1)</u> 235' - 10"
		Level 13 223' - 10" <u>b</u> 214' - 2"
		<u>ل Level</u> 11 204' - 6"
		<u>Level 10</u> 194' - 10" <u>م</u> <u>م</u> <u>م</u>
		<u>لevel</u> 8 175' - 6"
		<u>لevel</u> 7 165' - 10" <u>و</u> <u>Level</u> 6 <u>ر</u>
		ی م <u>ک</u> <u>Level 5</u> 146' - 6"
		<u>لevel</u> 4 136' - 10"
		Level 3 127' - 2" <u>b</u> <u>b</u> <u>b</u> <u>b</u> <u>b</u> <u>b</u> <u>b</u> <u>b</u> <u>b</u> <u>b</u>
		Level 1 105' - 6"
		ته Upper Parking Leve 95' - 10" <u>لower Parking Leve</u> 87' - 2"
		1 <u>T1 West Ele</u> 1/8" = 1'-0"
NOTES: 1) THE CONTRACTOR IS RES ALL DIMENSIONS ON SITE & TO THE ARCHITECT BEFORE	ANGES FROM THESE PLANS & SPECS. MUST GREED TO IN WRITING, & APPROVED BY THE HITECT & OWNER, BEFORE PROCEEDING.	

2) DO NOT SCALE FROM DRAWINGS USED FIGURED DIMENSIONS.	
3) DRAWING REPRESENTATIONS MAYBE IN VARIANCE W/ DETAILED SPECS. & SCHEDULES, IN WHICH CASE SPECS. SCHEDULES OVERRIDE THE DRAWINGS.	&

FOR CONSTRUCTION, ARE TO BE USED FOR CONSTRUCTION. 6)THESE DRAWINGS ARE TO BE READ IN CONJUNCTION W/ THE SPECS.



	Date	Description
Paul Skerry Associates Ltd.	2024-04-24	ed per HRM Comments
ARCHITECTS 5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9		
Phone: 902-455-4361 E-mail: pskerry@pskerry.ca		

	• T.O. Ro 235' - 1	<u>of (Towe</u> r <u>1)</u>
		12' - 0"
	<u>Level</u> 13 223' - 10	3
	Lev <u>el</u> 12 214' - 2'	2
	Level 1 204' - 6'	ັດ ່າ
		ື້ຜ ' ວັ
	<u>Level</u> 1 194' - 1)
	<u>Level</u> 9 185' - 2	
	<u>Level</u> 8 175' - 6'	
		్ ల రా
	<u>Level</u> 7 165' - 1	<u>שלי</u> ישר ישר
	Lev <u>el</u> 6 156' - 2'	
	<u>Level</u> 5 146' - 6	ັດ ່າ
	Level 4	ی. 8 - ۵
	• Level 4 136' - 1	ງ" ້ ເ
	Level 3 127' - 2	
	<u>Level</u> 2 117' - 6'	
		12' - 0"
	<u>Level</u> 1 105' - 6'	
	Upper F 95' - 10'	
	Lower F 87' - 2"	σ
		1 <u>T1 North Elevat</u> 1/8" = 1'-0"

Ν	Ο	T	Ε	S	•

1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. 2) DO NOT SCALE FROM DRAWINGS USED FIGURED DIMENSIONS.

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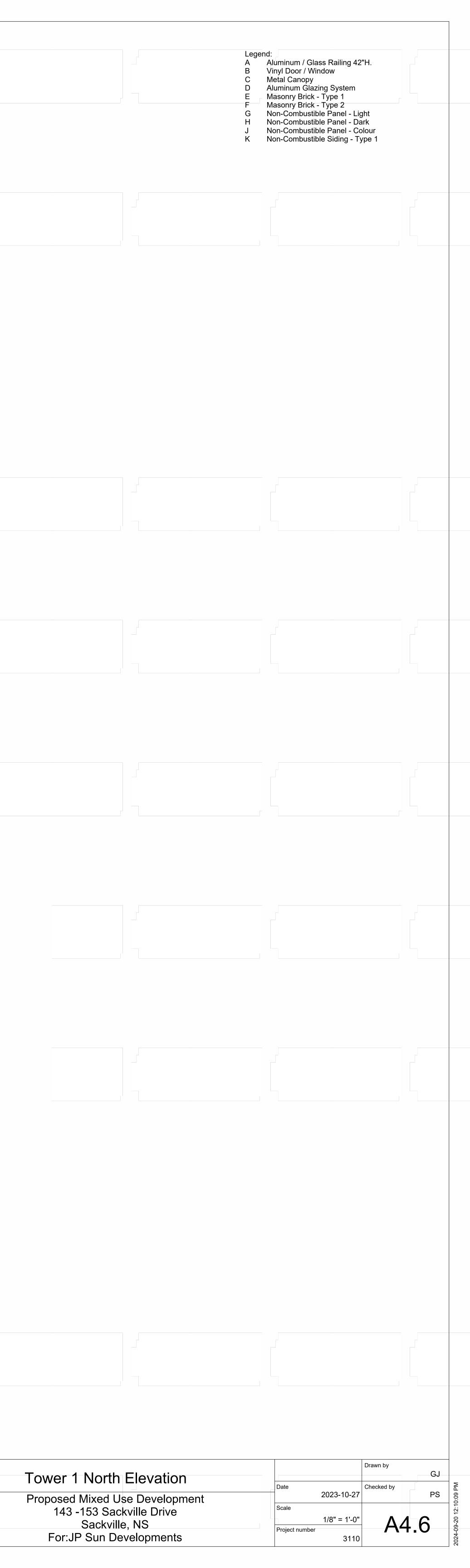


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	 J 	K	L	M	
2 <u>oof (Towe</u> r <u>1)</u> 235' - 10"	T.O.F	K			
Level <u>13</u> 223' - 10"					G G
<u>Level 12</u> 214' - 2"					
Level <u>11</u> 204' - 6"			G		
Level <u>10</u> 194' - 10"					
Level 9 185' - 2"					
Level 8 175' - 6"					
Level 7 165' - 10"					
Level 6 156' - 2"					
Level 5 146' - 6"					
Level 4 136' - 10"	4' - 6"				
Level 3 127' - 2"					
Level 2 117' - 6"					J
				D D	
Level 1 105' - 6"					
Parking Level					
Parking Level 87' - 2"	Lower				

Description	Date	
per HRM Comments	2024-04-24	Paul Skerry Associates Ltd.
		5514 LIVINGSTONE PLACE
		5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9
		Phone: 902-455-4361
		E-mail: pskerry@pskerry.ca



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NOTES:	4) CHANGES FROM
1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY	BE AGREED TO IN ARCHITECT & OWN
TO THE ARCHITECT BEFORE PROCEEDING.	5) ONLY THOSE DR

M THESE PLANS & SPECS. MUST N WRITING, & APPROVED BY THE /NER, BEFORE PROCEEDING.

	1 T1 East E 1/8" = 1'-(levation)"	

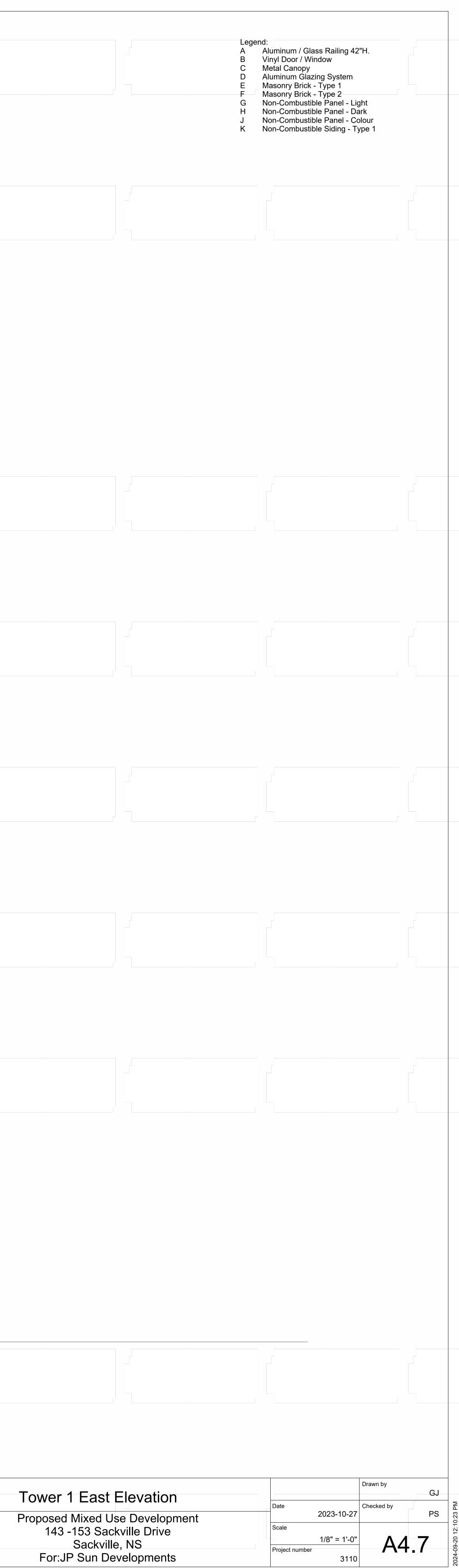
	<u>T.O. Roof (Tower 1)</u> 235' - 10"	
	<u>Level</u> <u>13</u> 223' - 10"	
	<u>Level 12</u> 214' - 2"	
	<u>Level</u> 11 204' - 6"	
	<u>Level</u> 10 194' - 10"	
	Level 9 185' - 2"	
	A A A	
	<u>Level</u> 7 165' - 10"	
	<u>Level 6</u> 156' - 2"	
	Partition	
	Level 5 146' - 6"	
	<u>Level</u> 4	
	Level 3 127' - 2" —	— E
	• Level 2 117' - 6"	
	Level 1 105' - 6"	
	Upper Parking Level 95' - 10"	
	Lower Parking Level	
	1 <u>T1 East Elevation</u> 1/8" = 1'-0"	



STERED

		<u>T.O. Roof</u> (<u>Tower 1)</u> 235' - 10"	
	12' - 0"	<u>Level 13</u> 223' - 10"	
		<u>Level 12</u> 214' - 2"	
	ະ ອີງ	Level 11 204' - 6"	
	" " 0	<u>Level 10</u> 194' - 10"	
		Level 9 185' - 2"	
		<u>Level 8</u> 175' - 6"	
	້ອ 	<u>Level 7</u> 165' - 10"	
		<u>Level 6</u> 156' - 2"	
	- 0 - 0	<u>Level 5</u> 146' - 6"	
	- 0 0	<u>Level 4</u> 136' - 10"	
	- - - -	Level 3 127' - 2"	
12' - 6 1/2" Stepback	- δ ₂	127' - 2"	
	12' - 0"	117' - 6" \ F	
	8ª - 8	Level 1 105' - 6"	
		Up <u>per Parking Level</u> 95' - 10"	
		Low <u>er Parking Level</u> 87' - 2"	

No) .	Description	Date	
1	Revised per HRM Comme	nts	2024-04-24	Paul Skerry Associates Ltd.
				5514 LIVINGSTONE PLACE
				5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9
				Phone: 902-455-4361
				E-mail: pskerry@pskerry.ca



		<u>T.O. Roof (Tower 2)</u> 245' - 6"	
	12' - 0"		
		<u>Level 14</u>	
	ō	<u>Level 13</u> 223' - 10"	
	ະ ເດັ	<u>Level 12</u> 214' - 2"	
		<u>Level 11</u> 204' - 6"	
	- o		
		Level 10	
	- - -	Level 9 185' - 2"	
		<u>Level 8</u> 175' - 6"	
 Parti	το σ	Level 7 165' - 10"	
	ະ ອີງ ອີງ	<u>Level 6</u> 156' - 2"	
	ະສ - ດ		
		Level 5	
	 ຜ ັດ	Level 4	
		Level 3	
C —	ະດີ ເດັ່ງ	Level 2	
	12' - 0"		
		<u>Level 1</u> 105' - 6"	
		Upper Parking Level 95' - 10"	
		Lower Parking Level 87' - 2"	
T2 South Elevation 1/8" = 1'-0"	(1		

ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING. 2) DO NOT SCALE FROM DRAWINGS USED FIGURED DIMENSIONS.

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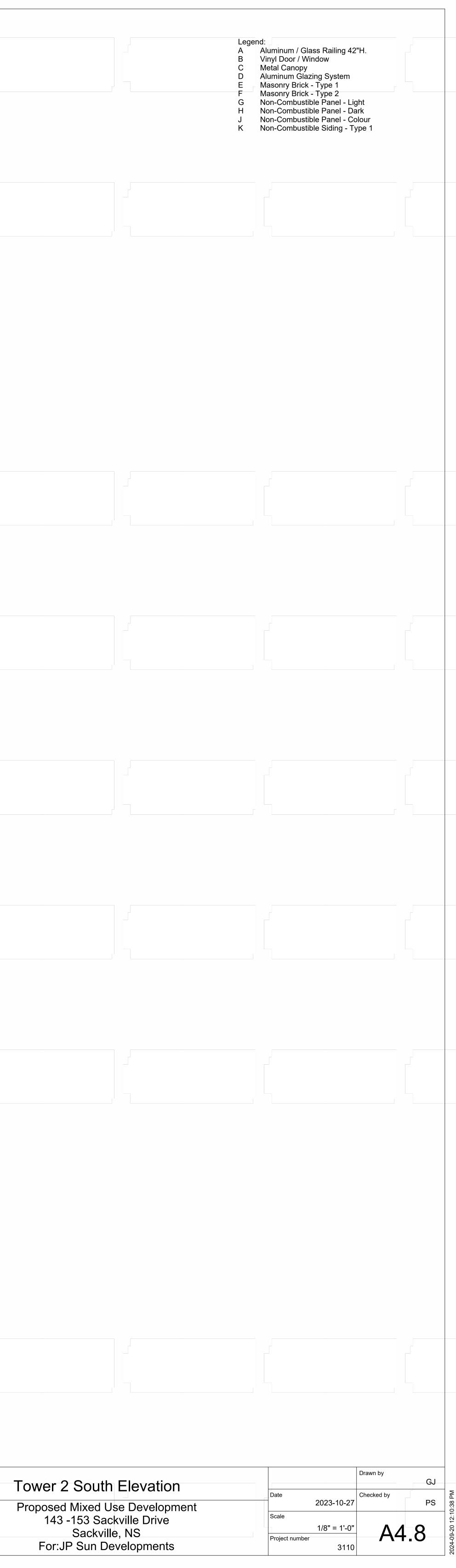
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STERED _____ _____

F G		
	Level 14 233' - 6"	
	Level 13 223' - 10"	
	Level 12 214' - 2"	
	Level 10 194' - 10"	
	Level 9 185' - 2"	
	Level 7 165' - 10"	
4'-6"		
	<u>Level 4</u> 136' - 10"	
	Level 3 127' - 2" •	
	Level 2 117' - 6"	
	D 	
	Upper Parking Level 95' - 10"	
	Lo <u>wer Parking Level</u> 87' - 2"	

Description	Date		
sed per HRM Comments	2024-04-24	Paul Skerry Associates Ltd.	
		5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9	
		HALIFAX N.S. B3K 2B9	
		Phone: 902-455-4361	
		E-mail: pskerry@pskerry.ca	



)
	T.O. Roof (Tower 2) 245' - 6"	
	$ \begin{array}{c c} $	
	Level 12 214' - 2"	
	€ Level 11 204' - 6"	
	Level 10 194' - 10"	
	Level 8 175' - 6" □	A —
	Level 7 165' - 10" Level 6 156' - 2"	36' - 6"
	Level 5 146' - 6"	Stepback
	 Level 4 136' - 10" A Level 3 127' - 2" 	
	Level 2 117' - 6"	
	Level 1 105' - 6" Upper Parking Level 95' - 10"	
	<u>Lower Parking Level</u> 87' - 2" T2 West Elevation	
	(<u>1</u>) <u>1/8" = 1'-0"</u>	

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TERED

			C Metal Canopy D Aluminum Glaz E Masonry Brick - F Masonry Brick - G Non-Combustib H Non-Combustib J Non-Combustib	ass Railing 42"H. ndow ting System - Type 1 - Type 2 ble Panel - Light ble Panel - Dark ble Panel - Colour ble Siding - Type 1
11 13	(15)			
	12 0.	$-\frac{\text{T.O. Roof (Tower 2)}}{245' - 6"} - \frac{\text{Level 14}}{233' - 6"} $		
		Level 13 223' - 10" 		
	δο δο δο δο δο δο δο	$= - \frac{Level 11}{204' - 6''}$		
	ັດ 	Level 10 194' - 10"		
	ο ο ο ο ο ο ο ο ο ο ο ο ο ο	$ \frac{\text{Level 9}}{185' - 2"} $		
		<u>Level 7</u> 165' - 10"		
		$ \frac{\text{Level 6}}{156' - 2"} $		
		Level 4 136' - 10"		
		$ \frac{\text{Level 3}}{127' - 2"} $		
		$ \frac{\text{Level 2}}{117' - 6"} - \frac{\text{Level 1}}{105' - 6"} - \frac{105' - 6"}{105' - 6"} + \frac{105' - 6''}{105' - 6''} + \frac{105' - 6''}{105' - 6''}} + \frac{105' - 6''}{105' - 6''} + \frac{105'' - 6''}{105''} + 1$		
	α ' σ 	Upper Parking Level 95' - 10"		
		Lower Parking Level 87' - 2"		
Description Date ed per HRM Comments 2024-04-24 ed plans per HRM comments 2024-09-20 Image: Second secon	Paul Skerry Associates ARCHITEC 5514 LIVINGSTONE HALIFAX N.S. B31 Phone: 902-455-4361 E-mail: pskerry@pskerry.c	PLACE K 2B9 PLACE F 2B9 PLACE F 2B9 Proposed 143 -	West Elevation Date Mixed Use Development Scale 153 Sackville Drive Scale Sackville, NS Project nu P Sun Developments Project nu	Drawn by GJ 2023-10-27 Checked by PS 1/8" = 1'-0" A4.9 102-60-750 Checked by PS 1/8" = 1'-0" A4.9

				Le A B C D E F G H J K	gend: Aluminum / Glass Railing 42"H. Vinyl Door / Window Metal Canopy Aluminum Glazing System Masonry Brick - Type 1 Masonry Brick - Type 2 Non-Combustible Panel - Light Non-Combustible Panel - Dark Non-Combustible Panel - Dolur Non-Combustible Panel - Colour Non-Combustible Siding - Type 1	
(11)	13	(15)				
			<u>D. Ro</u> of_(Tower 2) 245' - 6"			
	A 		L <u>evel 14</u>			
		δ 	Level 13 223' - 10"			
			Level 12 214' - 2"			
			Level 11 204' - 6"			
			Level 9 185' - 2"			
			<u>Level 8</u> 175' - 6"			
			Level 7 165' - 10"			
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			Level 4 136' - 10"			
			<u>Level 3</u> 127' - 2"			
		12: - 0"	<u>Level 2</u> 117' - 6"			
			<u>Level 1</u> 105' - 6"			
		τω - - -	<u>ver Parking Level</u> 95' - 10" <u>ver Parking Level</u> 87' - 2"			
Description ed per HRM Comments ed plans per HRM comments	Date 2024-04-24 2024-09-20	Paul Skerry Associates Ltd. ARCHITECTS 5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9 Phone: 902-455-4361 E-mail: pskerry@pskerry.ca		r 2 West Elevation ed Mixed Use Development 13 -153 Sackville Drive Sackville, NS	Drawn by Date 2023-10-27 Checked by Scale 1/8" = 1'-0" Project number	GJ PS 5054-09-20 12:10:24 PM

		1 T2 North Elevation 1/8" = 1'-0"	
NI)TES [.]		

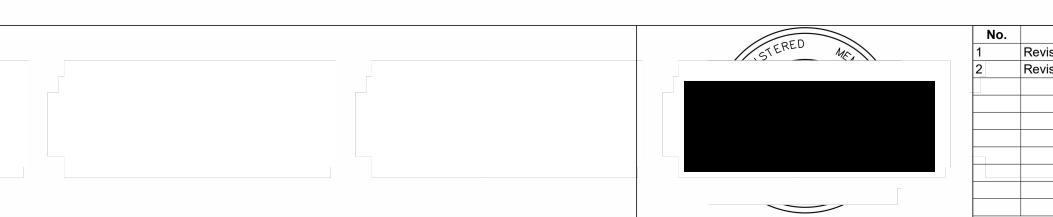
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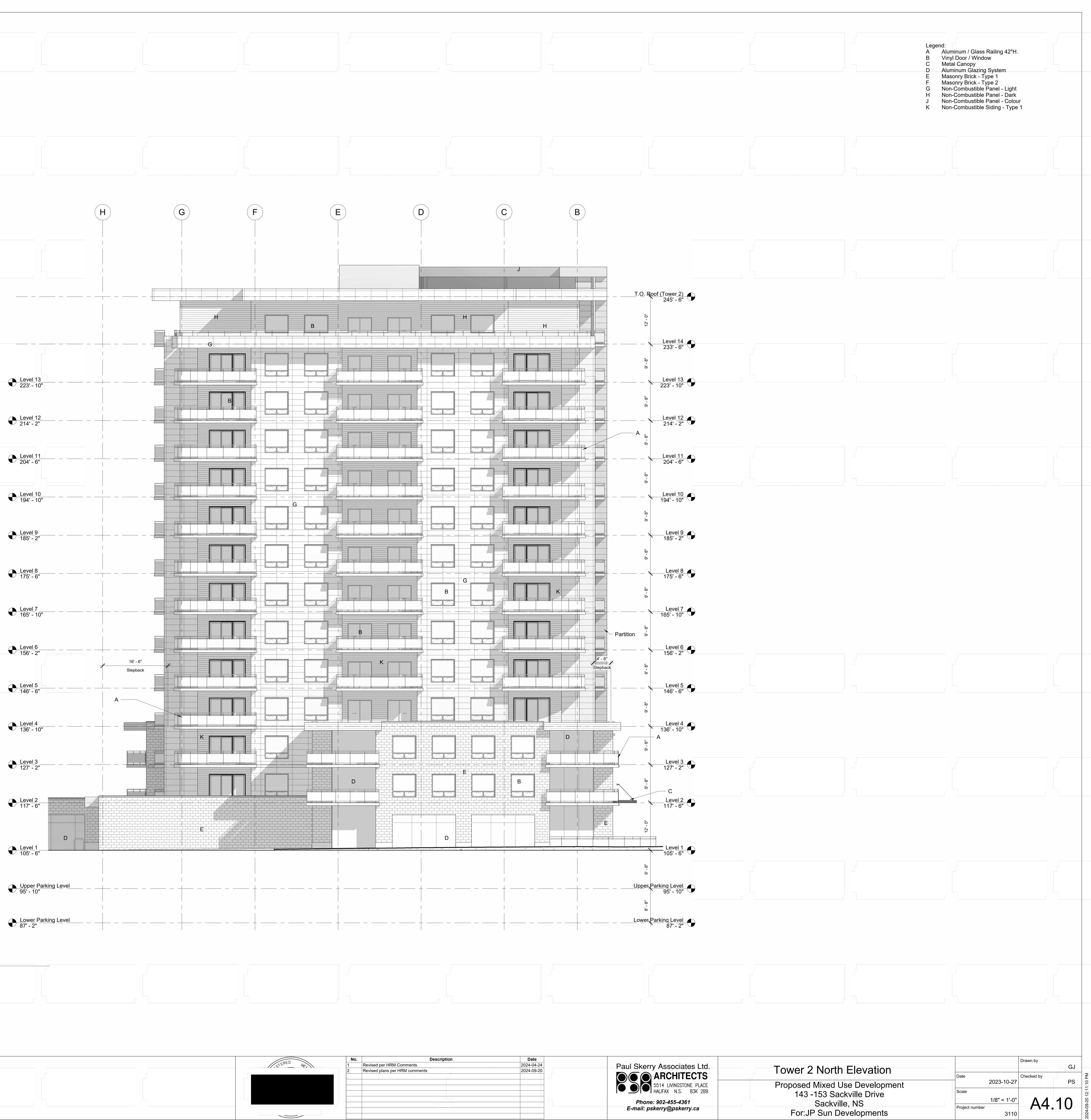
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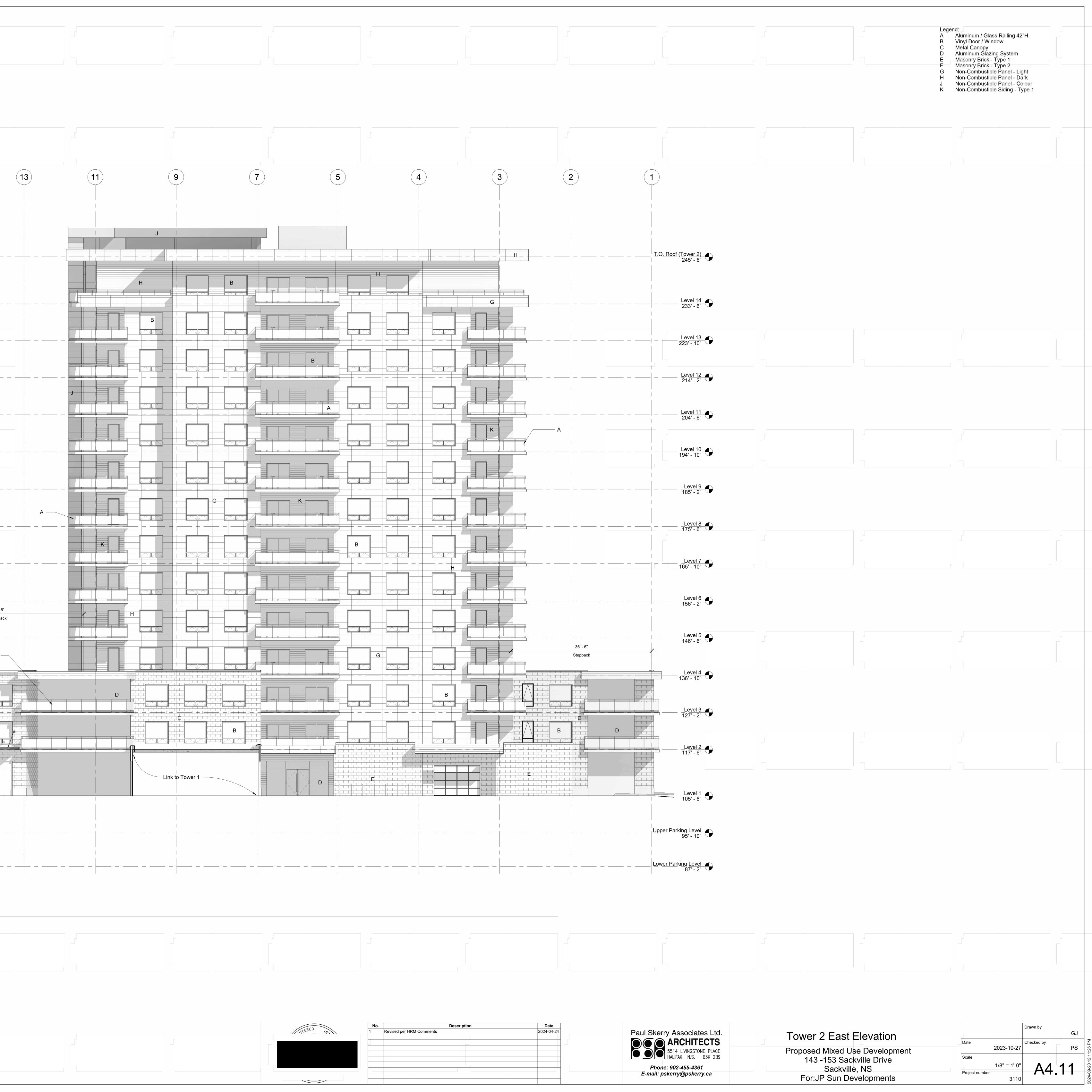
Description	Date	
ised per HRM Comments	2024-04-24	Paul Skerry Associates Ltd.
ised plans per HRM comments	2024-09-20	5
		5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9
		I - I HALIFAX IV.S. DJK ZD9
		Phone: 902-455-4361

	15	
	• <u>T.O. Root (Tower 2)</u> 245' - 6" • • • • • • • • • • • • • • • • • • •	
	$ \begin{array}{c} $	
	Level 11 204' - 6"	
	Level 8 	
	$ \begin{array}{c c} $	44' - 6" Stepbac
	$ \begin{array}{c} $	
	 Level 1 105' - 6" Upper Parking Level 95' - 10" 	
	$ \begin{array}{r} \hline \hline \\ \hline \\ 87' - 2" \\ \hline \\ \hline \\ \hline \\ 1 \\ \hline \\ 1/8" = 1'-0" \\ \hline \\ $	

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Paul Skerry Associates Ltd.	2024-04-24	sed per HRM Comments
5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9		
Phone: 902-455-4361		
<i>E-mail: pskerry@pskerry.ca</i>		
E-mail. pskerry@pskerry.ca		

		B	
	<u>T.O. Roof (Tower 2)</u> 245' - 6" <u>T.O. Roof (Tower 1)</u> 235' - 10" 233' - 6"		
	Level 13 223' - 10"		
	Level 11 204' - 6" Level 10 194' - 10" Level 9 185' - 2"		
	<u>Level 8</u> 175' - 6"		
	Level 6 156' - 2" — — — — — — — — — — — — — — — — — —		
	Level 4 136' - 10" Level 3 127' - 2"		
	<u>Level 2</u> <u>117' - 6"</u> <u>Level 1</u> <u>105' - 6"</u>		
	Upper Parking Level 95' - 10"	 	
	1 From Sackville Drive 3/32" = 1'-0"		

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	Date	Description
Paul Skerry Associates Ltd.	2024-09-20	ed plans per HRM comments
5514 LIVINGSTONE PLACE HALIFAX N.S. B3K 2B9		
Phone: 902-455-4361		
E-mail: pskerry@pskerry.ca		

Q		
T.O. Roof (Tower 2) 245' - 6"		
Level 12 214' - 2"		
L <u>evel 10</u> 194' - 10"		
Level 9 Level 9 Level 8		
<u>Level 8</u> 175' - 6" <u>Level 7</u> 165' - 10"		
165' - 10"		
<u>Level 4</u> 136' - 10"		
Level 3 127' - 2"		
<u>Level 2</u> 117' - 6"		
Level 1 105' - 6"		
Upper Parking Level 95' - 10"		
Lower Parking Level 87' - 2"		
From Sackville Drive		Drawn by GJ
Proposed Mixed Use Development	Date 2023-10-2	27 Checked by PS

Sackville, NS For:JP Sun Developments

143 -153 Sackville Drive

Scale
3/32" = 1'-0"
Project number
3110

2024-09-20 12: