

143-153 Sackville Drive



1 Street Corner



3 From Hillcrest - Straight on



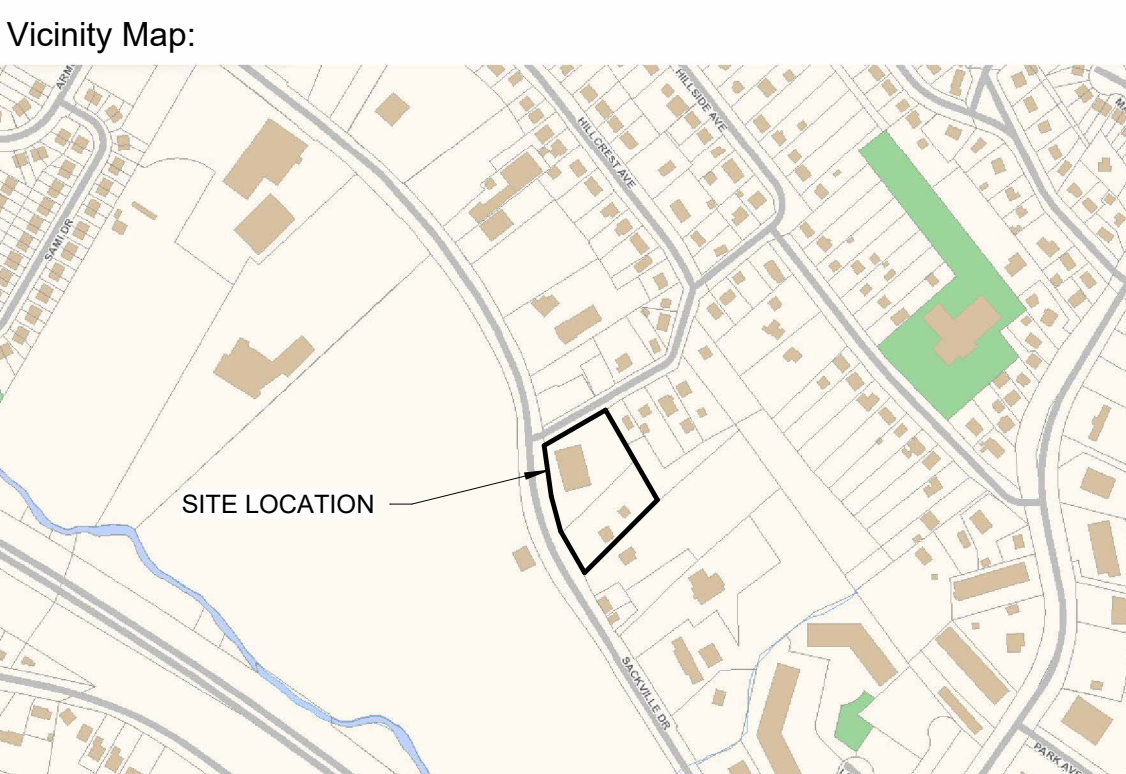
2 From Sackville Drive



4 From rear corner of lot

Building Fire Safety & Building Code Data:	
Regulated by: Part 3 of the National Building Code (NBC)	
Major Occupancy: C (Residential), E (Mercantile) & F2 (Parking Garage)	
Total Lot Size: 93,086 sqft. (8,648.0 sqm.)	
Building Footprint: 36,230 sqft. (3,365.9 sqm.)	
Number of Stories: 14 Above Grade, 2 Below Grade	
Height of Building: ~140'-0" (~42.7m)	
Fire Access Routes/Streets: 2	
Sprinkler System: Proposed	
Fire Rated Separation between Major Occupancies: C & E: 1 Hour Fire Rated Separation	
C & F2: 2 Hour Fire Rated Separation	
E & F2: 2 Hour Fire Rated Separation	
Classified as a High Building (min. 18m): Yes	
Non-Combustible Construction	
PID: 40010068 & 40010050	
Zone: PC	
Residential Units: 301	
Barrier Free Units Required/Proposed: 16	
Unit Sizes:	
3 Bedrooms: 10 Units	
2 Bedrooms: 105 Units	
1 Bedrooms: 186 Units	
Parking Area	
Lower Parking Garage: 122 Spaces	
Upper Parking Garage: 122 Spaces	
Level 1 Parking Garage: 25 Spaces	
Exterior Spaces: 40 Spaces	
Total: 309 Spaces (x Handicapped)	
Amenity Area	
Indoor Amenity Proposed: 5,283sf 1.63sm per unit	
Exterior Amenity: Balconies Avg. 100sf/unit = ~30,100sf	
Commercial Area	
Proposed: 12,000sf	
Building Elevations	
Lower Parking Level	87.17'
Upper Parking Level	95.83'
Level 1	105.50'
Level 2	117.50'
Level 3	127.17'
Level 4	136.83'
Level 5	146.50'
Level 6	156.17'
Level 7	165.83'
Level 8	175.50'
Level 9	185.17'
Level 10	194.83'
Level 11	204.50'
Level 12	214.17'
Level 13	223.83'
Level 14	233.50'
T.O. Roof (Tower 1)	235.83'
T.O. Roof (Tower 2)	245.50'

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A3.6	FOURTEENTH FLOOR PLAN
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A4.11	TOWER 2 EAST ELEVATION
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NOTES:

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No.	Description	Date
1	Revised per HRM Comments	2024-04-24
2	Revised plans per HRM comments	2024-09-20

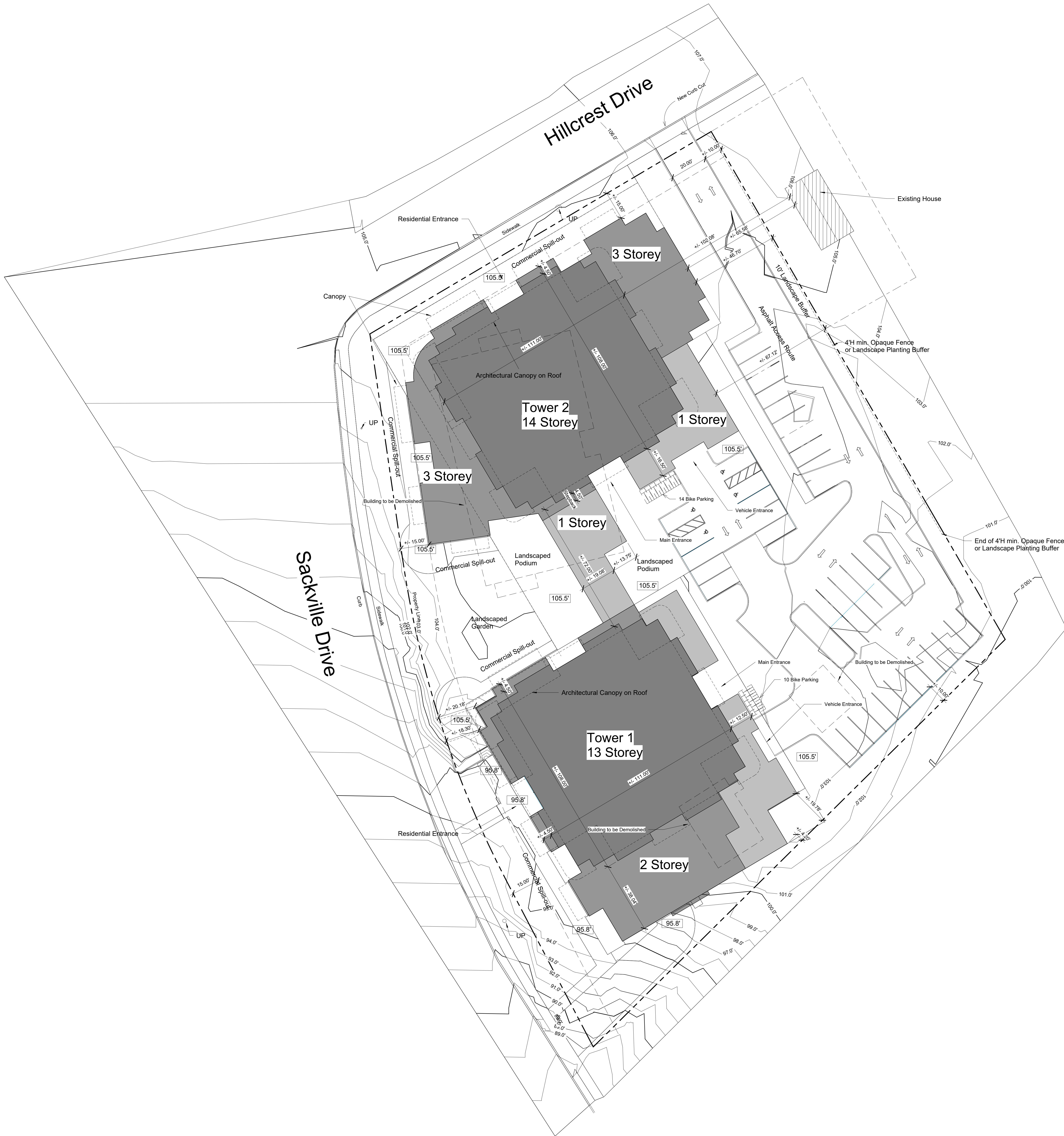
Paul Skerry Associates Ltd.
ARCHITECTS
3514 LIVINGSTONE PLACE
HALIFAX, N.S. B3K 2B8
Phone: 902-455-4361
E-mail: pskerry@pskerry.ca

Cover
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale			
Project number	3110		

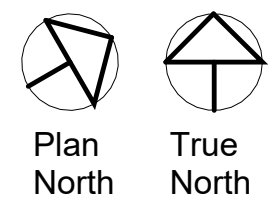
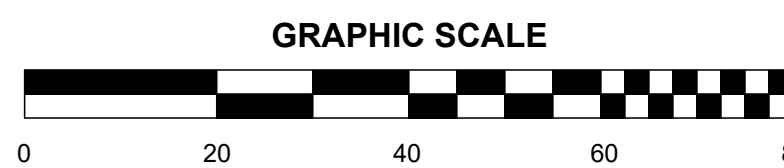
A0

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LEGEND:
32.1' Existing Grade
32.1' Proposed Grade

① Site
1" = 20'-0"



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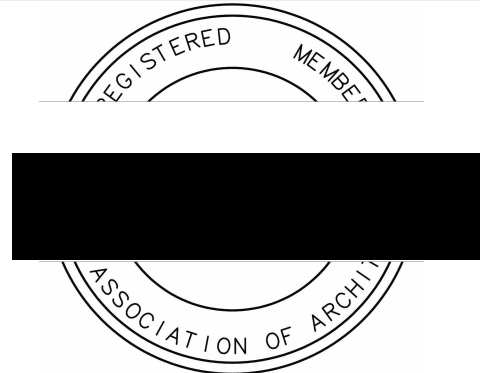
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No.	Description	Date
1	Revised per HRM Comments	2024-04-24
2	Removed Driveway off Sackville Dr.	2024-06-05
3	Revised plans per HRM comments	2024-09-20

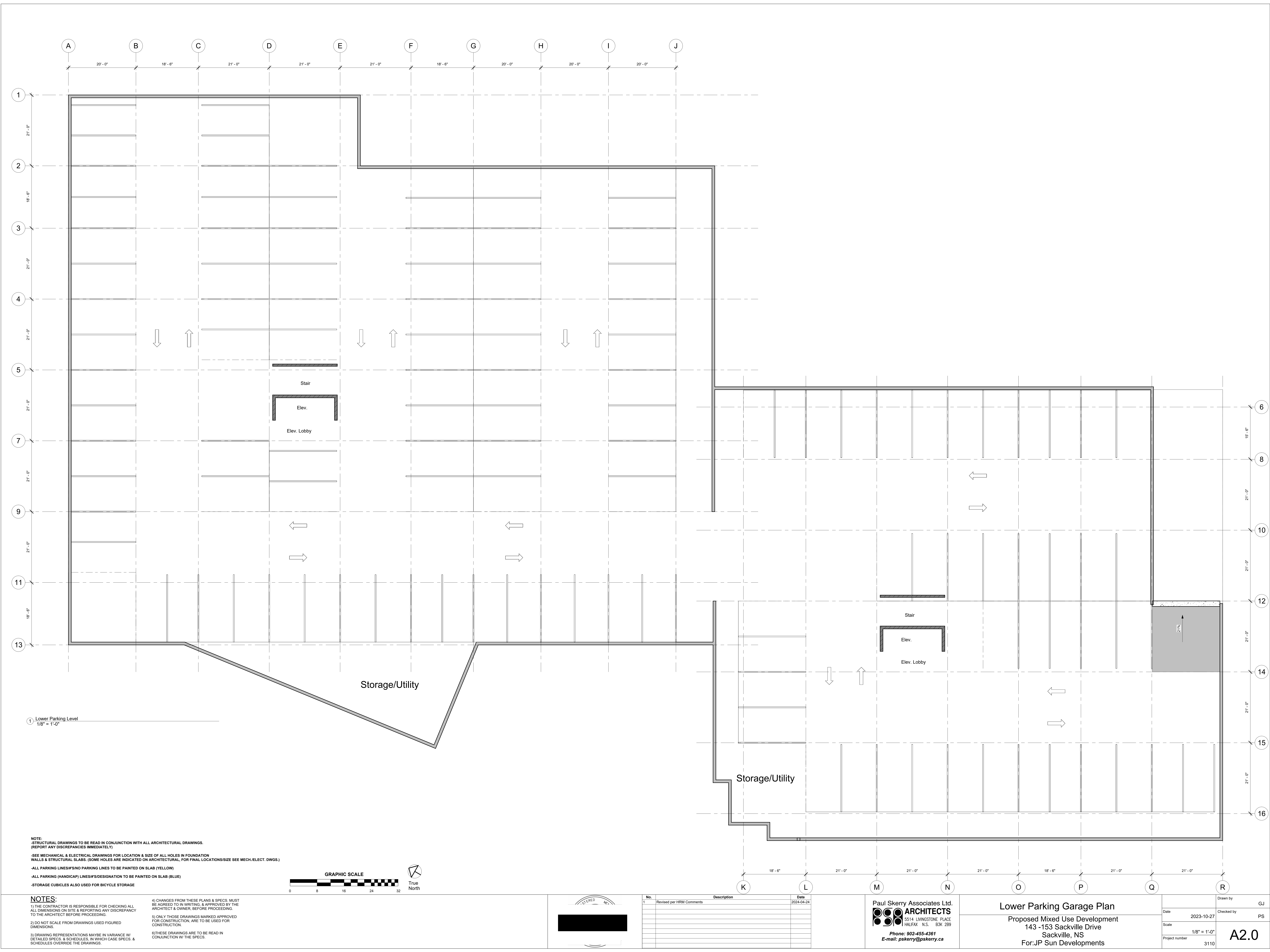
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HALIFAX, N.S. B3K 2B9
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Site Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Drawn by	GJ
Scale	1" = 20'-0"	Checked by	PS
Project number	3110		

A1.0

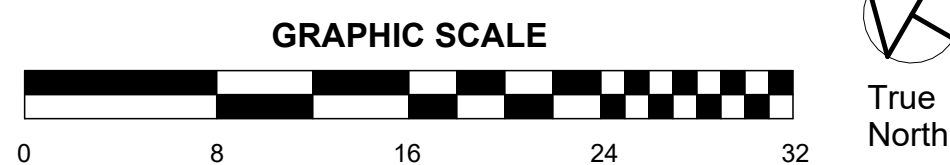
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1 Lower Parking Level
1/8" = 1'-0"

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WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR FINAL LOCATIONS/SIZE SEE MECH/ELECT. DWGS.)
-ALL PARKING LINES/IF NO PARKING LINES TO BE PAINTED ON SLAB (YELLOW)
-ALL PARKING (HANDICAP) LINES/IF DESIGNATION TO BE PAINTED ON SLAB (BLUE)
-STORAGE CUBICLES ALSO USED FOR BICYCLE STORAGE

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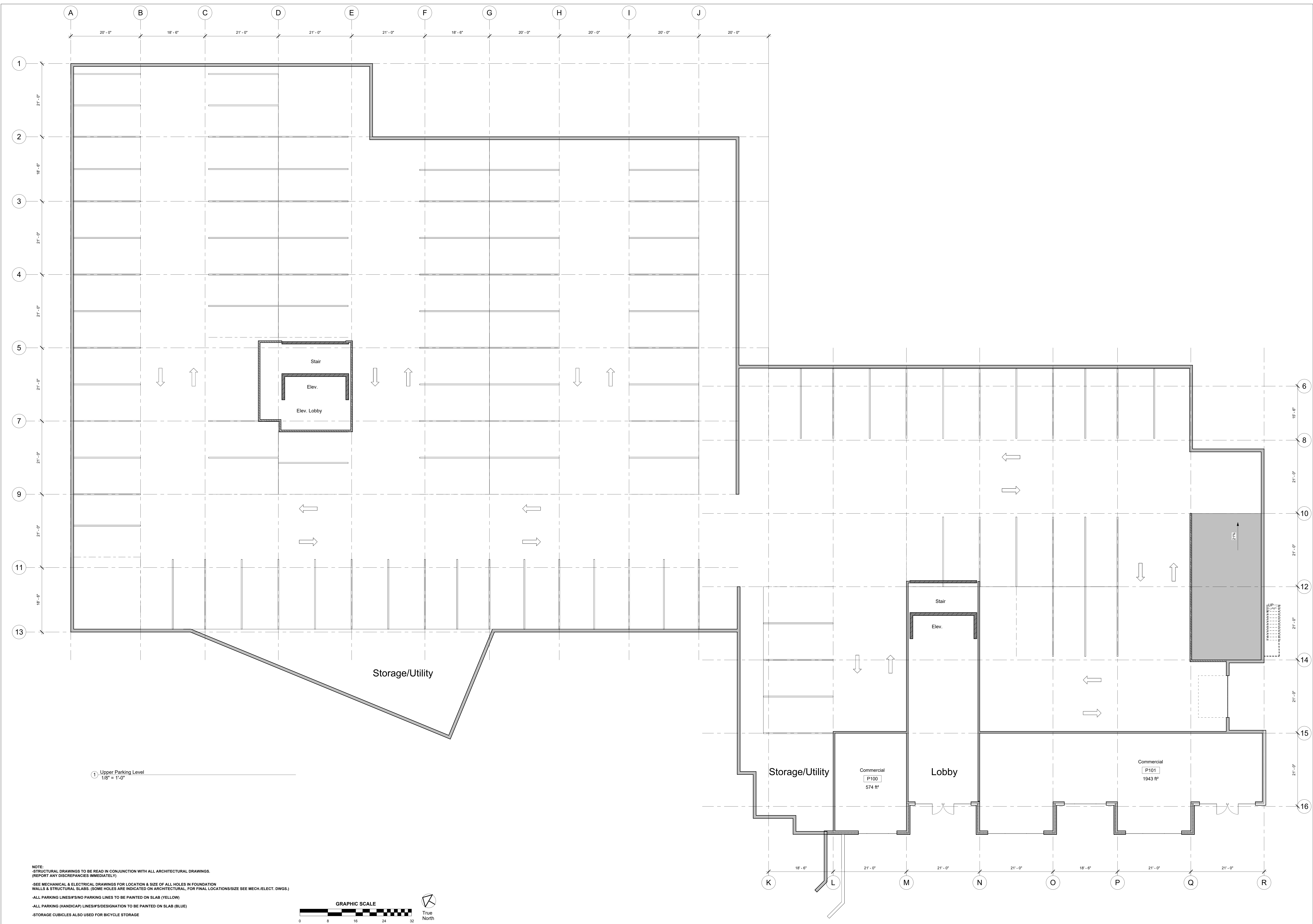
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Lower Parking Garage Plan
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143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

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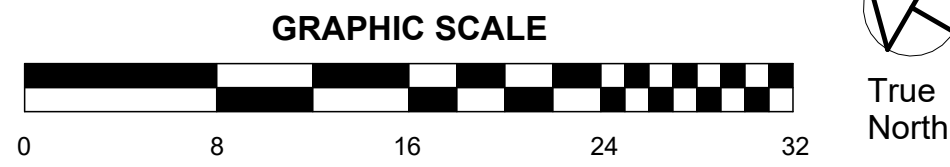
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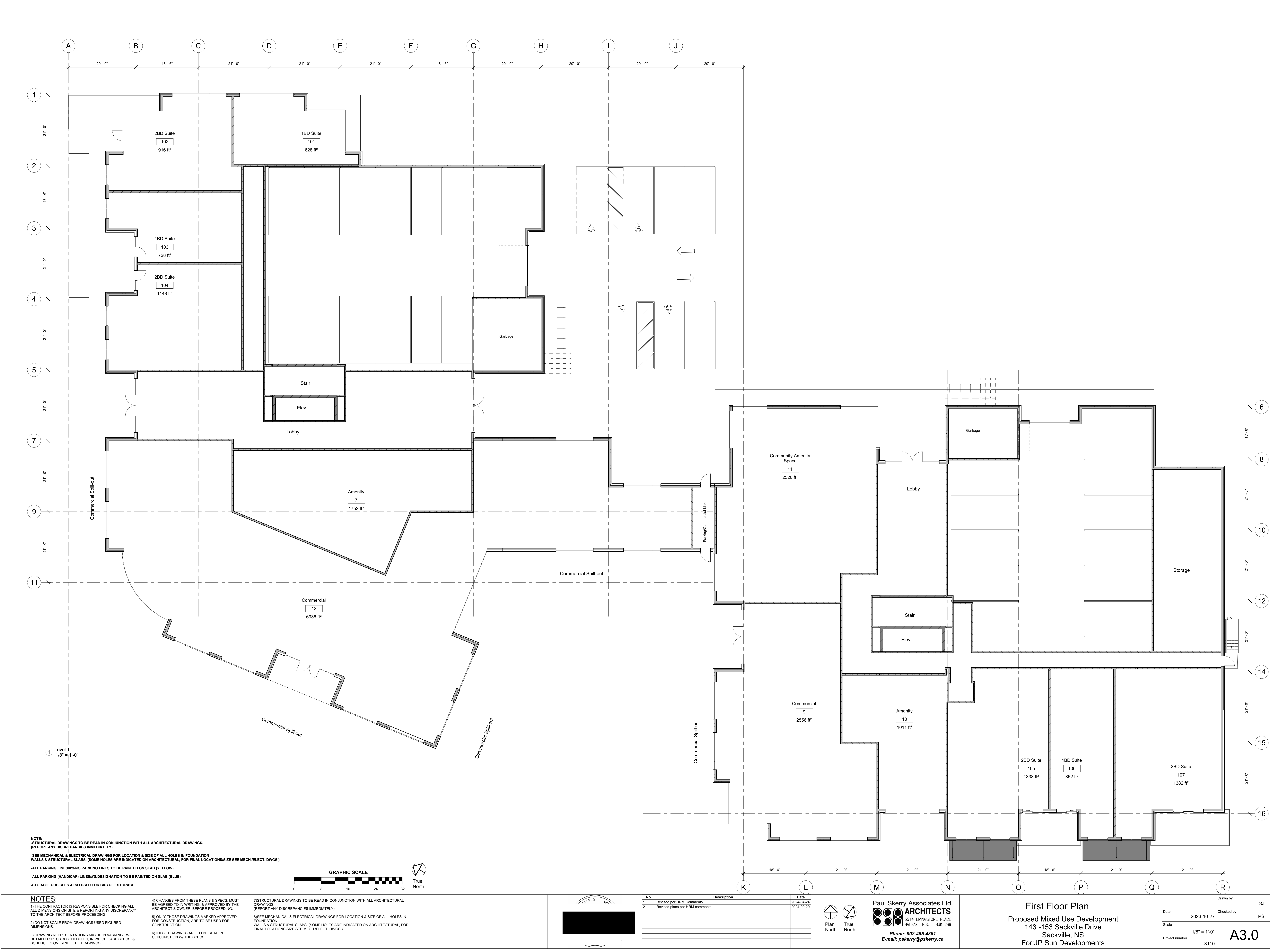
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Upper Parking Garage Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A2.1

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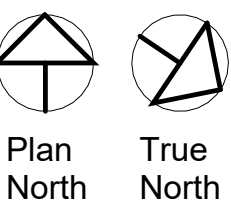
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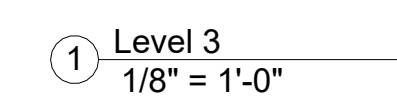
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Phone: 902-455-4361
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First Floor Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments


Date	2023-10-27	Drawn by	GJ
Scale	1/8" = 1'-0"	Checked by	PS
Project number	3110		

A3.0

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GRAPHIC SCALE

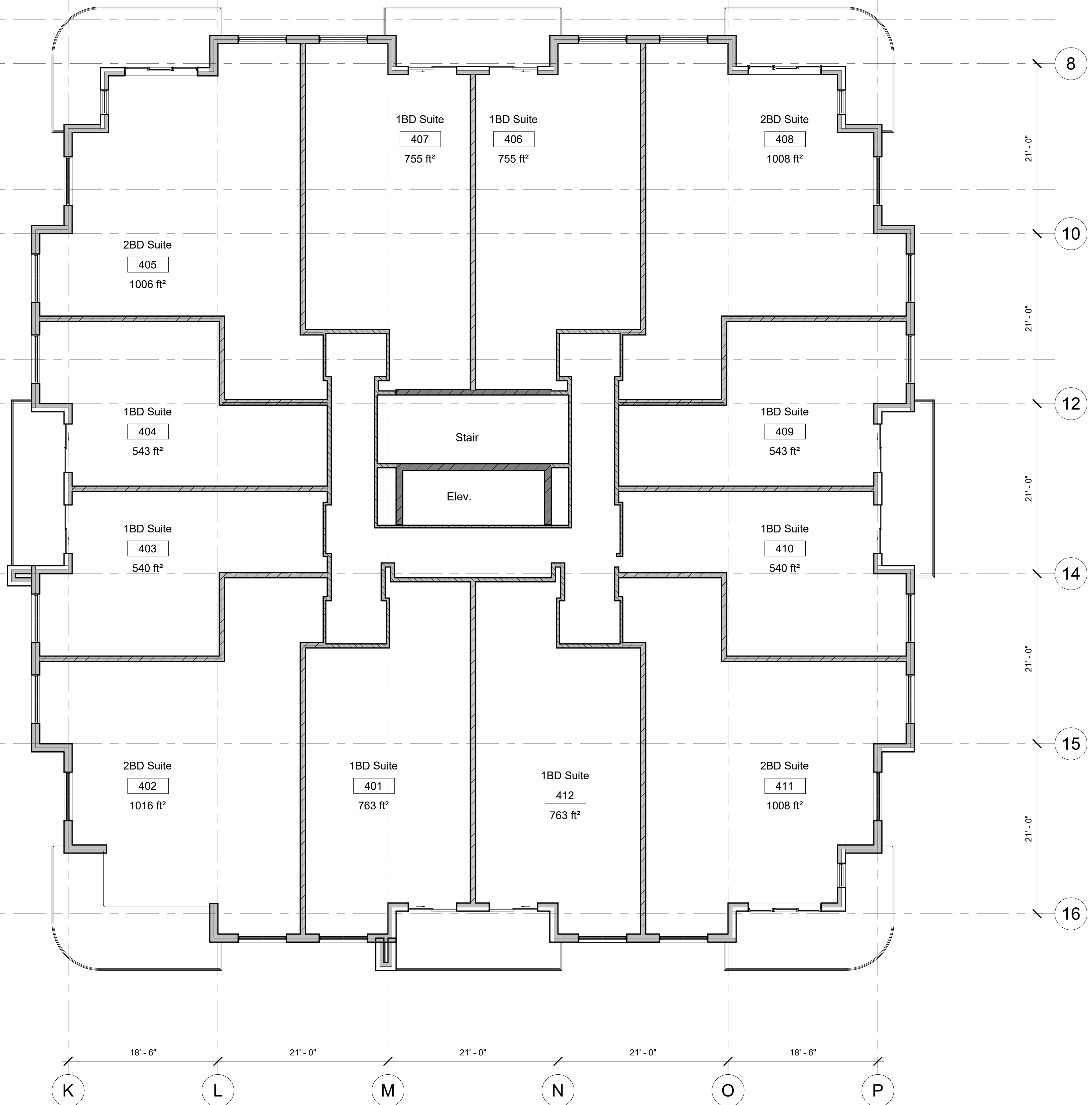
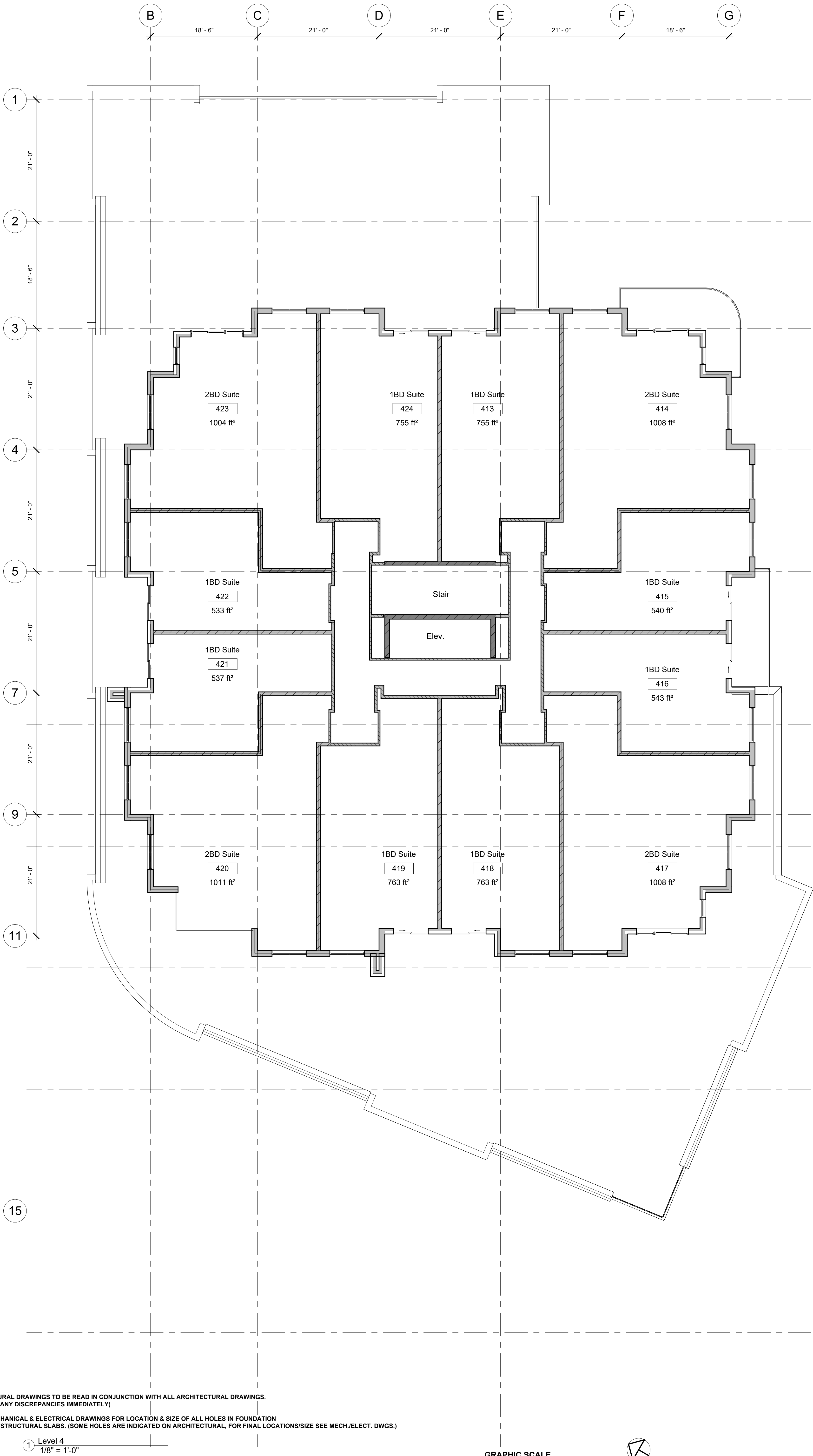


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True North

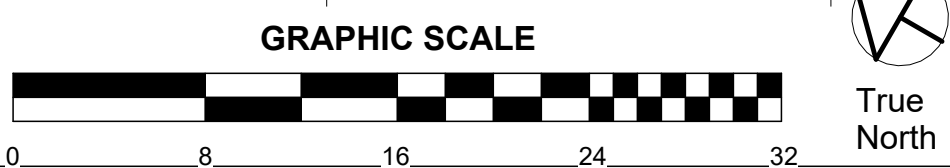


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Project number	3110		



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1) Level 4
1/8" = 1'-0"



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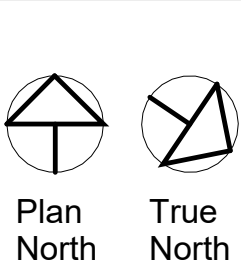
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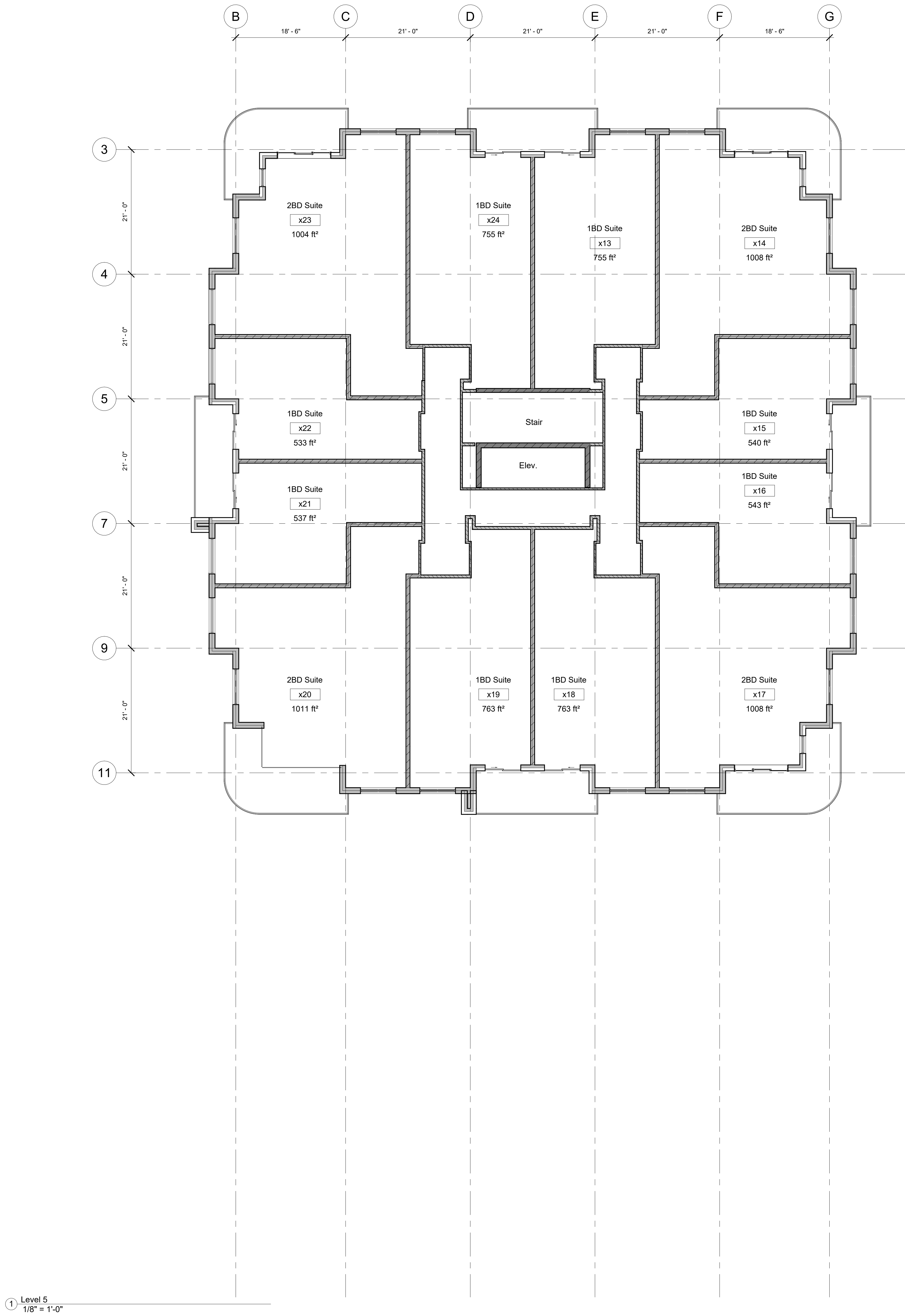
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HALIFAX, N.S. B3K 2B8
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Fourth Floor Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Date	2023-10-27	Checked by	PS
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Project number	3110		

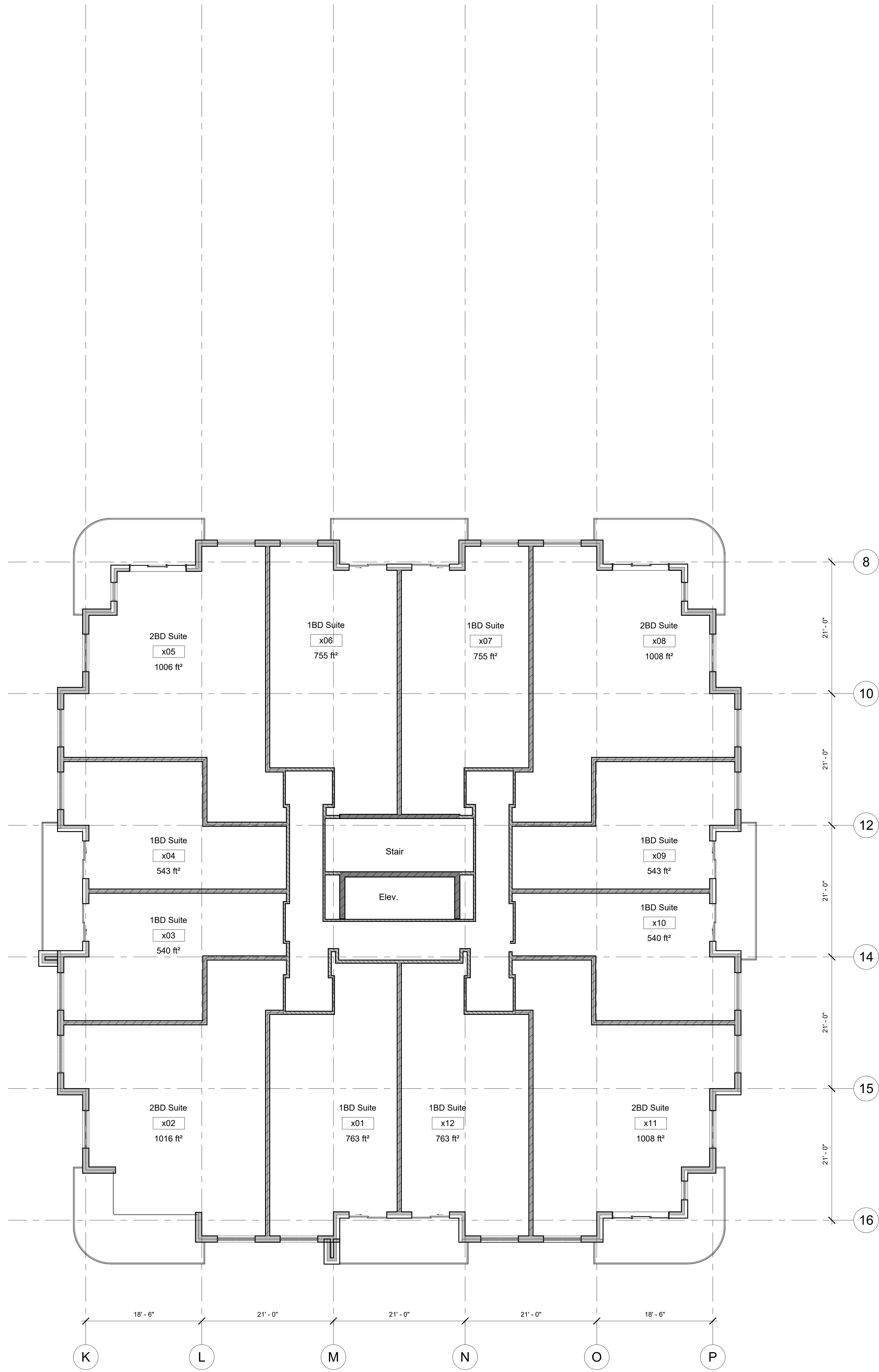
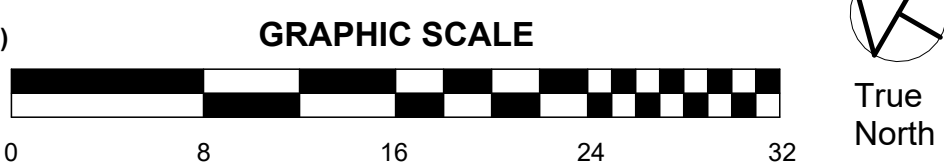
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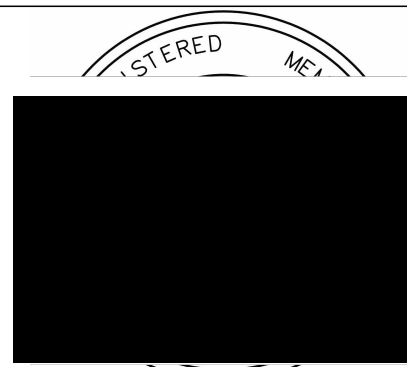
1 Level 5
1/8" = 1'-0"

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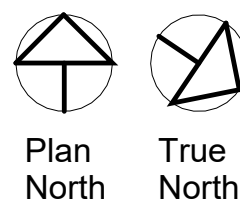


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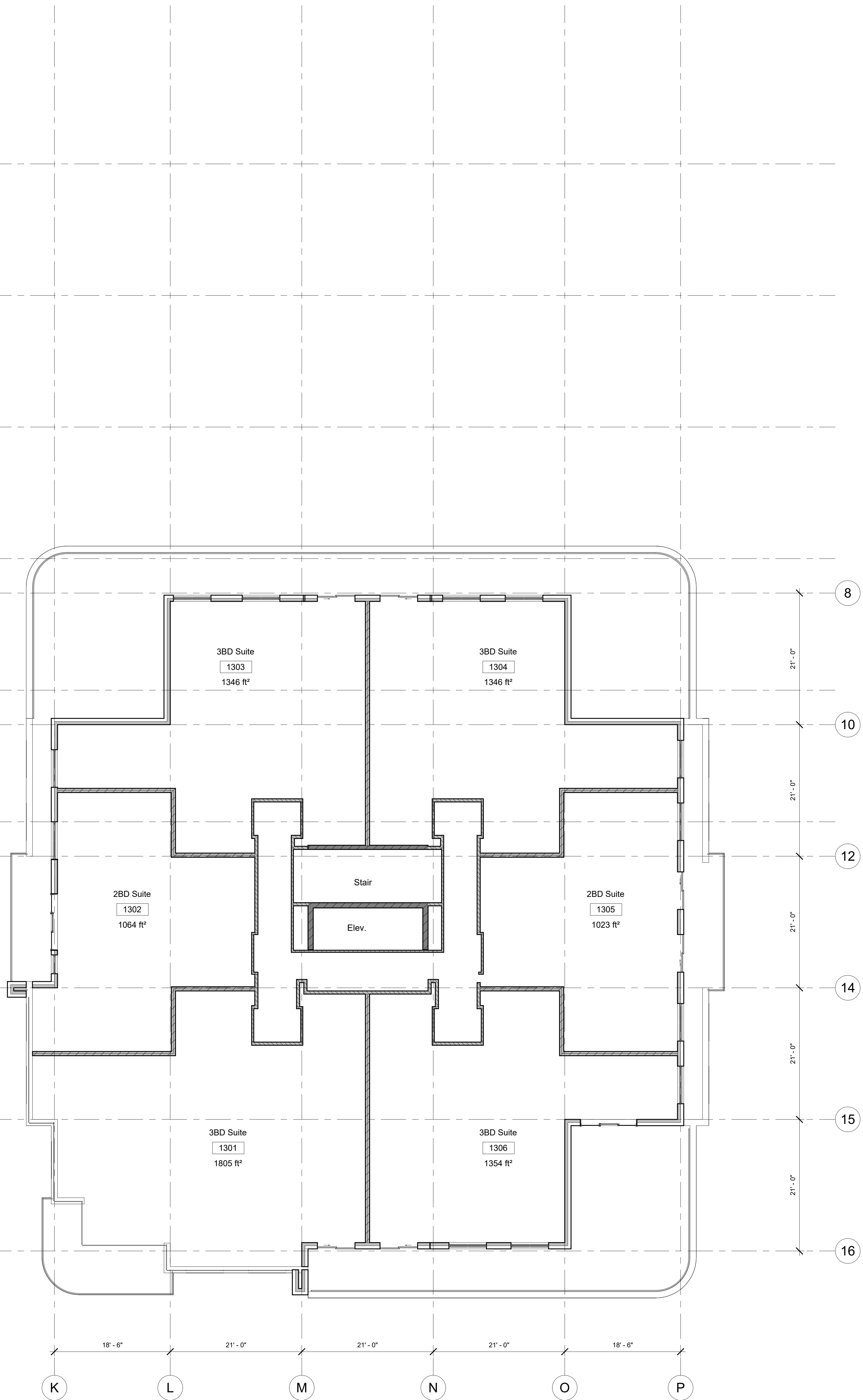
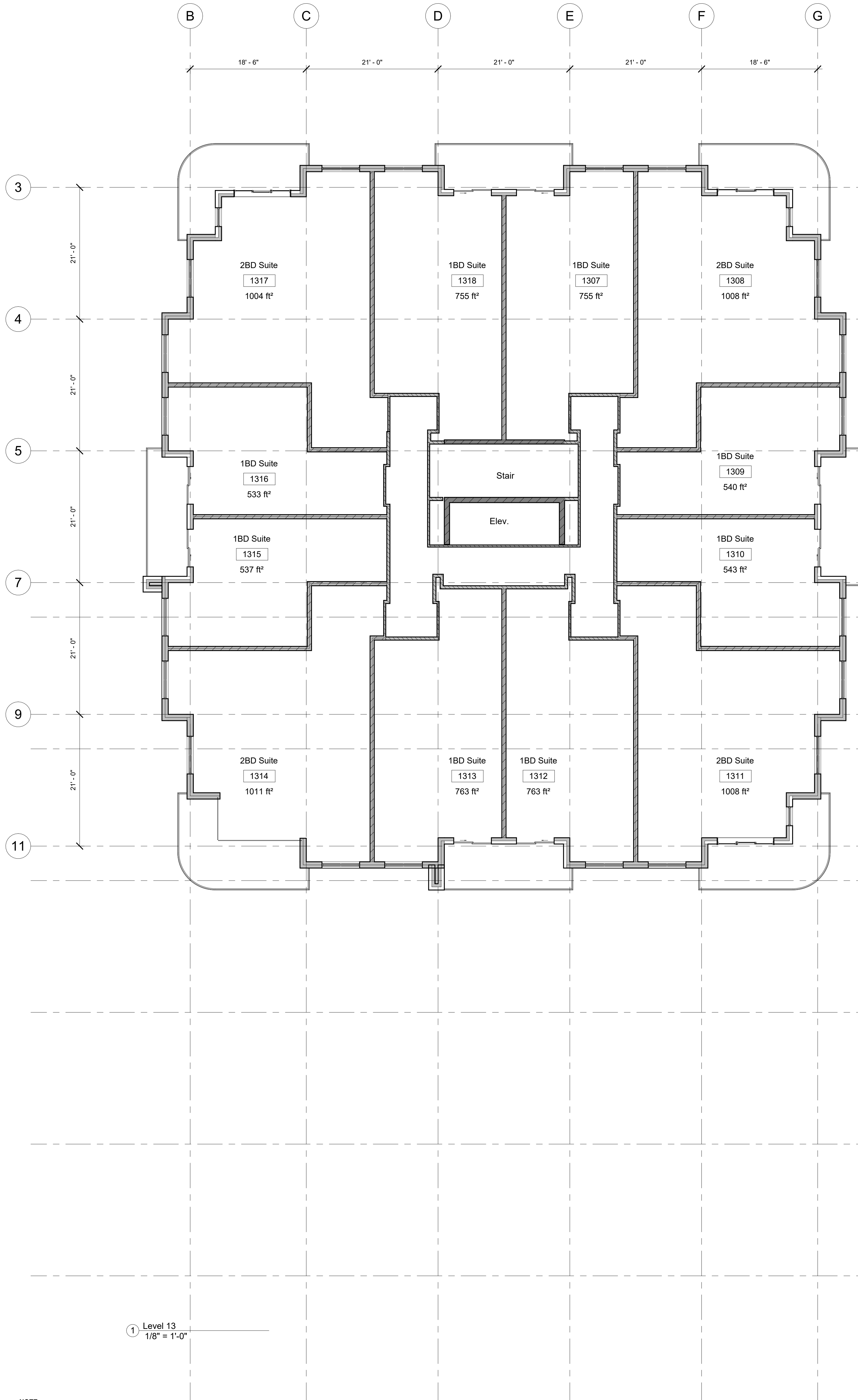
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Phone: 902-455-4361
E-mail: pskerry@pskerry.ca

Typical Tower Plan
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Date	2023-10-27	Drawn by	GJ
Scale	1/8" = 1'-0"	Checked by	PS
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A3.4

2024-09-26 11:50:34 AM

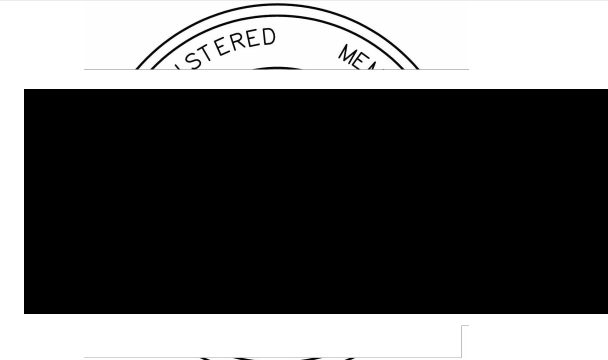


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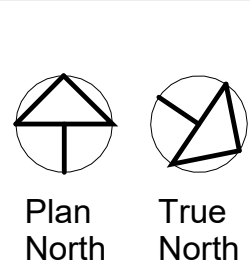
GRAPHIC SCALE
0 8 16 24 32
True North

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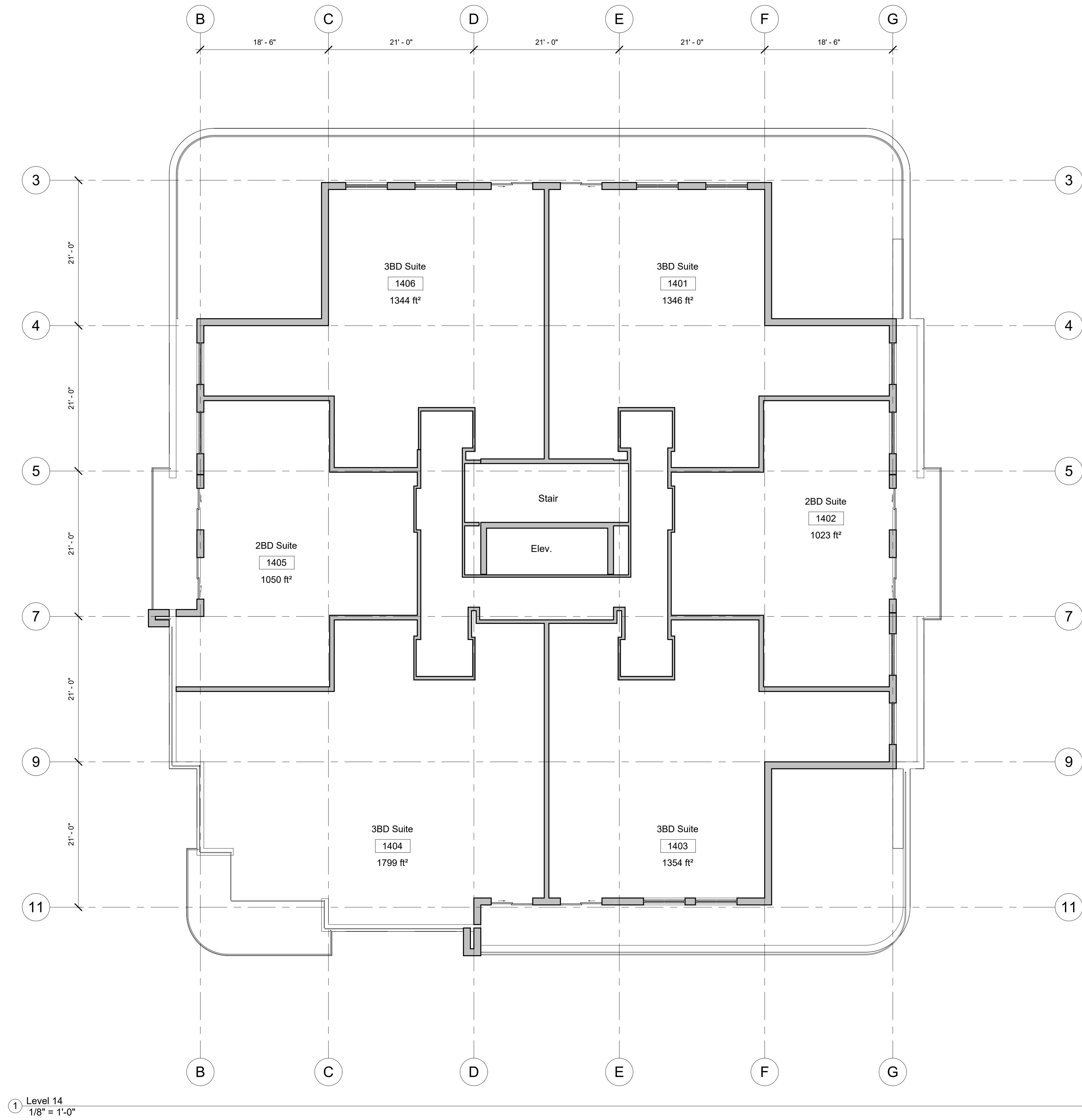
Paul Skerry Associates Ltd.
ARCHITECTS
3514 LIVINGSTONE PLACE
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Phone: 902-455-4361
E-mail: pskerry@pskerry.ca

Thirteenth Floor
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

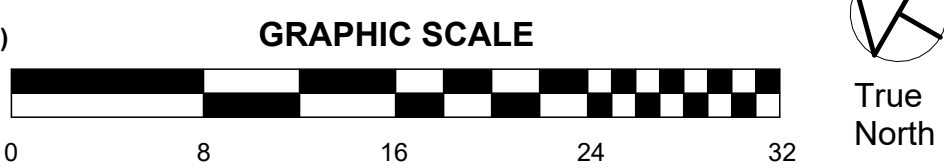
Date	2023-10-27	Drawn by	GJ
Scale	1/8" = 1'-0"	Checked by	PS
Project number	3110		

A3.5

2024-09-26 11:50:35 AM



NOTE:
-STRUCTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS.
(REPORT ANY DISCREPANCIES IMMEDIATELY)
-SEE MECHANICAL & ELECTRICAL DRAWINGS FOR LOCATION & SIZE OF ALL HOLES IN FOUNDATION
WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR FINAL LOCATIONS/SIZE SEE MECH./ELECT. DWGS.)



NOTES:

1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL
ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY
TO THE ARCHITECT BEFORE PROCEEDING.

2) DO NOT SCALE FROM DRAWINGS USED FIGURED
DIMENSIONS.

3) DRAWING REPRESENTATIONS MAYBE IN VARIANCE W/
DETAILED SPECS. & SCHEDULES, IN WHICH CASE SPECS. &
SCHEDULES OVERRIDE THE DRAWINGS.

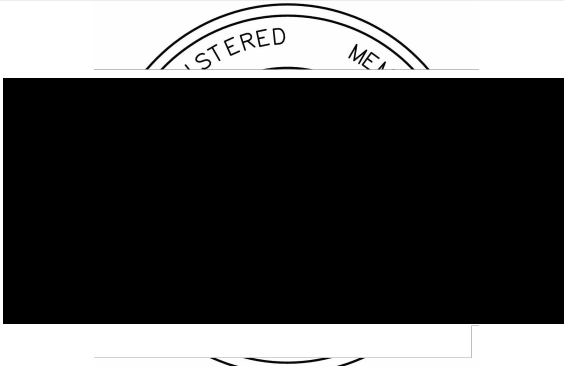
4) CHANGES FROM THESE PLANS & SPECS. MUST
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5) ONLY THOSE DRAWINGS MARKED APPROVED FOR
CONSTRUCTION, ARE TO BE USED FOR
CONSTRUCTION.

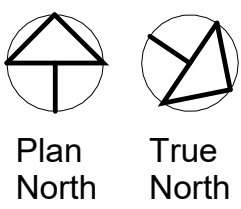
6) THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION W/ THE SPECS.

7) STRUCTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL
DRAWINGS.
(REPORT ANY DISCREPANCIES IMMEDIATELY)

8) SEE MECHANICAL & ELECTRICAL DRAWINGS FOR LOCATION & SIZE OF ALL HOLES IN
FOUNDATION
WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR
FINAL LOCATIONS/SIZE SEE MECH./ELECT. DWGS.)



No.	Description	Date
1	Revised per HRM Comments	2024-04-24



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Fourteenth Floor
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A3.6

Drawn by
GJ

Checked by
PS



Overall South Elevation
1/8" = 1'-0"

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REVISIONS

No.	Description	Date
1	Revised per HRM Comments	2024-04-24
2	Revised plans per HRM comments	2024-09-20

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ARCHITECTS
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E-mail: pskerry@pskerry.ca

Overall South Elevations

Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Drawn by	GJ
Scale	1/8" = 1'-0"	Checked by	PS
Project number	3110		

A4.0

2024-09-26 12:07:44 PM



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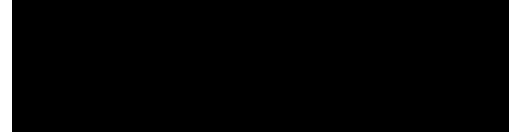
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SEAL



No.	Description	Date
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2	Revised plans per HRM comments	2024-09-20

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HALIFAX, N.S. B3K 2B9
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Overall West Elevation

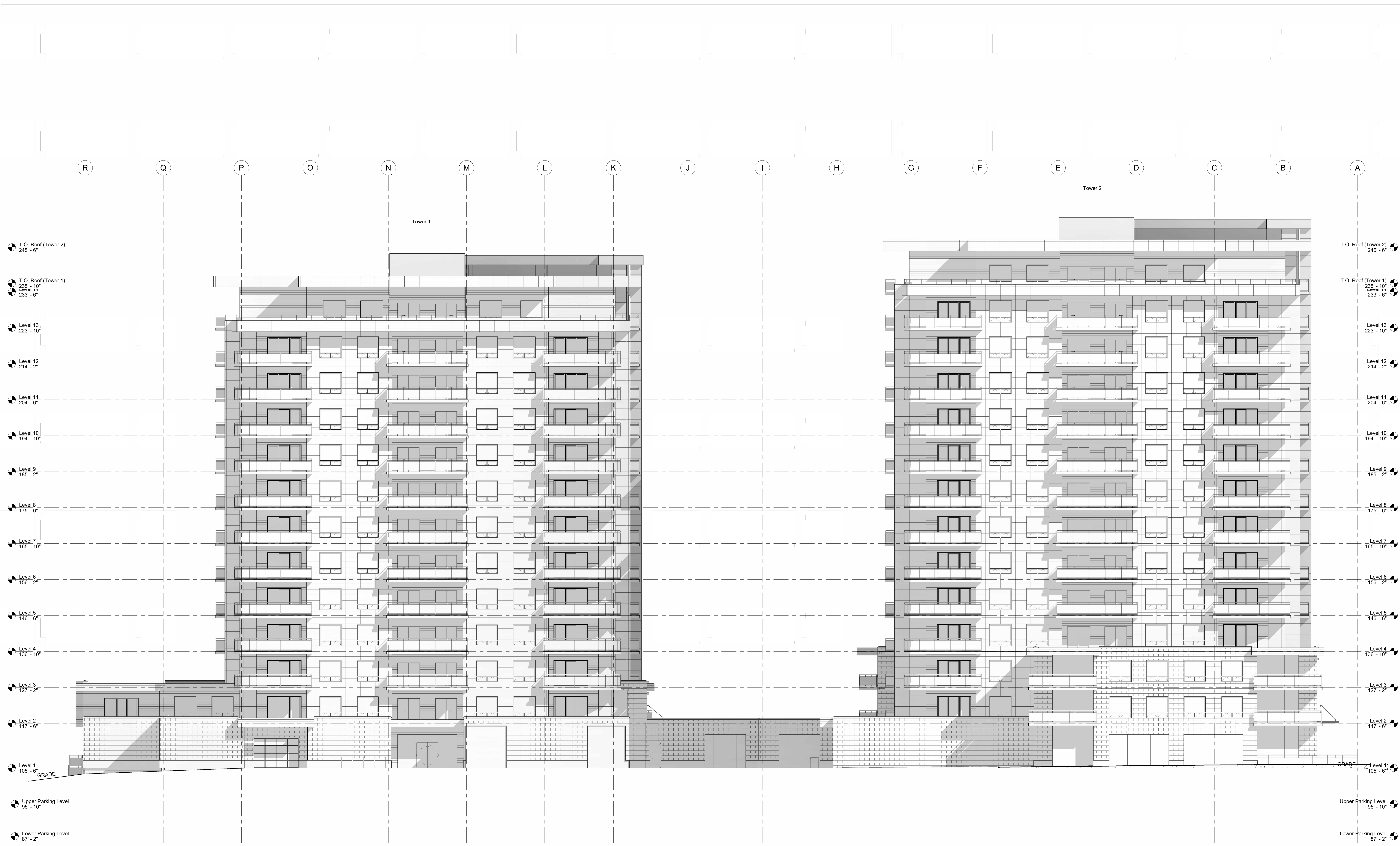
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

Drawn by GJ

A4.1

2024-09-20 12:05:14 PM



① Overall North Elevation
1/8" = 1'-0"

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Overall North Elevation

Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Checked by	PS	Drawn by	GJ
Scale	1/8" = 1'-0"				
Project number	3110				

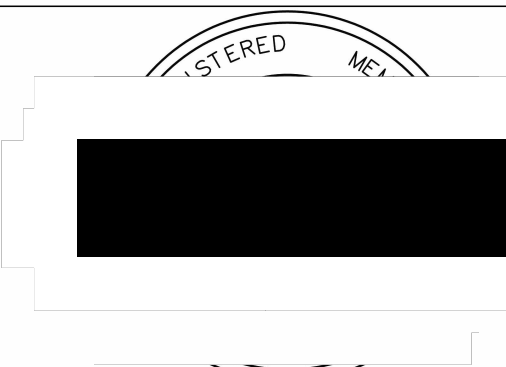
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2024-09-20 12:05:53 PM



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Overall East Elevation
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

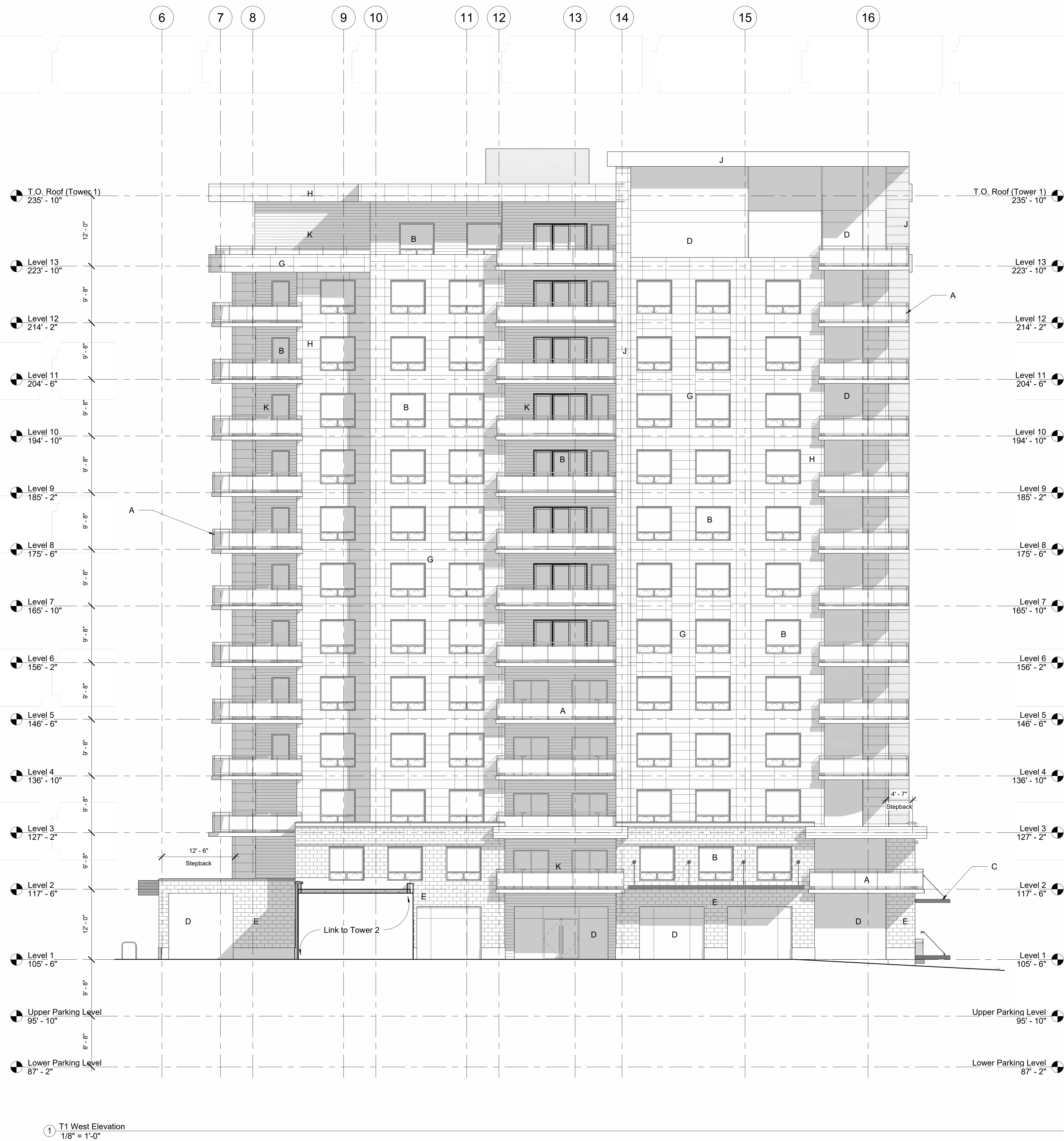
Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A4.3

2024-09-26 12:09:21 PM

-

Legend:
A Aluminum / Glass Railing 42"H.
B Vinyl Door / Window
C Metal Canopy
D Aluminum Glazing System
E Masonry Brick - Type 1
F Masonry Brick - Type 2
G Non-Combustible Panel - Light
H Non-Combustible Panel - Dark
J Non-Combustible Panel - Colour
K Non-Combustible Siding - Type 1



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Phone: 902-455-4361
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Tower 1 West Elevation

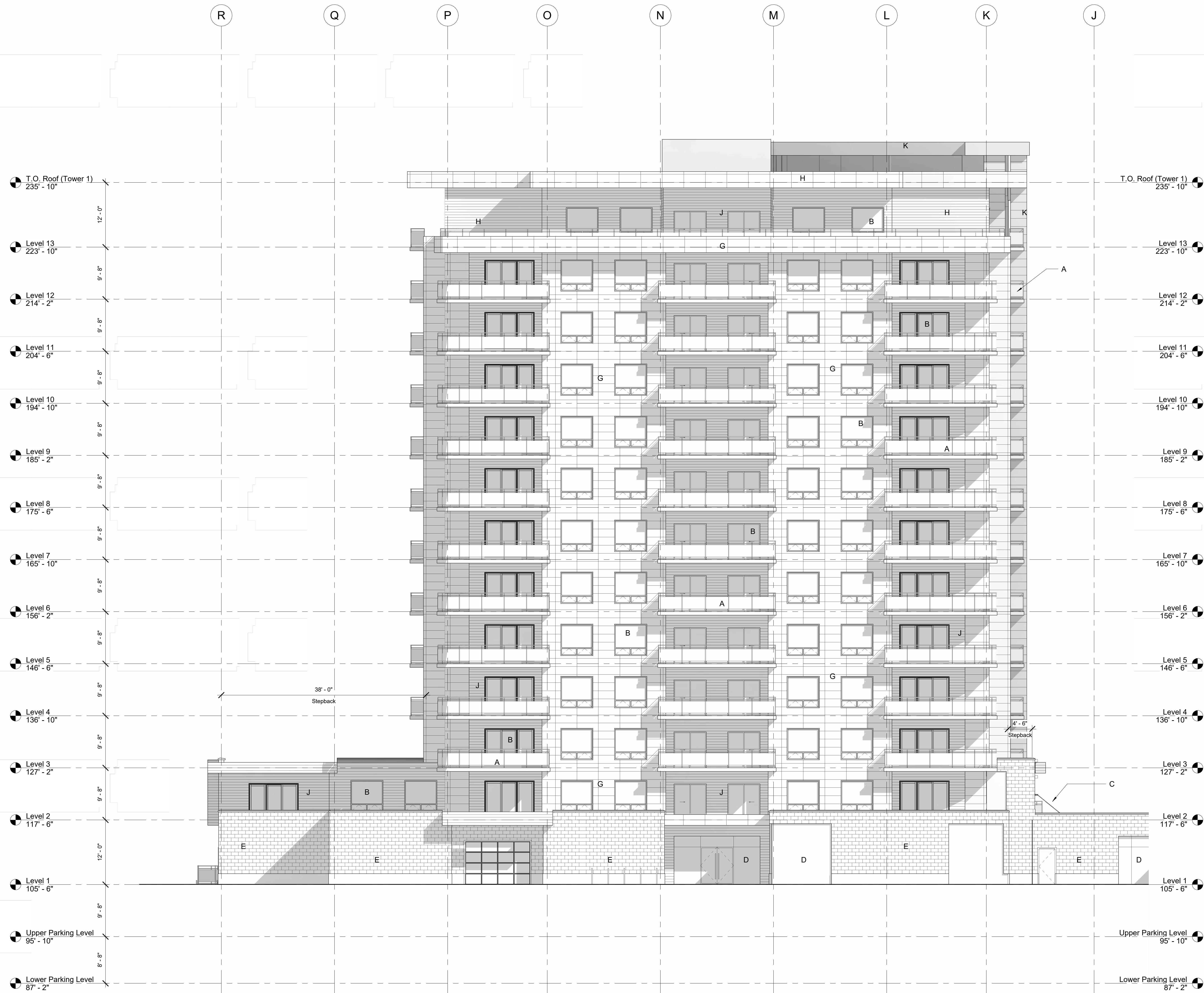
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Checked by	PS	Drawn by	GJ
Scale	1/8" = 1'-0"				
Project number	3110				

A4.5

2024-09-26 12:09:52 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



① T1 North Elevation
1/8" = 1'-0"

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ARCHITECTS
3514 LIVINGSTONE PLACE
HALIFAX, N.S. B3K 2B8
Phone: 902-455-4361
E-mail: pskerry@pskerry.ca

Tower 1 North Elevation

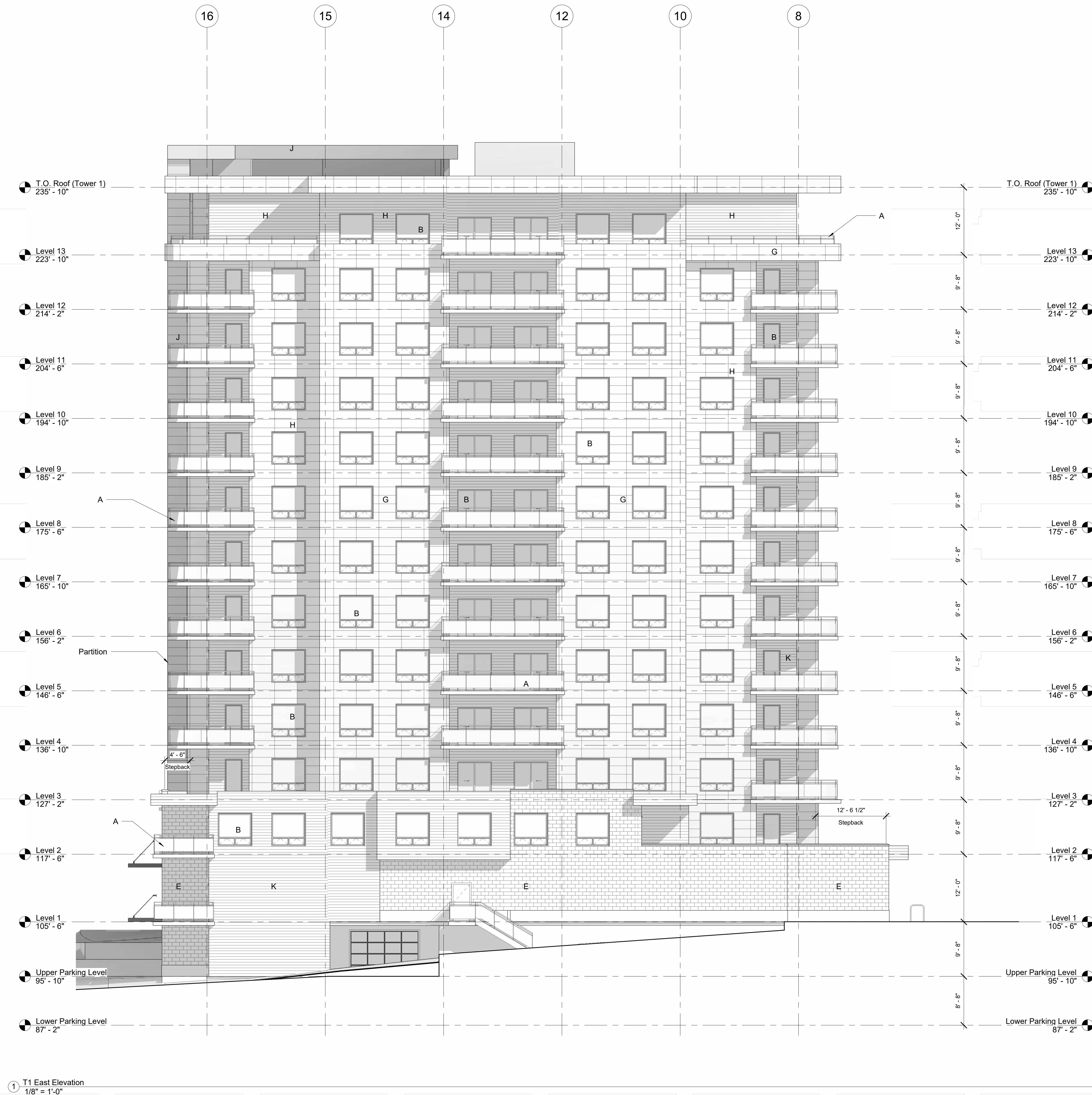
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Checked by	PS	Drawn by	GJ
Scale	1/8" = 1'-0"				
Project number	3110				

A4.6

2024-09-26 12:10:39 PM

Legend:
A Aluminum / Glass Railing 42"H.
B Vinyl Door / Window
C Metal Canopy
D Aluminum Glazing System
E Masonry Brick - Type 1
F Masonry Brick - Type 2
G Non-Combustible Panel - Light
H Non-Combustible Panel - Dark
J Non-Combustible Panel - Colour
K Non-Combustible Siding - Type 1



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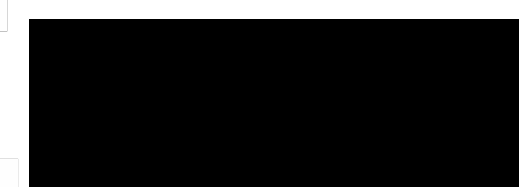
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ARCHITECTS
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HALIFAX, N.S. B3K 2B9
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Tower 1 East Elevation

Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Checked by	PS	Drawn by	GJ
Scale	1/8" = 1'-0"				
Project number	3110				

A4.7

2024-09-26 12:02:38 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



1 T2 South Elevation
1/8" = 1'-0"

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Tower 2 South Elevation

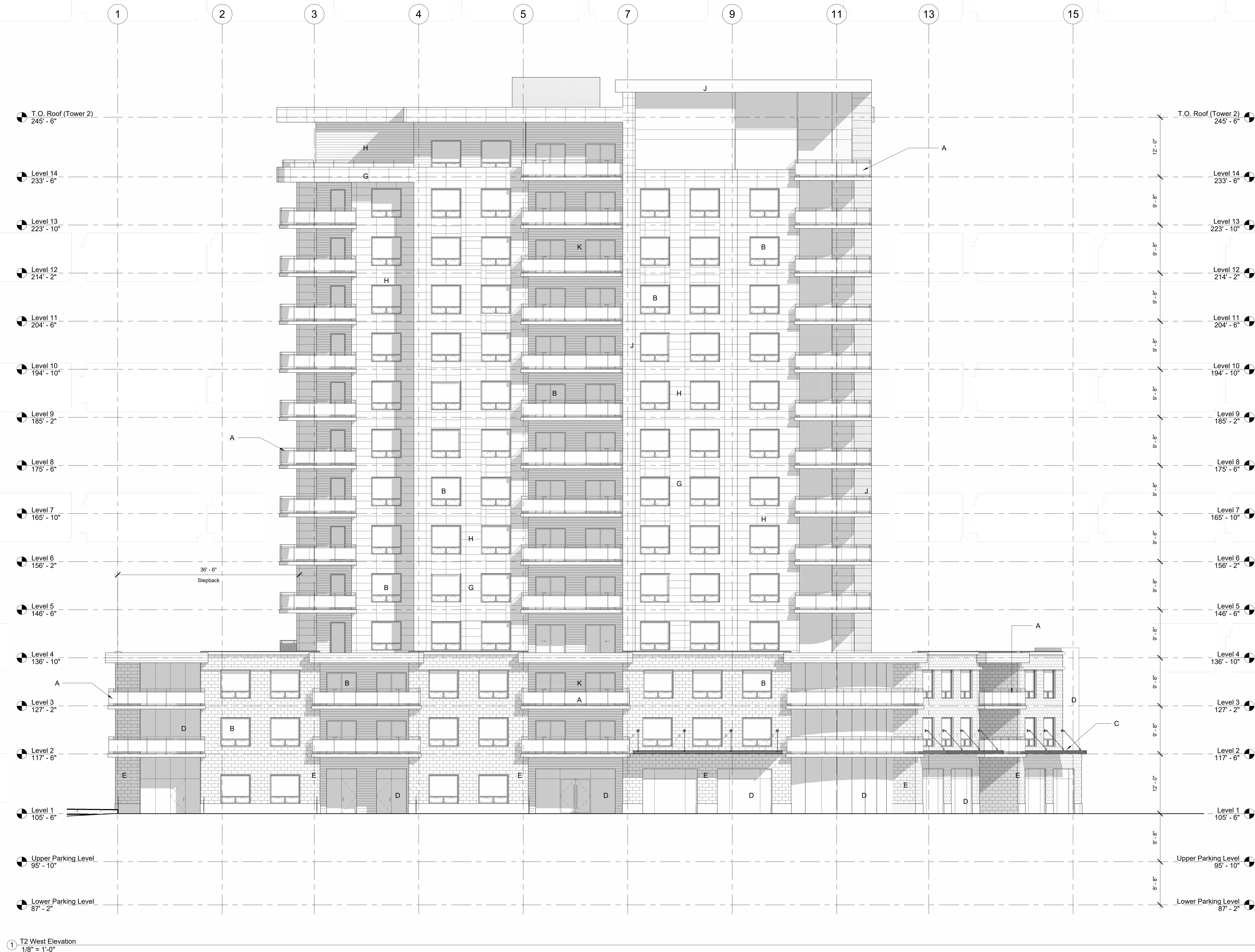
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For: JP Sun Developments

Date	2023-10-27	Checked by	PS
Scale	1/8" = 1'-0"		
Project number	3110		

A4.8

2024-09-26 12:10:38 PM

- Legend:
- A Aluminum / Glass Railing 42"H.
 - B Vinyl Door / Window
 - C Metal Canopy
 - D Aluminum Glazing System
 - E Masonry Brick - Type 1
 - F Masonry Brick - Type 2
 - G Non-Combustible Panel - Light
 - H Non-Combustible Panel - Dark
 - J Non-Combustible Panel - Colour
 - K Non-Combustible Siding - Type 1



1 T2 West Elevation
1/8" = 1'-0"

NOTES:

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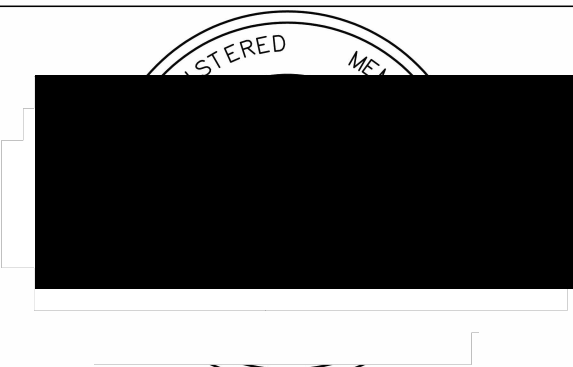
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Tower 2 West Elevation

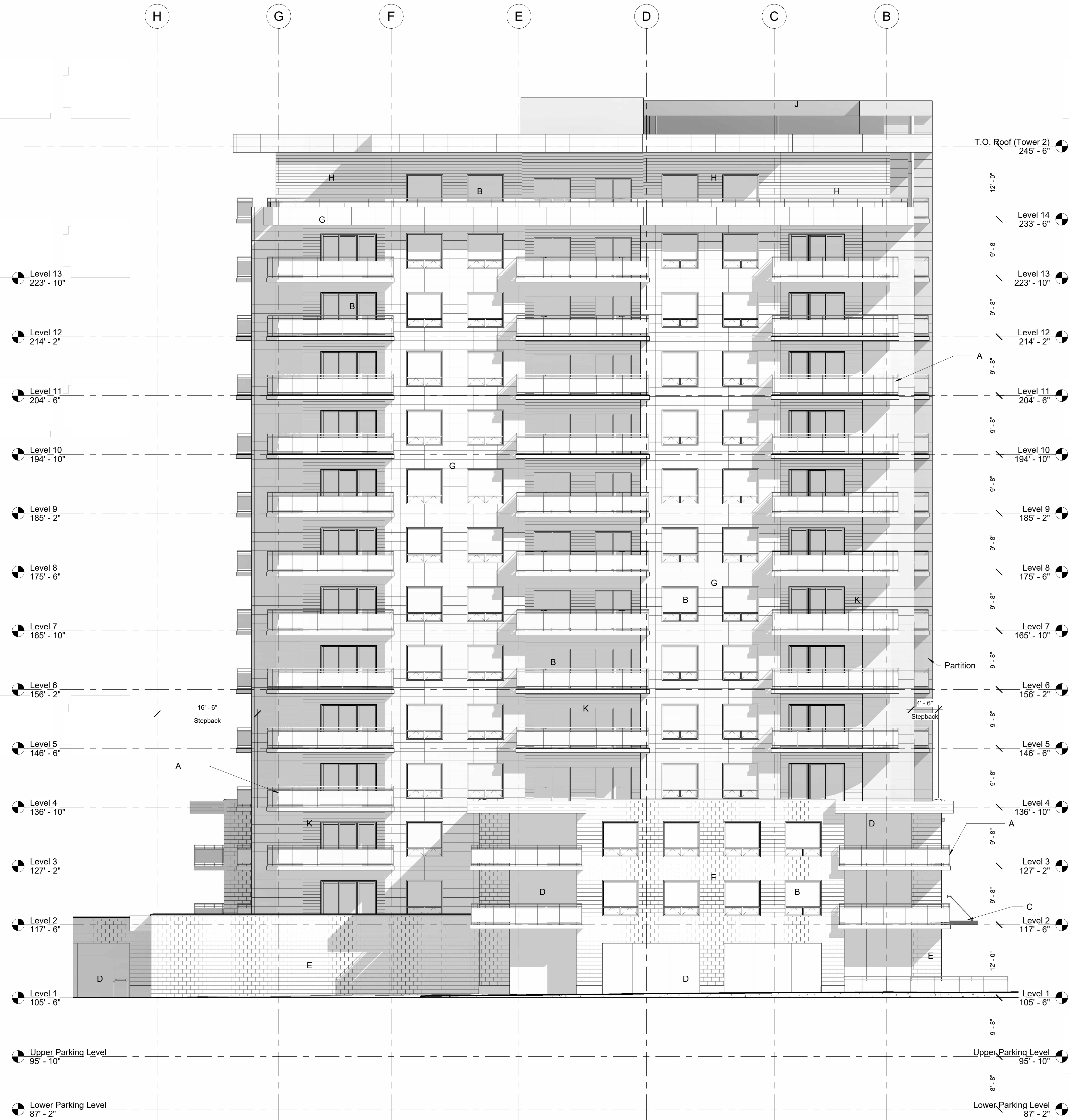
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Drawn by	GJ
Scale	1/8" = 1'-0"	Checked by	PS
Project number	3110		

A4.9

2024-09-20 12:10:54 PM

- Legend:
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① T2 North Elevation
1/8" = 1'-0"

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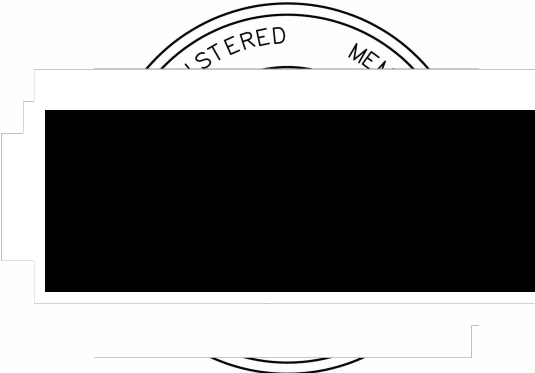
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Tower 2 North Elevation

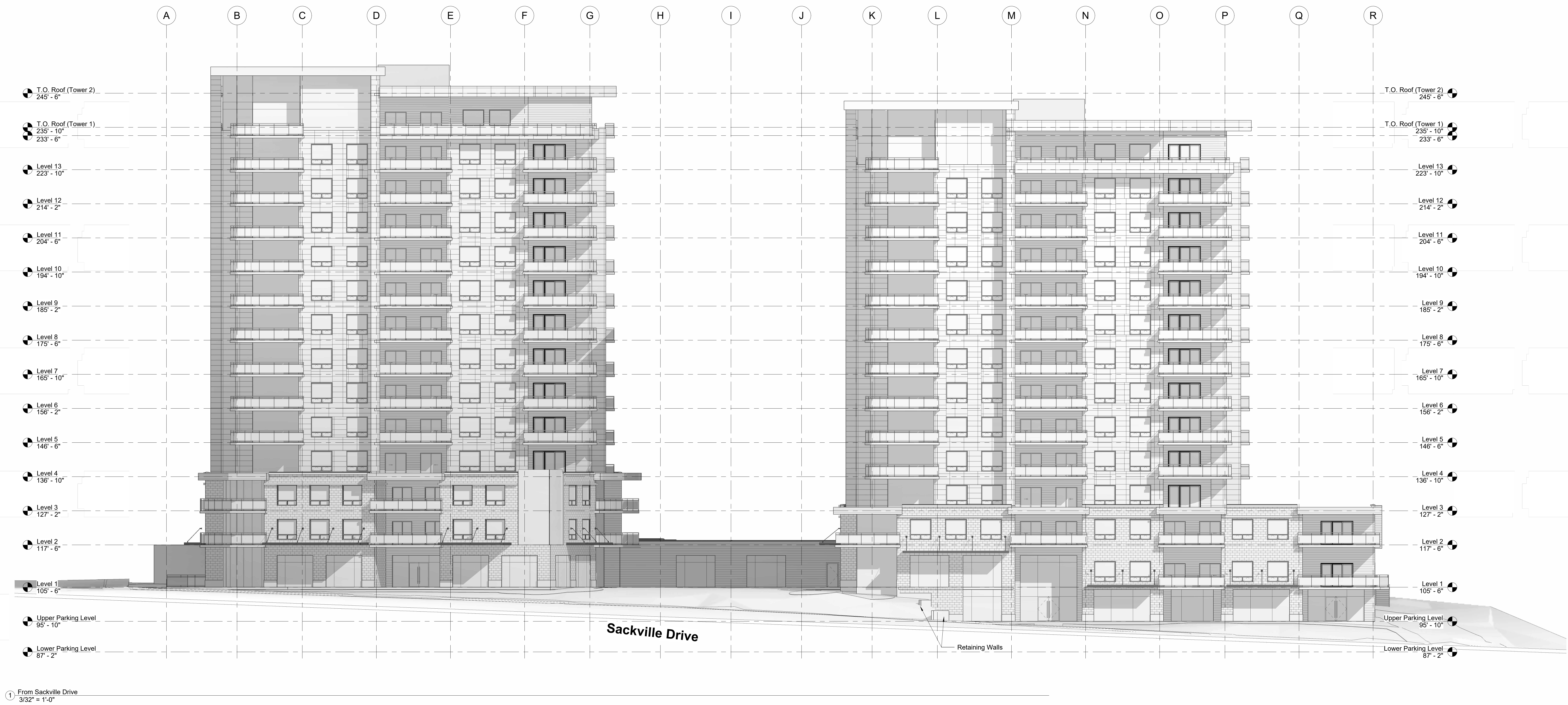
Proposed Mixed Use Development
143 -153 Sackville Drive
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For: JP Sun Developments

Date	2023-10-27	Checked by	PS	Drawn by	GJ
Scale	1/8" = 1'-0"				
Project number	3110				

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-
- T2 East Elevation
1/8" = 1'-0"

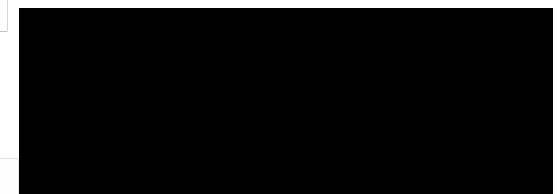


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SECTED



No.	Description	Date
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Phone: 902-455-4361
E-mail: pskerry@pskerry.ca

From Sackville Drive
Proposed Mixed Use Development
143 -153 Sackville Drive
Sackville, NS
For:JP Sun Developments

Date	2023-10-27	Drawn by	GJ
Scale	3/32" = 1'-0"	Checked by	PS
Project number	3110		

A4.12

2024-09-20 12:11:56 PM