

CONSTRUCTION MANAGEMENT PLAN

1190 BARRINGTON STREET MULTI-UNIT BUILDING

Originally Submitted: August 13th, 2019

Updated: 06-July-2023



WSP

1 SPECTACLE LAKE DRIVE
DARTMOUTH, NS, CANADA B3B 1X7

TEL.: +1 902-835-9955

FAX: +1 902-835-1645

wsp.com

wsp



TABLE OF CONTENTS

1.	PROJECT DESCRIPTION.....	1
2.	PROJECT CONTACT INFORMATION.....	2
3.	PROJECT SCHEDULE & LOGISTICS.....	3
3.1	HRM Infrastructure.....	3
3.2	Site Services.....	3
3.3	Demolition/Excavation.....	3
4.	HOURS OF OPERATION.....	4
5.	SITE PLAN.....	5
6.	TRAFFIC CONTROL PLAN (TCP).....	6
6.1	Vehicular Traffic Control.....	6
6.1.1	Parking.....	6
6.2	Pedestrian Management Plan.....	6
6.2.1	Detour Wayfinding.....	7
6.2.2	Visually Impaired.....	7
6.2.3	Accessibility.....	7
7.	HAUL ROUTES AND STAGING AREA.....	8
8.	SITE PROTECTION AND HOARDING.....	9
8.1	Encroachment Area.....	9
8.2	Hoarding Aesthetics.....	9
9.	SIGNAGE DETAILS.....	11
10.	OVERHEAD CRANE.....	12
10.1	Transport Canada and NAV Canada Regulations.....	12
11.	STORMWATER MANAGEMENT PLAN.....	13
12.	NOISE, DUST AND EMISSIONS CONTROLS.....	14
13.	SAFETY PROTOCOLS.....	15
13.1	Site Safety & Security.....	15
13.2	Material Handling, Loading & Unloading, Delivery, and Vehicle Staging.....	15
13.3	Hazard Assessment.....	15
13.4	Streets & Right-Of-Way Cleaning.....	15
14.	PRE-CONSTRUCTION MEETING.....	16
15.	SUMMARY.....	17

APPENDICES

- A ENCROACHMENT PLANS
- B TRAFFIC CONTROL PLANS
- C PEDESTRIAN MANAGEMENT & WAYFINDING



D	SITE PLAN AND SCHEDULE
E	NOTICES AND NOTIFICATION BOARD
F	CONSTRUCTION HOARDING & SIGNAGE
G	HAUL ROUTES
H	TOWER CRANE LOCATION
I	STORMWATER MANAGEMENT PLAN
J	HAZARD ASSESMENT
K	COMMUNITY ENGAGEMENT
L	NAV AND TRANSPORT CANADA
M	DEMOLITION PLAN

1. PROJECT DESCRIPTION

Nelson Investments Limited is proposing to construct a new multi-use building at 1190 Barrington Street, Halifax, NS. The proposed building will consist of nine stories with 85 residential units above ground space retail/commercial, two levels of underground parking, and an amenity space located on the ninth storey. The existing site is currently a four-storey building, that borders South Street, Barrington Street, and Tobin Street.

WSP has been retained by Universal Contracts Limited (General) to develop the Construction Management Plan (CMP) and have worked in conjunction with Frontline Traffic Services in the preparation of all drawings and figures as seen in the CMP. WSP has updated the report to reflect the new timeline and development.

During the demolition of the existing building and construction of the proposed building, it has been recommended in the CMP, that a portion of the sidewalk be hoarded off along Tobin Street, Barrington Street, and South Street. On Tobin Street, the pedestrians will use the sidewalk on the opposite side of the street. On Barrington Street, there will be a 1.5 m walkway starting at the existing curb line. Refer to Appendix A, Encroachment Plans Phase 1 and 2.

There is zero set back from the HRM right-of-way and the construction of the proposed building will encroach onto HRM property. This encroachment will be delineated using Portland Cement Concrete F-Type barriers. As stated in the Nova Scotia Temporary Workplace Traffic Control Manual; "F-Type barriers approved before 2011.01.01 must be constructed and installed, copying a design certified as meeting Test Level 3 of the NCHRP report, or if the design is approved after 2011.01.01, Test Level 3 standards of the American Association of State Highway and Transportation Officials (AASHTO) Manual for Assessing Safety Hardware (MASH). Where applicable, the F-Type barriers will be complete with chain-link fence (min of 2.4 m tall, on all three streets) and covered with Opaque mesh around the proposed encroachment. This will maintain separation between the construction site and pedestrians reducing the risk of potential site hazards to the general public. The encroachment plans will be used for all phases of the project. It will be outside of the vehicular travel way and limit obstructed sight lines. Upon completion of the project, the encroachment area will be reinstated and reopened for public access.

There are existing trees along South Street and Tobin Street in the public right-of-way within the planned encroachment. These trees are to be protected during demolition and construction in accordance with the HRM Tree Bylaw (T-600) and the following requirements, with the exception for one (1) tree on Tobin Street, that will be removed to facilitate construction activities. The value of the tree is \$5800. Universal will install two new street trees per Appendix A, "Tree Installation Standard Detail". The estimated cost of the two trees will be \$550.00 each, the remaining \$4700.00 is to be paid as a permit fee for future tree planning within HRM.

- Trees on South Street will be protected by a chain-link fence (min. height of 2.4m) that will surround the trees from the back of curb to the edge of the property line as shown in Encroachment Phase 1 & 2 (Appendix A).
- Tree protection fencing is to remain in place for the duration of the project and is to be maintained in reasonable condition.

The CMP will be kept onsite at all times during construction. If the project changes ownership or contracting services throughout the project, HRM will be notified, and the new parties must agree to comply with the CMP in writing. If for any reason changes are required to the CMP during the construction, HRM shall be notified immediately.

The CMP was developed without a final contractor being selected to complete the construction of this building. This CMP must be reviewed and accepted by the successful contractor including any required amendments to suit the contractors detailed construction plan.

2. PROJECT CONTACT INFORMATION

Project team contact information is provided in the table below:

Developer

Nelson Investments Limited
1190 Barrington Street
PO BOX 384
Halifax, Nova Scotia B3J 2P8

Contractor/General

Universal Contracts Limited
1190 Barrington Street
PO BOX 384
Halifax, Nova Scotia
B3J 2P8

Architect

Kassner Goodspeed Architects Limited
Suite 200, 5663 Cornwallis Street
Halifax, Nova Scotia
B3K 1B6

Emergency Contact

At this time, the point of contact is designated as:

Project Manager: Pam Priest; Universal Contracts Limited.

Cell: (902) 430-6721

3. PROJECT SCHEDULE & LOGISTICS

Refer to Appendix D for the Project Schedule. The project schedule is established with a start date of 15-Apr-2023. Phase 1 of the proposed schedule will require the establishment of Encroachment Phase 1 and Phase 2 of the schedule will require the set up of Encroachment Phase 2. The encroachment setups are outlined in Appendix A.

3.1 HRM INFRASTRUCTURE

Any damage to HRM infrastructure will be reinstated to HRM standards at the expense of the property owner or party who caused the damage. Pre-construction photographs will be taken by the Owner and/or Contractor to establish the existing conditions at the start of construction. It is expected that no damage to existing infrastructure outside the encroachment area will occur. The area around the perimeter of the building site within the encroachment will be replaced as part of construction. This includes a minimum width of 450mm of asphalt (outside of existing gutter line), existing curb and sidewalk.

3.2 SITE SERVICES

The proposed building will require the installation of new sanitary, storm and water laterals, and the capping of existing services at the main lines. Directional closures on Barrington Street are expected to be limited to weekend work only. The altered centerline setup on Barrington Street is permitted during off peak hours. During installation, temporary workplace signage will be in place (refer to Appendix B). The street cut shall not be left open, and the contractor will reinstate the street as quickly as possible to minimize disruptions to the public per HRM reinstatement specifications for dealing with areas outside the proposed encroachment plan. The reinstatement will be temporary if reinstated after October 31st or prior to May 1st.

3.3 DEMOLITION/EXCAVATION

Construction will require demolition of the existing building and the removal of common site material. Bedrock will be encountered while excavating for the substructure. The contractor will use methods of rock breaking and/or drilling and blasting. If the contractor decides to blast, a blasting permit is required. For blasting, relevant HRM by-laws and conditions must be followed.

The shoring protection that will be used for the demolition and excavation stages of the project will include steel soldier piles embedded approximately 3.0 m into rock, wooden lagging anchor bolts, tie backs, and rock anchors where required. All exposed faces will be covered using chain-link mesh. The depth of excavation is approximately 6.1 m below Barrington Street (east side).

Refer to Appendix M for the Demolition Plan.

4. HOURS OF OPERATION

In accordance with HRM Noise By- Law N-200, work will generally proceed within the normal construction hours during the week, and depending on weather and coordination of trades, work may occur in the early evenings or weekends. Hours of working are regulated through the times noted below:

- Monday – Friday: 7:00 am - 9:30 pm
- Saturdays: 8:00 am - 7:00 pm
- Sunday – Statutory holidays: 9:00 am - 7:00 pm

Note: The installation and decommissioning of service laterals will correspond with non-peak hours and weekend work as stated in section 3.2 of the CMP.

5. SITE PLAN

Refer to Appendix D.

6. TRAFFIC CONTROL PLAN (TCP)

Prior to any construction activity on site, temporary workplace traffic control devices and signage will be erected in accordance with the latest NSTIR Temporary Workplace Traffic Control Manual and HRM Traffic Control Manual Supplement.

All Traffic Control Plans (TCP) must be in accordance with the 2018 Temporary Workplace Traffic Control Manual (NSTWTM) Standards. If new standards are promulgated, then the new standards will apply.

TCP and Signage as shown in Appendices A & B are the primary traffic control setups that are anticipated during the demolition and construction of 1190 Barrington. It is expected that modifications to the proposed TCPs and alternative TCPs will be required. The contractor is responsible to review the site, finalize all traffic control plans, and have all new and or modified TCPs approved by HRM prior to commencing construction activities.

Traffic Control Contact:

General Manager
Frontline Traffic Services
P.O Box 89
Eastern Passage, NS
Canada B3G 1M7
Cell: 902-818-5548

6.1 VEHICULAR TRAFFIC CONTROL

The proposed encroachments will limit the impact to two-way traffic on adjacent streets around the site, except for Tobin Street which will be reduced to one lane. The periods where traffic control will be required are: during lateral service installments /decommissioning's, tower crane mobilization/ demobilization, concrete pumping and material deliveries. The tower crane activities will require Tobin Street to be temporarily closed. Concrete pumping/material deliveries will require one lane to be active. Traffic Control Plans for each of the scenarios listed are outlined in Appendix B.

Notifications will be distributed among properties surrounding the construction site when traffic disruptions are required (See Appendix E). The site shall always provide access for emergency vehicles.

6.1.1 PARKING

For the duration of the project, a total of fifteen parking spots have been removed. This includes ten on Barrington Street, two on South Street and three on Tobin Street. These spots have been removed to help facilitate traffic flow around the site and maintain minimum lane widths around the proposed encroachments. Detailed parking and signage plans for each phase are outlined in Appendix A.

To mitigate the effects of the removed parking spots, site workers are expected to carpool to the project site and if applicable, use the Metro Transit. Once the substructure is completed, the site workers will have access to the parkade. The surrounding area has been reviewed and due to the density and number of apartment buildings, there are very limited opportunities to replace the fifteen on-street parking spots that have been removed.

6.2 PEDESTRIAN MANAGEMENT PLAN

A Pedestrian Management Plan (PMP) has been prepared and is provided in Appendix C.

6.2.1 DETOUR WAYFINDING

Throughout all phases of construction, pedestrian detour wayfinding signage will be present on site to notify pedestrians of closed sidewalks and alternate routes. At a minimum, these will be placed at the corners of Queen Street and Tobin/South Street, and at the corner of Green Street and Barrington Street. No bus terminals or local business's will be affected with the encroachment plan. Please refer to Appendix C for pedestrian detour way finding signage and locations.

6.2.2 VISUALLY IMPAIRED

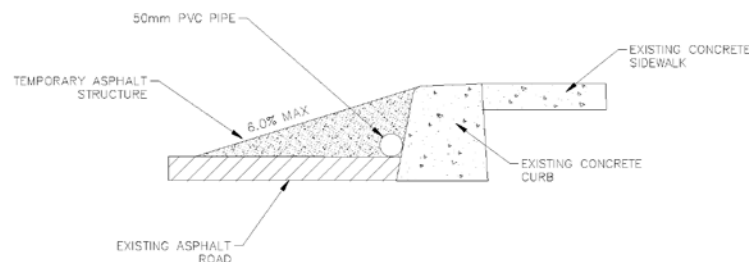
In accordance to HRM By-Law A-501, warning signage alone is insufficient to protect all pedestrians. Other physical indicators will be necessary to allow for proper navigation around the construction site.

The contractor will need to incorporate devices that help pedestrians navigate safely and provide a clear path of travel which is free of obstacles and surface irregularities. This will include the use of contrasting colours and textures to ensure all persons can easily navigate around the site easily and safely.

To identify termination points of sidewalks, sawhorse barricades will be installed with reflective tape and a bright orange color for the materials. If overhanging branches/bushes interfere with the sightline of pedestrians, they shall be trimmed immediately by a qualified arborist. Reflective tape will be placed on the ends of hoarding, concrete F-Type barriers and fences indicating the construction site and any disruptions.

6.2.3 ACCESSIBILITY

Public pedestrian routes will be designed and maintained to ensure comfort and safety for all persons. All pedestrian walkways will be free of obstacles; traffic signal support, posts, overhanging signs, branches, snow/debris and of temporary objects. The contractor will implement curb ramps (if necessary, see diagram below), wherever there is a difference in elevations. High visibility signage will be used to navigate around all blocked sidewalks.



Typical Curb Ramp Detail

7. HAUL ROUTES AND STAGING AREA

The Truck Haul Route Plan has been prepared and can be found in Appendix G. The routes chosen are intended to minimize traffic congestion and ensure that truck routes are used. The inbound haul route is from South Street to Queen Street to Tobin Street. The outbound route is from Tobin Street, a right onto Barrington Street, a left onto Hollis Street, then to Marginal Road.

The staging area will be on Tobin Street. This will occur within the encroachment setups; therefore, the queuing of vehicles on street is not acceptable as shown in Appendix A.

8. SITE PROTECTION AND HOARDING

8.1 ENCROACHMENT AREA

The encroachment area bordering South Street and Barrington Street will use concrete F-Type barriers complete with chain-link fence. To protect the trees on South Street, a tree protection zone from the back of curb to the edge of property line has been incorporated as shown on the encroachment plans. It is expected that the use of shoring will be required for the removal/construction of the retaining walls in this area to adequately protect the trees from damage during construction. To maintain pedestrian protection and accommodate a travel path, a 1.5 m walkway will be placed on Barrington Street, where the barrier that is nearest to existing streets is concrete F-Type and the barrier towards the construction site will include F-Type barriers complete with chain-link fencing and opaque mesh (See Appendix F). Tobin Street and South Street will not have a walkway for pedestrians. This section of the sidewalk will be permanently closed to pedestrians for the duration of the project.

There will be three encroachment area setups for the different phases of the project. The encroachment set ups will be bordered with concrete F-Type barriers and where applicable will be complete with chain-link fence and opaque mesh.

Installation of the fencing and concrete F-Type barriers will follow the working hours regulated through the HRM Noise By-Law. This work can begin once the pre-construction meeting with HRM has been held and authorization to proceed is issued.

The encroachment area on South Street will not be used for long term material storage. Heavy machinery will not be permitted in the encroachment on South Street, unless previously approved by HRM and Urban Forestry. HRM and Urban Forestry retain the right to limit the activity within the South Street encroachment area that may impact the existing trees.

Phase 1 consists of the demolition work on the exterior of the building and requires the encroachment areas on South Street and Barrington Street. The encroachment is necessary to provide a safe distance for pedestrians during the removal process. This encroachment phase is anticipated to last for approximately two (2) months.

Phase 2 has the same encroachment dimensions on South Street and Barrington Street but also includes the staging area on Tobin Street. Work to be completed during this phase includes exterior cladding, brickwork, formwork, staging, etc. The staging area will provide an entry point for concrete delivery as shown by the Concrete Pumper Plan in Appendix B. It will also provide site access for other trucks/deliveries. This encroachment phase is anticipated to last for approximately seventeen (17) months.

Phase 3 still includes the staging area on Tobin Street but eliminates the encroachment areas on South Street and Barrington Street. This phase consists of the interior work on the building which will still require encroachment on Tobin Street to maintain access to the staging area that will be required for truck access and material loading/unloading. This encroachment phase is anticipated to last for approximately six (6) months.

The encroachment plans can be found in Appendix A.

8.2 HOARDING AESTHETICS

The fencing on Barrington Street, the lower corner of South Street and Tobin Street, will have a rendering of the proposed building with a project description, timelines, and contact information. An example project board can be seen in Appendix E.

On Tobin Street where the sidewalk will be closed, there will be chain-link fencing (2.4m tall) set up that will be used as a gate for the exit/entrance to the site.

As seen in Appendix A, the site will be enclosed with concrete F-Type barriers complete with chain-link fence and mesh (min 2.4m tall). The fence will be connected to the concrete F-Type barriers using steel plates that are anchored to the barriers. Refer to Appendix F for the details.

Examples of the hoarding aesthetics can be seen in Appendix F. These beautifications will be installed while the concrete F-Type barriers and fencing are being installed.

8.3 TREE PROTECTION

Trees to be protected during construction per HRM Tree Protection standards. See Appendix A for Tree Protection Zone and Barrier Details. Tree protection fencing to stay in place for the duration of Encroachment Phase 1 and 2 and to only be removed when all work is completed in the area. HRM Urban Forestry is to be notified prior to any excavation work on the South Street side of the property, adjacent to the trees. During excavation, if roots are encountered, excavation will be halted and HRM Urban Forestry is contacted to provide instruction on how to proceed.

9. SIGNAGE DETAILS

To help mitigate public concern, the Owner will have signage erected on the property facing Barrington Street, South Street and Tobin Street. The signage will include the following information:

- Project Description
- Project Timelines
- Developer Contact Information
- Project Manager Contact Information

The signage will be placed on site after a permit has been issued or a minimum of 10 days before construction begins. This will allow the public has adequate time to adjust their travel patterns and usage of the streets.

Project Information Board and Safety Signage locations can be seen on the plans for Encroachment Phase 1 & 2, Appendix A.

10. OVERHEAD CRANE

This project will require a tower crane to be stationed within the project site as shown in Appendix H. For all crane operations, the tower crane must follow the provisions in By-Law A-501. The crane operator will obtain approvals prior to extending the crane over neighboring parties and streets. The approximate location of the tower crane is:

Latitude: N44°38'22.86"

Longitude: W63°34'13.69"

Temporary mobile canes will be required periodically to erect and dismantle the tower crane, and for lifting of materials when the tower crane is not available or no longer on site. Temporary street and/or sidewalk closures may be required as shown in Appendix B. The contractor will coordinate these closures or detours with HRM and surrounding communities.

10.1 TRANSPORT CANADA AND NAV CANADA REGULATIONS

Refer to Appendix L for the approved Transport and Nav Canada forms.

11. STORMWATER MANAGEMENT PLAN

WSP has prepared a stormwater management plan for the proposed building (1190 Barrington Street). See attached plan in Appendix I.

During construction, nearby catch basins will require filter fabric coverings or silt socks to prevent debris from entering the storm system. Filter fabric prevention will be maintained throughout construction by the contractor. Site entrance and exits will have construction entrances designed to mitigate debris leaving the site.

12. NOISE, DUST AND EMISSIONS CONTROLS

The construction site will adhere to the HRM Noise By-Law including holiday and weekend restrictions.

To minimize the debris migration onto streets, there will be rumble strips (construction entrances) placed for all truck traffic moving off and onto the site. The chain-link fencing with opaque mesh will provide an additional barrier to any airborne dust from the site. As the building levels are constructed, cleaning and sweeping will be done to reduce any debris and dust. Throughout the project life, when necessary, street cleaning will take place around the site, minimizing street debris/dust. This will include Tobin Street, Barrington Street, South Street and all other adjacent streets as required.

Vehicle staging shall be queued such that vehicles are not allowed to idle outside of designated loading and unloading zones or the active work area for more than 25 minutes.

13. SAFETY PROTOCOLS

13.1 SITE SAFETY & SECURITY

To ensure site safety and security, below are safety protocols that need to be followed.

- The contractor will adhere to all Federal and Provincial Occupational Health & Safety requirements.
 - Workers are required to have proper certification and safety training.
 - Job-site suitable Personal Protective Equipment (PPE) will be required for all personnel.
 - Gates will be locked to provide security against public access during off work hours.
 - Exterior fencing will be clearly marked “No Trespassing – Construction Personnel Only”, and PPE requirements clearly marked (e.g., “Hard Hats and Safety Footwear Must Be Worn Beyond This Point”).
 - Emergency contact information will be posted as per Project Information Board.
 - Contractor/Owner will conduct regular inspections of hoarding for general condition, in addition, a scheduled inspection procedure will be in place
 - Signage will be placed for warning of hazards that may exist, outside of the project site.
-

13.2 MATERIAL HANDLING, LOADING & UNLOADING, DELIVERY, AND VEHICLE STAGING

For materials delivered to site, loaded and unloaded, or handled and stored on site, the contractor will have storage/laydown areas that will be located with-in the encroachment. In Appendix A, Encroachment Phase 2 shows the staging areas for deliveries. Delivery times will avoid peak traffic hours. This will help mitigate congestion in the area. Queuing of vehicles on the street shall not be allowed.

13.3 HAZARD ASSESSMENT

A project risk hazard assessment is provided in Appendix J. This covers vehicular and pedestrian hazards (access to the site, as well as through traffic on the streets impacted by the construction project). All personnel on-site will be required to review this list. Appendix J outlines is a daily inspection checklist/maintenance log that will be used onsite.

13.4 STREETS & RIGHT-OF-WAY CLEANING

The Owner/Developer is responsible for removing snow buildup on the outside of the concrete F-Type barriers surrounding the project site. A sweeper truck shall be required to sweep adjacent streets periodically throughout the project life to mitigate dust and debris.

14. PRE-CONSTRUCTION MEETING

Universal is committed to positive public engagement regarding the design and construction process. As a result, Universal has held an initial community consultation meeting with the affected residents, building managers, building owners, and HRM staff. This meeting took place in January 2019, at the Universal office located at 1190 Barrington Street. The Community Consultation Notice as well as the meeting minutes from the meeting minutes from the consultation meeting can be seen in Appendix K.

In addition to the community consultation, Universal will hold a pre-construction meeting a minimum of 10 days prior to the start of any construction activity. Invitees will include the Owner, Developer, Contractor, Traffic Control Company, Utilities, and HRM.

15. SUMMARY

The Construction Management Plan is a combination of diagrams, drawings, documents, and specifications that define the steps that will be taken to demonstrate how the impacts to the community will be minimized and how the impacts associated with any construction project will be managed. This plan will be used as a minimum standard throughout the project and any further safety protection necessary to mitigate negative effects will be used through the construction period.

Please contact WSP should you have any further questions/comments regarding the CMP.

APPENDIX

A

ENCROACHMENT PLANS



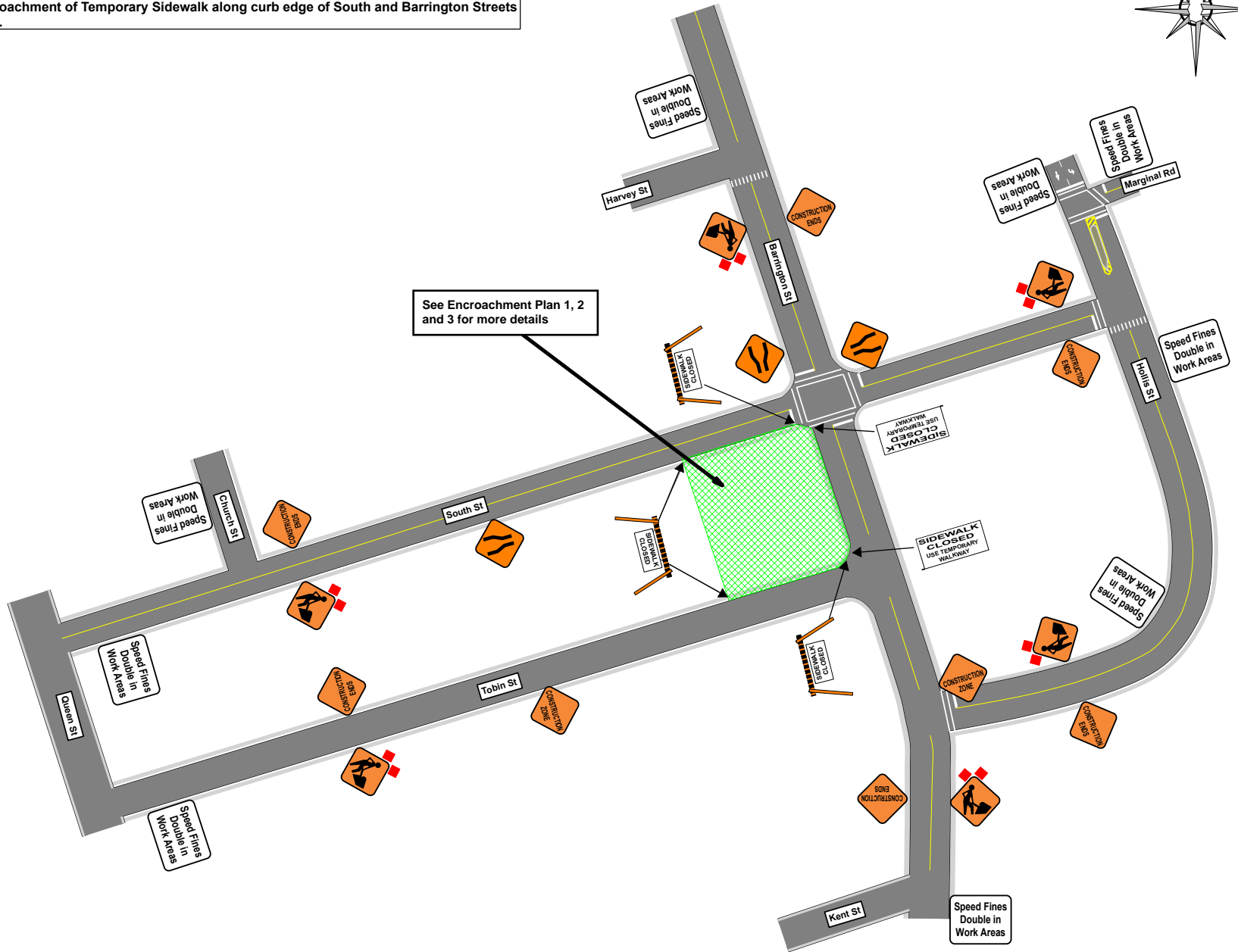
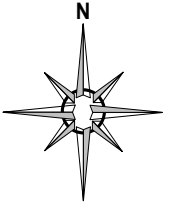
Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

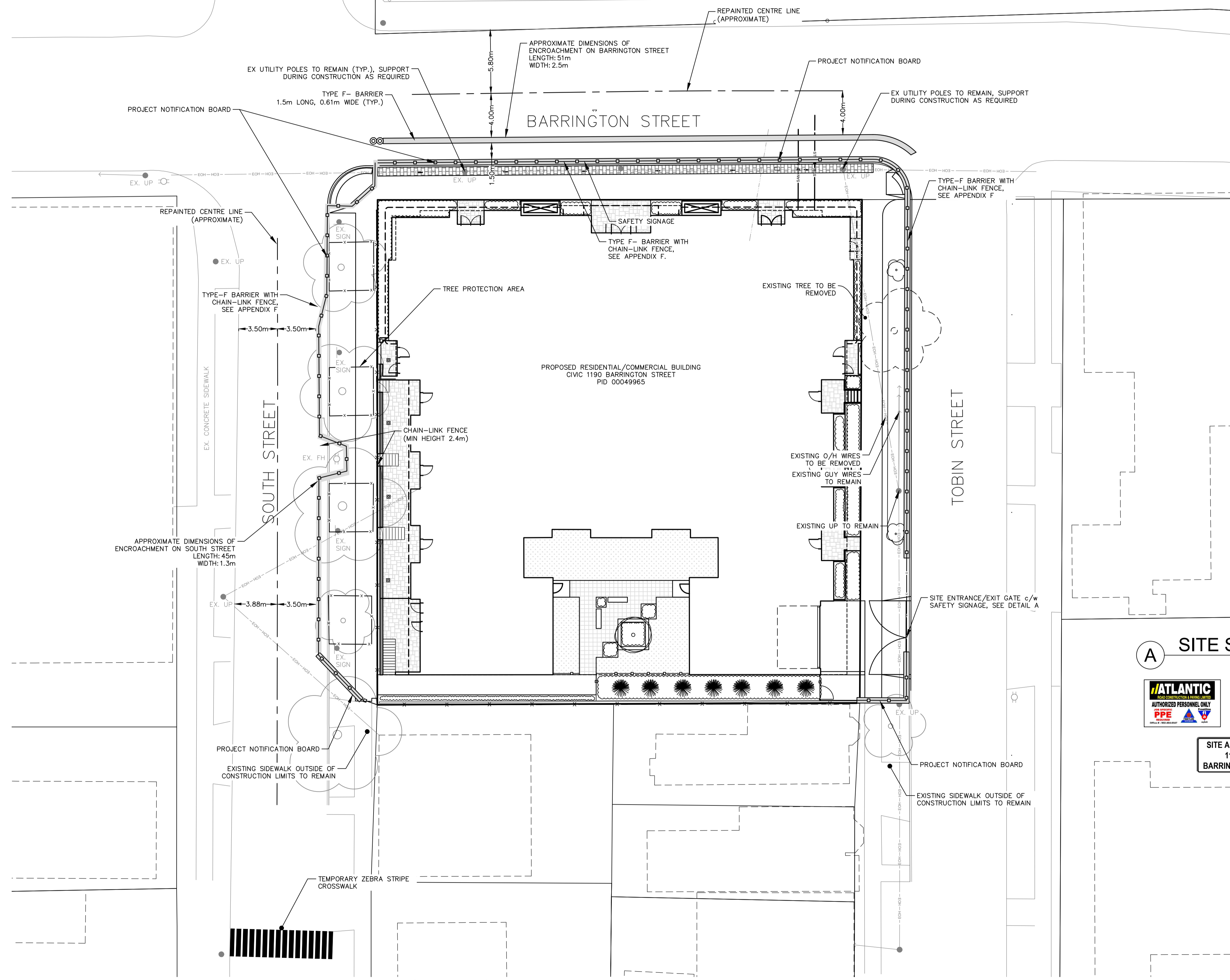
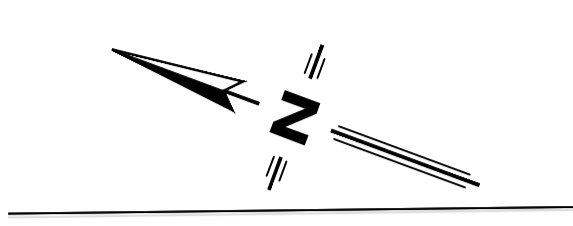
Comments:
Not to Scale
Plan shows signage for encroachment of Temporary Sidewalk along curb edge of South and Barrington Streets
See close-up plan for details.

Encroachment Plan A

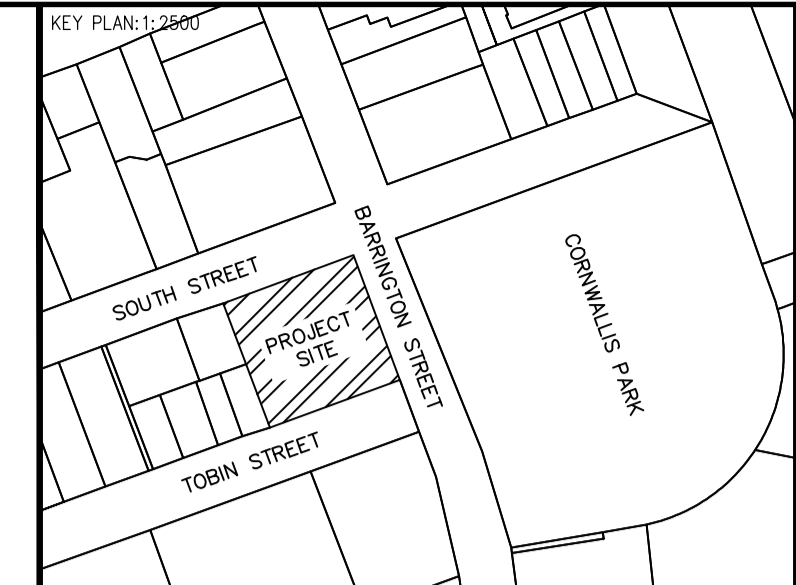
Legend

 Work Area





NOTES:
 1. ON-SITE INFRASTRUCTURE AND EXISTING GRADES BASED ON WSP TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.



LEGEND:	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
LOTLINE	---	---
WATERMAIN & GATE VALVE	---W---	---W---
SANITARY PIPE & MANHOLE	---S---	---S---
STORM PIPE & MANHOLE	---ST---	---ST---
UTILITY LINES & POLE	---	---
STREET BOUNDARY	---	---
PROPERTY BOUNDARY	---	---
EASEMENT	---	---
CURB & DRIVEWAY CUT	---	---
CATCH BASIN	---	---
FIRE HYDRANT	---	---
STREET TREE	---	---
ROAD SIGN	---	---
SANITARY LATERAL	---	---
STORM LATERAL	---	---
WATER LATERAL	---	---
CATCH BASIN LEAD	---	---
CULVERT	---	---
HEADWALL	---	---
SIDEWALK	---	---
FENCE	---	---

DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED. WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

NO.	DATE	DESCRIPTION
3	2023/05/25	ISSUED FOR REVIEW - CMP (4)
2	2023/04/21	ISSUED FOR REVIEW - CMP (3)
1	2023/03/10	ISSUED FOR REVIEW - CMP (2)
0	2019/01/28	ISSUED FOR REVIEW - CMP

PROJECT NUMBER: 151-107020-01	DATE: (YYYY/MM/DD) 2023/05/25
ORIGINAL SCALE: HORIZONTAL: 1:200 VERTICAL: N/A	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
DESIGNED BY: E. TAWL	DRAWN BY: E. TAWL
CHECKED BY: B. SMYTH	APPROVED BY: B. SMYTH

wsp
 WSP Canada Inc.
 1 Spectacle Lake Drive
 Dartmouth, Nova Scotia, Canada B3B 1X7
 T 902-835-9955 F 902-835-1645 www.wspgroup.com

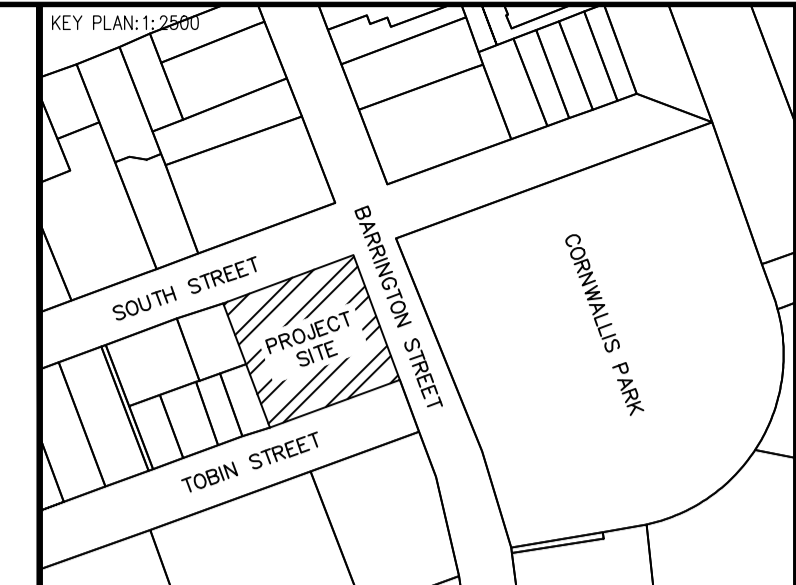
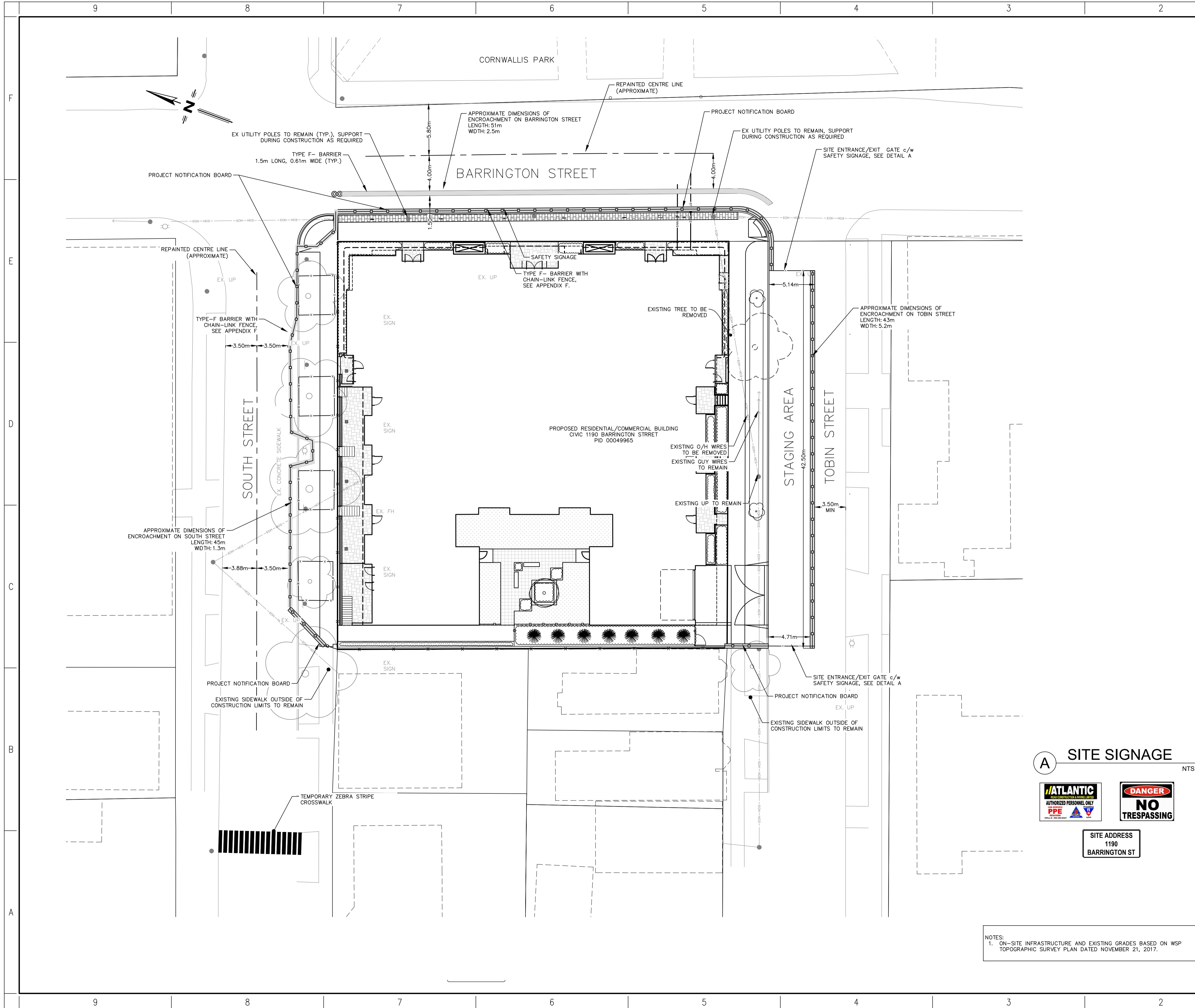
CLIENT:
UNIVERSAL PROPERTIES

PROJECT:
**1190 BARRINGTON STREET
 HALIFAX, NS**

TITLE:
ENCROACHMENT PHASE 1

SHEET NUMBER: 1	OF 1
ISSUE: ISSUED FOR REVIEW - CMP (4)	REV # 3
DATE OF: 2023/05/25	

WSP REF. NO.: 151-10702-01 K:\DARTMOUTH\2015\151-10702-01\UNIVERSALREALTYGROUP\15-DWG\15-4-CIVIL\15-4-2-PRODUCTION_LWG\CMP\151-10702-000_UNIVERSALREALTYGROUP - PHASE 1.DWG 001 PRINTED: 2:25 PM 2023/05/29 BY: CARGO3109



LEGEND:	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
LOTLINE	---	---
WATERMAIN & GATE VALVE	---W---	---W---
SANITARY PIPE & MANHOLE	---S---	---S---
STORM PIPE & MANHOLE	---ST---	---ST---
UTILITY LINES & POLE	---	---
STREET BOUNDARY	---	---
PROPERTY BOUNDARY	---	---
EASEMENT	---	---
CURB & DRIVEWAY CUT	---	---
CATCH BASIN	---	---
FIRE HYDRANT	---	---
STREET TREE	---	---
ROAD SIGN	---	---
SANITARY LATERAL	---	---
STORM LATERAL	---	---
WATER LATERAL	---	---
CATCH BASIN LEAD	---	---
CULVERT	---	---
HEADWALL	---	---
SIDEWALK	---	---
FENCE	---	---

DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED. PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

NO.	DATE	DESCRIPTION
3	2023/05/25	ISSUED FOR REVIEW - CMP (4)
2	2023/04/21	ISSUED FOR REVIEW - CMP (3)
1	2023/03/10	ISSUED FOR REVIEW - CMP (2)
0	2019/01/28	ISSUED FOR REVIEW - CMP

PROJECT NUMBER: 151-107020-01	DATE: (YYYY/MM/DD) 2023/05/25
ORIGINAL SCALE: HORIZONTAL: 1:200 VERTICAL: N/A	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
DESIGNED BY: E. TAWL	DRAWN BY: E. TAWL
CHECKED BY: B. SMYTH	APPROVED BY: B. SMYTH
SCALE: 1:200 METRIC	

CLIENT:
UNIVERSAL PROPERTIES

PROJECT:
**1190 BARRINGTON STREET
HALIFAX, NS**

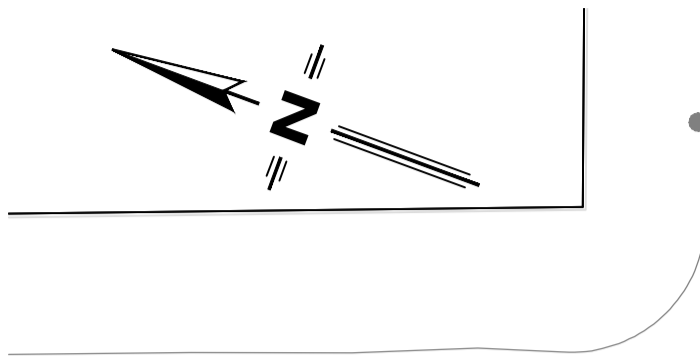
TITLE:
ENCROACHMENT PHASE 2

SHEET NUMBER: 1	REV # 1
ISSUED FOR REVIEW - CMP (2)	
DATE OF: 2023/05/25	

A SITE SIGNAGE NTS

NOTES:
1. ON-SITE INFRASTRUCTURE AND EXISTING GRADES BASED ON WSP TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.

WSP REF. NO.: 151-10702-01 K:\DARTMOUTH\2015\151-10702-01\UNIVERSALREALTYGROUP\15-DWG\15-4-CIVIL\15-4.2-PRODUCTION\DWG\CMP\151-10702-000_UNIVERSALREALTYGROUP - PHASE 2.DWG 001 PRINTED: 2:24 PM 2023/05/25 BY: CARGO73109



CORNWALLIS PARK

BARRINGTON STREET

PROPOSED RESIDENTIAL/COMMERCIAL BUILDING
 CIVIC 1190 BARRINGTON STREET
 PID 00049965

SOUTH STREET

STAGING AREA

TOBIN STREET

SITE ENTRANCE/EXIT GATE c/w
 SAFETY SIGNAGE, SEE DETAIL A

APPROXIMATE DIMENSIONS OF
 ENCROACHMENT ON TOBIN STREET
 LENGTH: 4.3m
 WIDTH: 5.2m

EXISTING TREE TO BE
 REMOVED

EXISTING O/H WIRES
 TO BE REMOVED
 EXISTING GUY WIRES
 TO REMAIN

EXISTING UP TO REMAIN

SITE ENTRANCE/EXIT GATE c/w
 SAFETY SIGNAGE, SEE DETAIL A

PROJECT NOTIFICATION BOARD

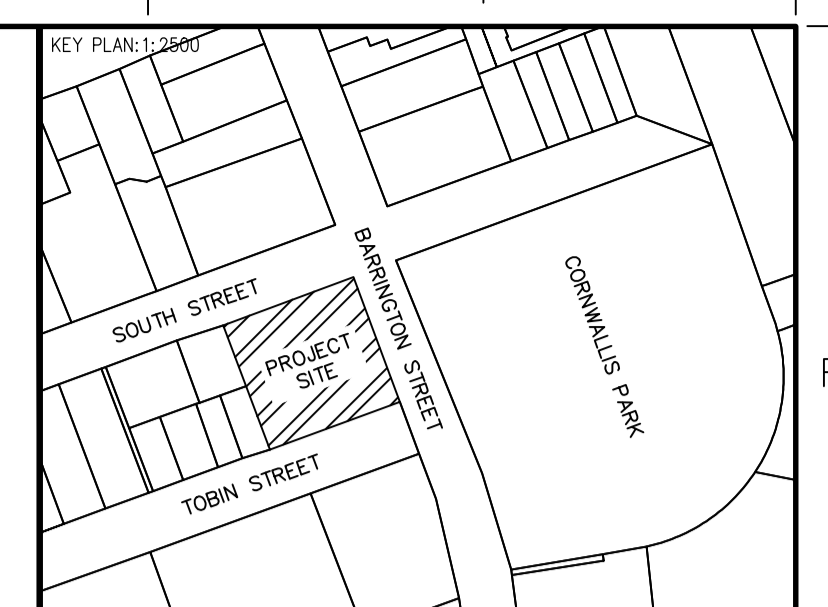
EXISTING SIDEWALK OUTSIDE OF
 CONSTRUCTION LIMITS TO REMAIN

A SITE SIGNAGE NTS



SITE ADDRESS
 1190
 BARRINGTON ST

NOTES:
 1. ON-SITE INFRASTRUCTURE AND EXISTING GRADES BASED ON WSP
 TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.



LEGEND:	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
LOTLINE	---	---
WATERMAIN & GATE VALVE	---W---G	---W---G
SANITARY PIPE & MANHOLE	---S---M	---S---M
STORM PIPE & MANHOLE	---ST---SM	---ST---SM
UTILITY LINES & POLE	---U---P	---U---P
STREET BOUNDARY	---	---
PROPERTY BOUNDARY	---	---
EASEMENT	---	---
CURB & DRIVEWAY CUT	---	---
CATCH BASIN	---	---
FIRE HYDRANT	---	---
STREET TREE	---	---
ROAD SIGN	---	---
	SANITARY LATERAL	---
	STORM LATERAL	---
	WATER LATERAL	---
	CATCH BASIN LEAD	---
	ENDCAP	---
	CULVERT	---
	HEADWALL	---
	SIDEWALK	---
	FENCE	---

DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED. PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

NO.	DATE	DESCRIPTION
3	2023/05/25	ISSUED FOR REVIEW - CMP (4)
2	2023/04/21	ISSUED FOR REVIEW - CMP (3)
1	2023/03/10	ISSUED FOR REVIEW - CMP (2)
0	2019/01/28	ISSUED FOR REVIEW - CMP

PROJECT NUMBER: 151-107020-01	DATE: (YYYY/MM/DD) 2023/04/21
DESIGNED BY: E. TAWL	DRAWN BY: E. TAWL
CHECKED BY: B. SMYTH	APPROVED BY: B. SMYTH

wsp
 WSP Canada Inc.
 1 Spectacle Lake Drive
 Dartmouth, Nova Scotia, Canada B3B 1X7
 T 902-835-9955 F 902-835-1645 www.wspgroup.com

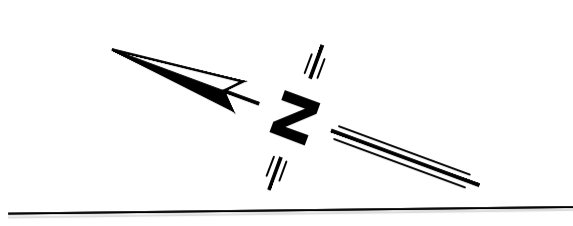
CLIENT:
UNIVERSAL PROPERTIES

PROJECT:
 1190 BARRINGTON STREET
 HALIFAX, NS

TITLE:
ENCROACHMENT PHASE 3

SHEET NUMBER: 1	OF 1
ISSUE: ISSUED FOR REVIEW - CMP (4)	REV # 3
DATE OF: 2023/05/25	

WSP REF. NO.: 151-10702-01 K:\DARTMOUTH\2015\151-10702-01\UNIVERSALREALTYGROUP\15-10702-01\UNIVERSALREALTYGROUP - PHASE 3.DWG 001 PRINTED: 9:45 AM 2023/05/25 BY: CARGO3109



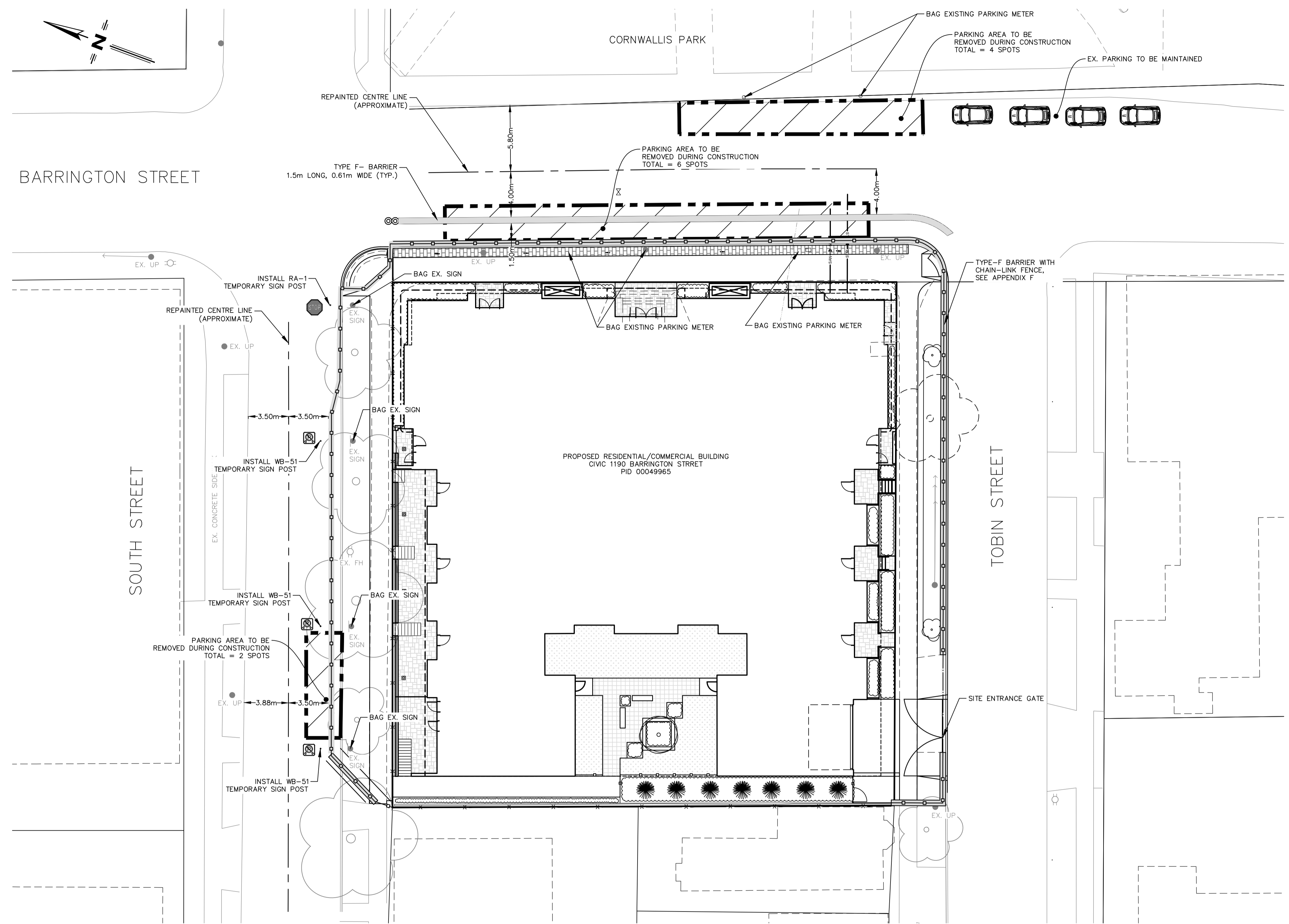
BARRINGTON STREET

SOUTH STREET

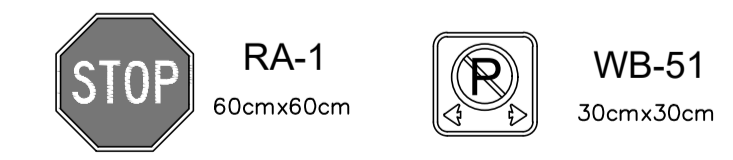
TOBIN STREET

CORNWALLIS PARK

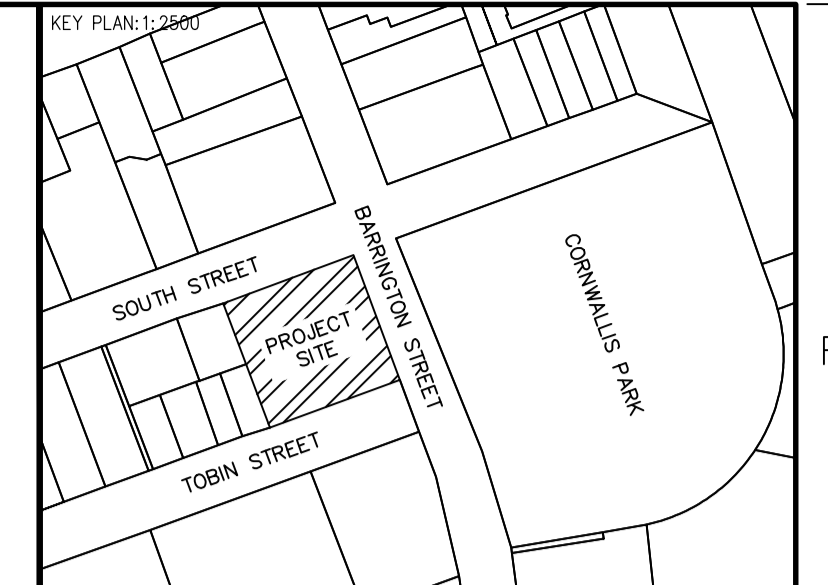
PROPOSED RESIDENTIAL/COMMERCIAL BUILDING
CIVIC 1190 BARRINGTON STREET
PID 00049965



A SIGN DETAILS NTS



NOTES:
1. ON-SITE INFRASTRUCTURE AND EXISTING GRADES BASED ON WSP TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.



LEGEND:	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
LOTLINE	---	---
WATERMAIN & GATE VALVE	---W---G	---W---G
SANITARY PIPE & MANHOLE	---S---M	---S---M
STORM PIPE & MANHOLE	---ST---SM	---ST---SM
UTILITY LINES & POLE	---U---P	---U---P
STREET BOUNDARY	---	---
PROPERTY BOUNDARY	---	---
EASEMENT	---	---
CURB & DRIVEWAY CUT	---	---
CATCH BASIN	---	---
FIRE HYDRANT	---	---
STREET TREE	---	---
ROAD SIGN	---	---
SANITARY LATERAL	---	---
STORM LATERAL	---	---
WATER LATERAL	---	---
CATCH BASIN LEAD	---	---
CULVERT	---	---
HEADWALL	---	---
URD BOX	---	---
FENCE	---	---

DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED. WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

NO.	DATE	DESCRIPTION
2	2023/04/21	ISSUED FOR REVIEW - CMP (2)
0	2023/03/10	ISSUED FOR REVIEW - CMP

PROJECT NUMBER: 151-107020-01	DATE: (YYYY/MM/DD) 2023/04/21
DESIGNED BY: E. TAWL	DRAWN BY: E. TAWL
CHECKED BY: B. SMYTH	APPROVED BY: B. SMYTH

wsp
WSP Canada Inc.
1 Spectacle Lake Drive
Dartmouth, Nova Scotia, Canada B3B 1X7
T 902-835-9955 F 902-835-1645 www.wspgroup.com

CLIENT:
UNIVERSAL PROPERTIES

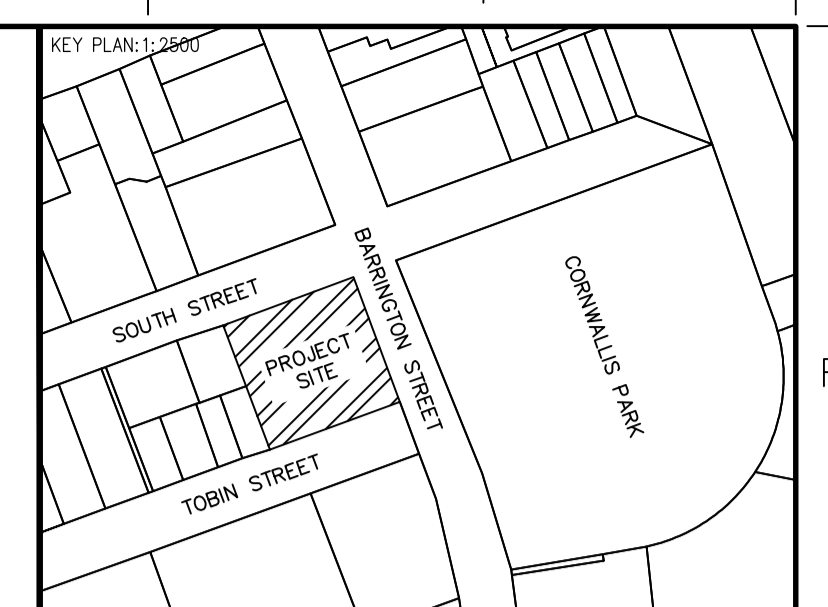
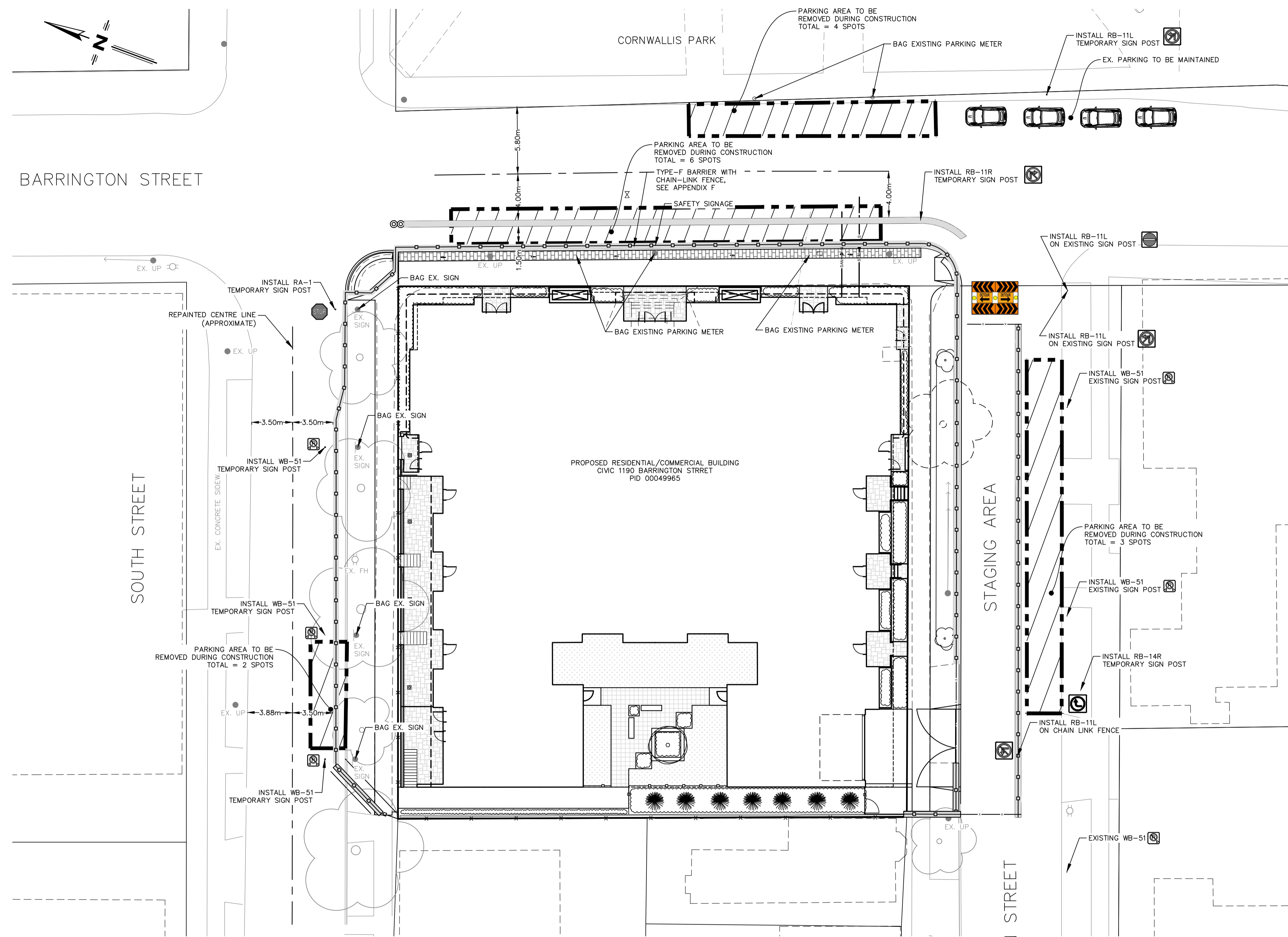
PROJECT:
**1190 BARRINGTON STREET
HALIFAX, NS**

TITLE:
**PARKING/SIGNAGE PLAN
PHASE 1**

SHEET NUMBER: 1	REV # 0
ISSUED FOR REVIEW - CMP	
DATE OF: 2023/04/21	

WSP REF. NO.: 151-10702-01 K:\DARTMOUTH\2015\151-10702-01\UNIVERSALREALTYGROUP\15-DWG\15.4-CIVIL\15.4.2-PRODUCTION_LWG\CMP\151-10702-01\UNIVERSALREALTYGROUP - PARKING PLAN.DWG BY: CAP/07/109 PRINTED: 11:10 AM 2023/04/21

9 8 7 6 5 4 3 2 1



LEGEND:

	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
LOTLINE	---	---
WATERMAIN & GATE VALVE	---W---	---W---
SANITARY PIPE & MANHOLE	---S---	---S---
STORM PIPE & MANHOLE	---ST---	---ST---
UTILITY LINES & POLE	---	---
STREET BOUNDARY	---	---
PROPERTY BOUNDARY	---	---
EASEMENT	---	---
CURB & DRIVEWAY CUT	---	---
CATCH BASIN	---	---
FIRE HYDRANT	---	---
STREET TREE	---	---
ROAD SIGN	---	---
	SANITARY LATERAL	---
	STORM LATERAL	---
	WATER LATERAL	---
	CATCH BASIN LEAD	---
	CULVERT	---
	HEADWALL	---
	SIDEWALK	---
	FENCE	---

DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED. WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

REVISION:

NO.	DATE	DESCRIPTION
2	2023/04/21	ISSUED FOR REVIEW - CMP (2)
0	2019/08/12	ISSUED FOR REVIEW - CMP

PROJECT NUMBER: 151-107020-01 DATE: (YYYY/MM/DD) 2023/04/21

ORIGINAL SCALE: HORIZONTAL: 1:200 VERTICAL: N/A

DESIGNED BY: E. TAWIL DRAWN BY: E. TAWIL

CHECKED BY: B. SMYTH APPROVED BY: B. SMYTH

SCALE: 1:200 METRIC

WSP Canada Inc.
1 Spectacle Lake Drive
Dartmouth, Nova Scotia, Canada B3B 1X7
T 902-835-9955 F 902-835-1645 www.wspgroup.com

CLIENT: UNIVERSAL PROPERTIES

PROJECT: 1190 BARRINGTON STREET
HALIFAX, NS

TITLE: PARKING/SIGNAGE PLAN
PHASE 2

SHEET NUMBER: 1

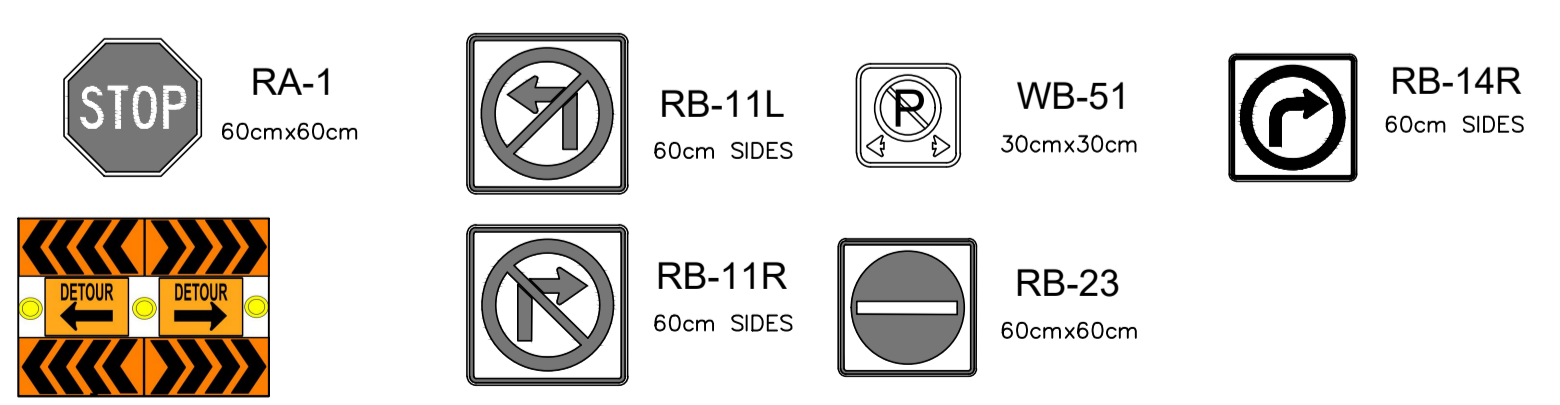
SHEET # 1 OF 1

ISSUE: ISSUED FOR REVIEW - CMP

DATE OF: 2023/04/21

REV # 0

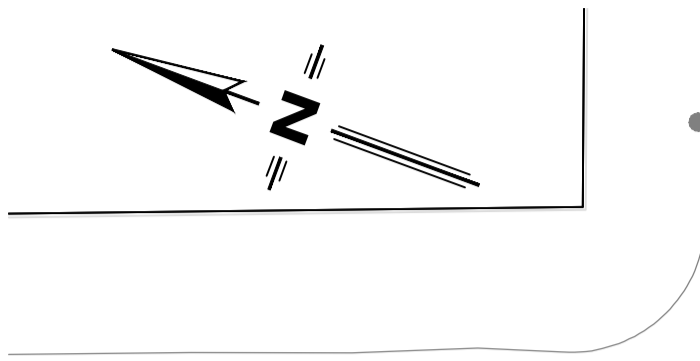
A SIGN DETAILS
NTS



NOTES:
1. ON-SITE INFRASTRUCTURE AND EXISTING GRADES BASED ON WSP TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.

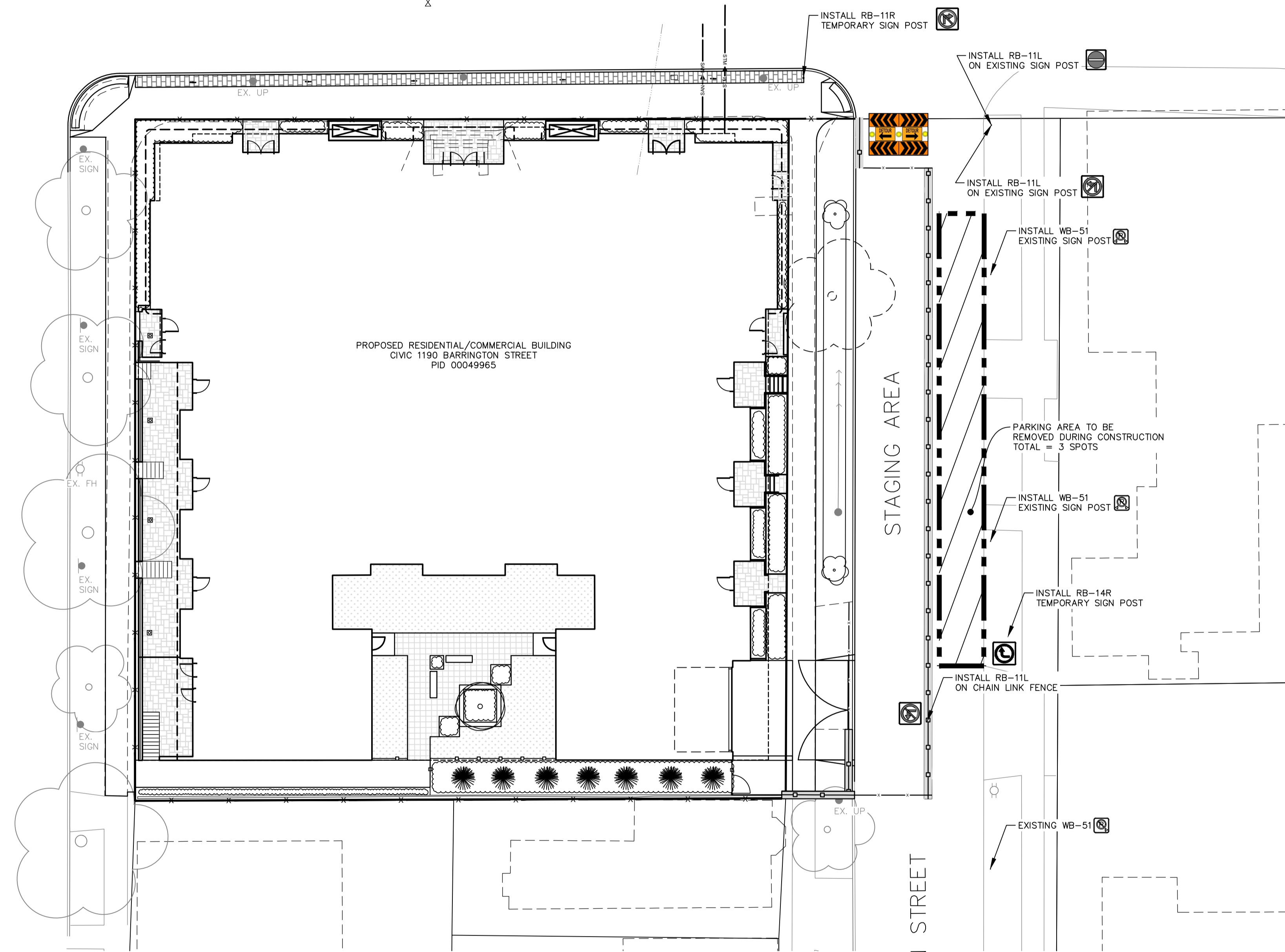
9 8 7 6 5 4 3 2 1

BY: CARP073109 PRINTED: 11:08 AM 2023/04/21 001 UNIVERSALREALTYGROUP - PARKING PLAN 2.DWG

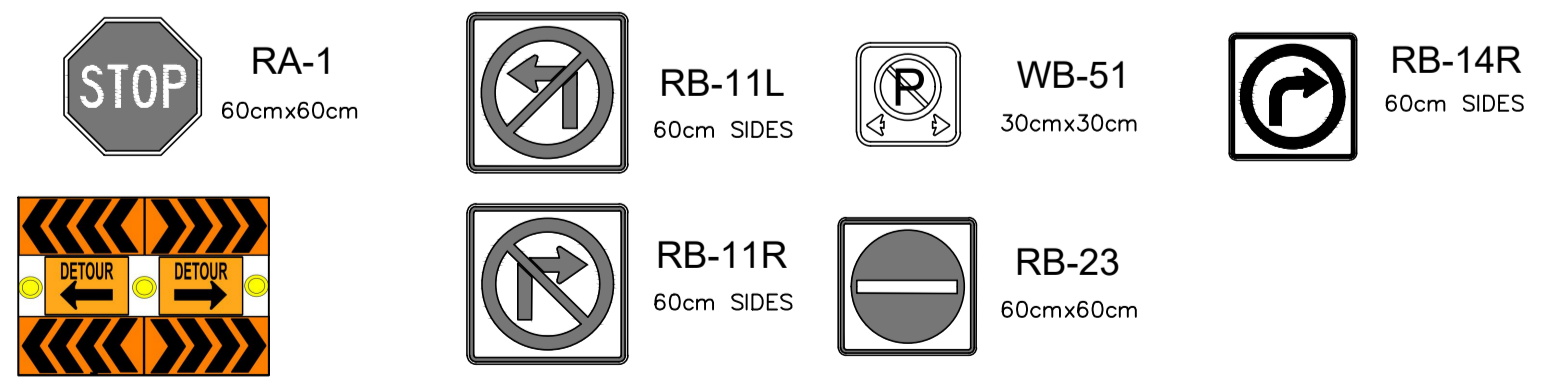


BARRINGTON STREET

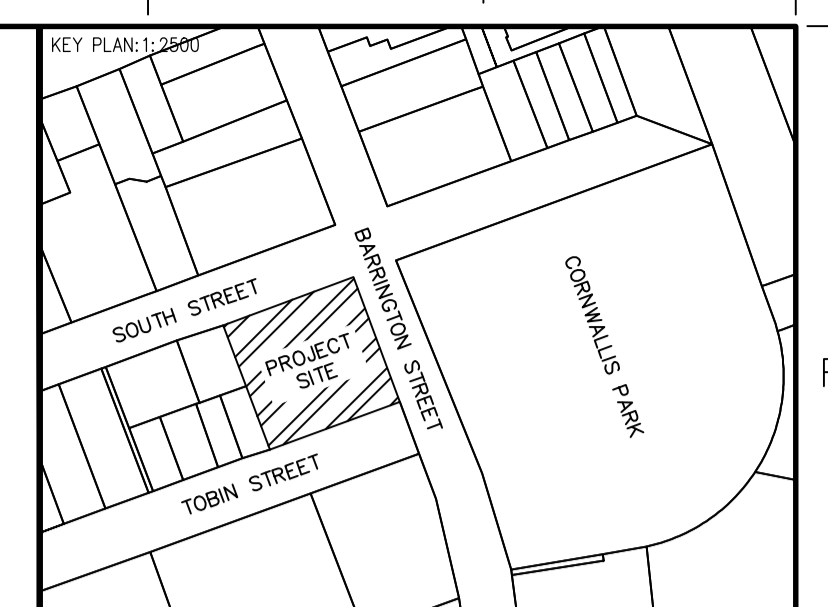
SOUTH STREET



A SIGN DETAILS
NTS



NOTES:
1. ON-SITE INFRASTRUCTURE AND EXISTING GRADES BASED ON WSP TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.



LEGEND:	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
LOTLINE	---	---
WATERMAIN & GATE VALVE	---W---	---W---
SANITARY PIPE & MANHOLE	---S---	---S---
STORM PIPE & MANHOLE	---ST---	---ST---
UTILITY LINES & POLE	---	---
STREET BOUNDARY	---	---
PROPERTY BOUNDARY	---	---
EASEMENT	---	---
CURB & DRIVEWAY CUT	---	---
CATCH BASIN	---	---
FIRE HYDRANT	---	---
STREET TREE	---	---
ROAD SIGN	---	---
SANITARY LATERAL	---	---
WATER LATERAL	---	---
STORM LATERAL	---	---
CATCH BASIN LEAD	---	---
ENDCAP	---	---
CULVERT	---	---
HEADWALL	---	---
PHONE PEDESTAL	---	---
URD BOX	---	---
FENCE	---	---

DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED. WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

NO.	DATE	DESCRIPTION
3	2023/05/25	ISSUED FOR REVIEW - CMP (3)
2	2023/04/21	ISSUED FOR REVIEW - CMP (2)
0	2019/08/12	ISSUED FOR REVIEW - CMP

PROJECT NUMBER: 151-107020-01	DATE: (YYYY/MM/DD) 2023/05/25
DESIGNED BY: E. TAWIL	DRAWN BY: E. TAWIL
CHECKED BY: B. SMYTH	APPROVED BY: B. SMYTH

wsp
WSP Canada Inc.
1 Spectacle Lake Drive
Dartmouth, Nova Scotia, Canada B3B 1X7
T 902-835-9955 F 902-835-1645 www.wspgroup.com

CLIENT:
UNIVERSAL PROPERTIES

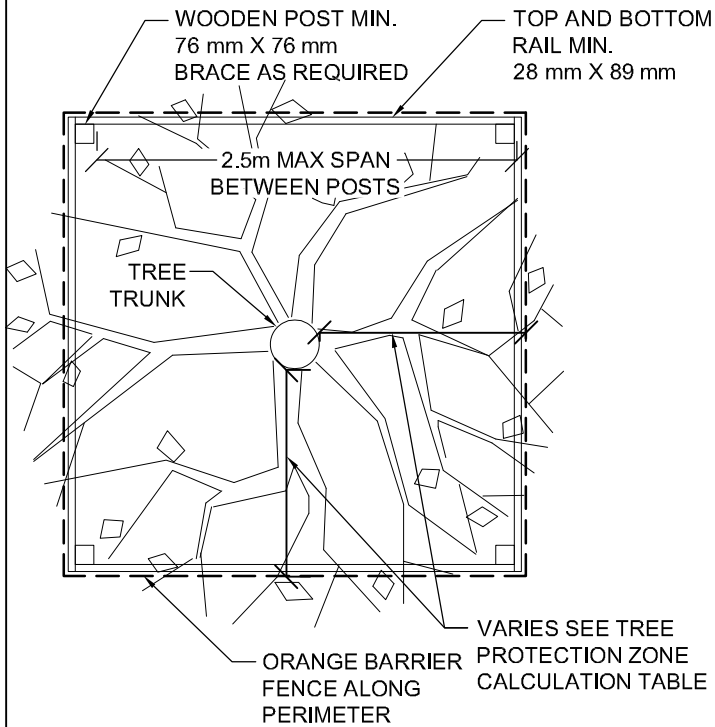
PROJECT:
**1190 BARRINGTON STREET
HALIFAX, NS**

TITLE:
**PARKING/SIGNAGE PLAN
PHASE 3**

SHEET NUMBER: 1	OF 1
ISSUE: ISSUED FOR REVIEW - CMP	REV # 0
DATE OF: 2023/05/25	

WSP REF. NO.: 151-10702-01 K:\DARTMOUTH\2015\151-10702-01\UNIVERSALREALTYGROUP\15-DWG\15.4-CIVIL\15.4.2-PRODUCTION\DWG\CMP\151-10702-000-UNIVERSALREALTYGROUP - PARKING PLAN 3.DWG 001 PRINTED: 9:47 AM 2023/05/25 BY: CAG6073109

PLAN VIEW

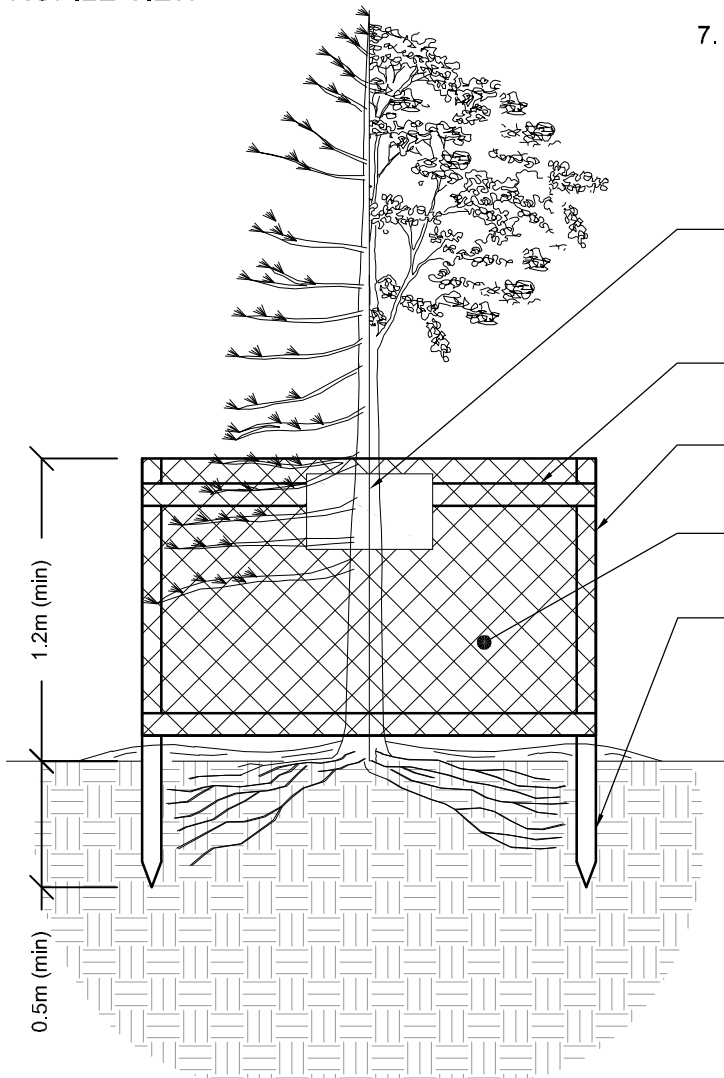


TREE PROTECTION ZONE CALCULATION TABLE	
TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCE REQUIRED (MEASURE FROM THE OUTSIDE EDGE OF TREE TRUNK)
10 CM & UNDER	1.2 METERS
11 - 30 CM	2.0 METERS
31 - 40 CM	3.4 METERS
41 - 50 CM	4.6 METERS
51 - 60 CM	6.0 METERS
61 - 70 CM	7.0 METERS
71 - 80 CM	8.0 METERS
>80 CM	9.0 METERS

NOTES:

1. WOOD POST: (MIN. 76mm WIDTH) INSTALLED TO A DEPTH OF 500mm (UNDERGROUND LOCATES REQUIRED)
2. TOP AND BOTTOM RAIL: (MIN. 38 X 89mm CONSTRUCTION, MAX. SPAN 2.5m), CROSS BRACING AS REQUIRED.
3. HEIGHT OF THE FENCE: MIN.1.2 METERS
4. NO GROUND DISTURBANCE WITHIN 1.2 METER OF THE TREE TRUNK (I.E. POST INSTALLATION)
5. POSTS SET BACK FROM SIDEWALK AND CURB: MIN 300mm
6. FENCE MATERIAL: MINIMUM ORANGE BARRIER FENCE OR METAL CHAIN LINK FENCE
7. ATTACH A SIGN ON TWO SIDES OF THE TREE "PROTECTION ZONE DO NOT REMOVE FENCE DURING CONSTRUCTION"

PROFILE VIEW

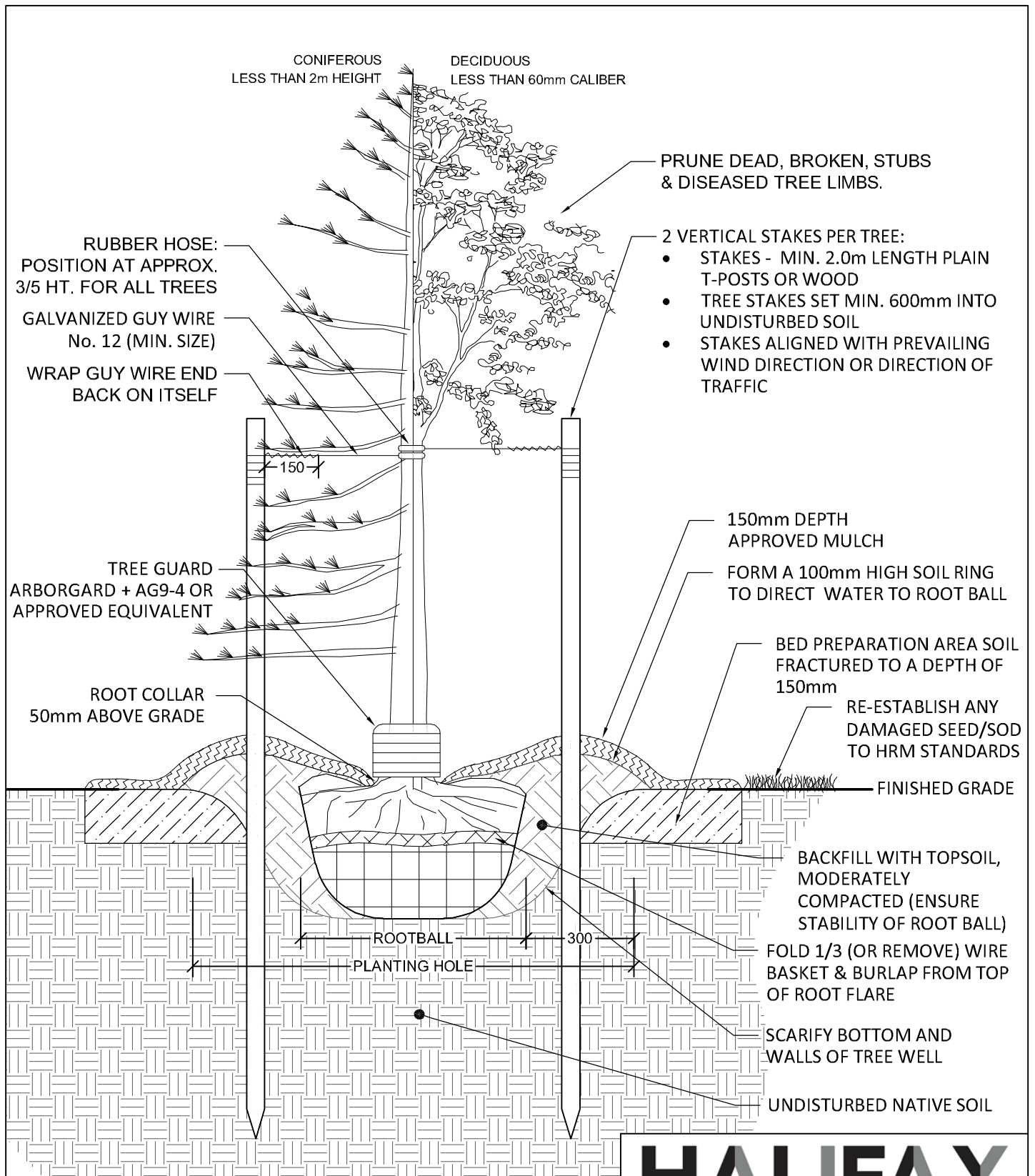


HALIFAX

STANDARD DETAIL

TREE PROTECTION ZONE & BARRIER

DATE: 2019	REFERENCE:	APPROVED
SCALE: NTS		FIG NO:



NOTES:

1. SOAK THE ROOTBALL AND BACKFILL AREA WITH 40 LITRES OF WATER AFTER PLANTING
2. CUT AND REMOVE ALL WIRE, ROPE, BURLAP AND TWINE FROM THE TOP $\frac{1}{3}$ OF THE ROOTBALL
3. PRUNE AT PLANTING TO CAREFULLY REMOVE DEAD, BROKEN AND DAMAGED BRANCHES
4. ROOT BALL MIN. SIZE AS PER CNLA STANDARDS FOR NURSERY STOCK

HALIFAX

STANDARD DETAIL

TREE
PLANTING

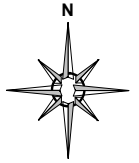
DATE: 2019	REFERENCE:	APPROVED
SCALE: NTS		FIG NO:

APPENDIX

B

TRAFFIC CONTROL PLANS



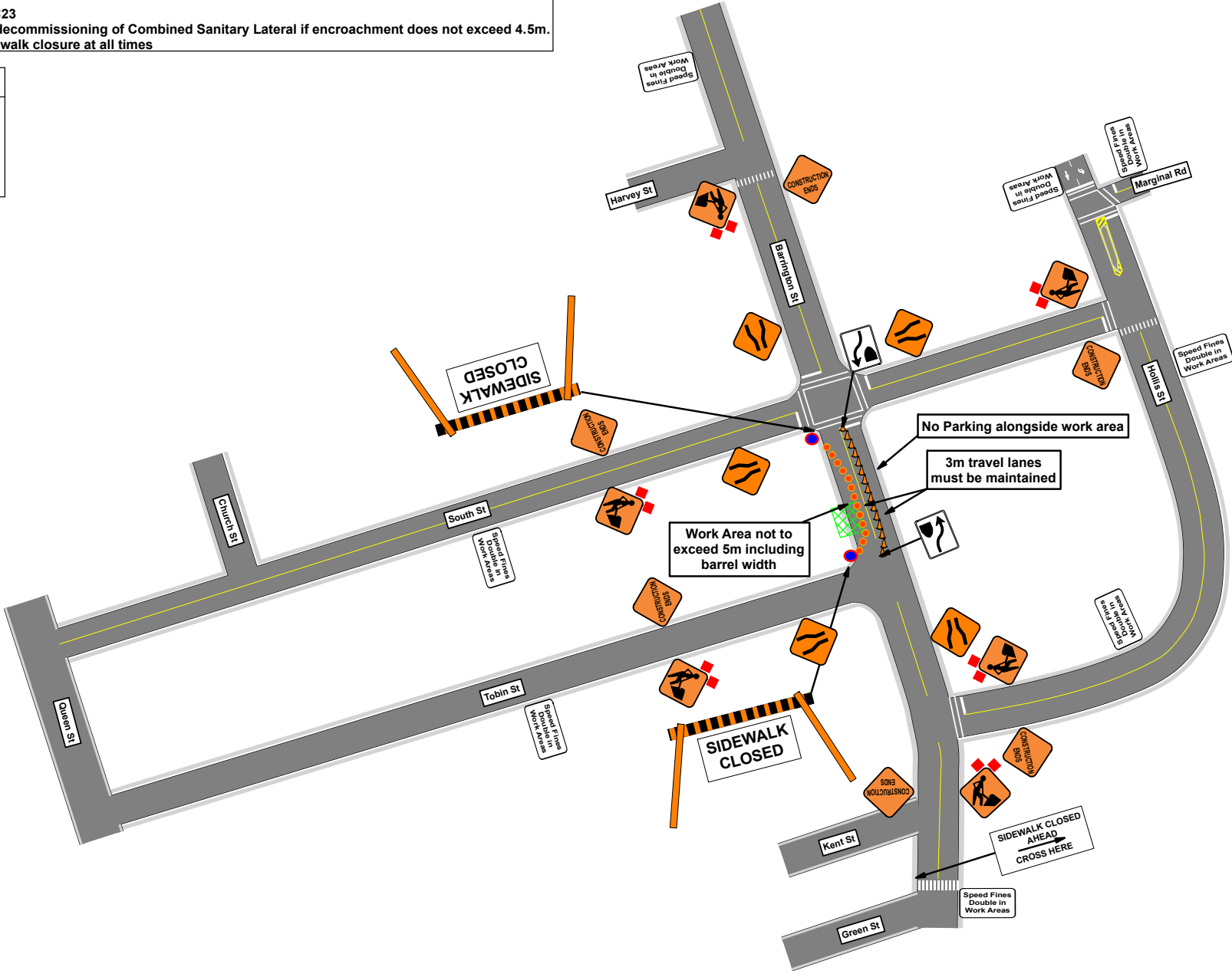


Service Lateral Decommissioning Plan 1

Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
 Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

Comments:
 Not to Scale
 Application Guide C23
 Traffic Plan for the decommissioning of Combined Sanitary Lateral if encroachment does not exceed 4.5m.
 TCP to monitor sidewalk closure at all times




Legend	
	Barrel
	Cone
	Control Position
	Work Area

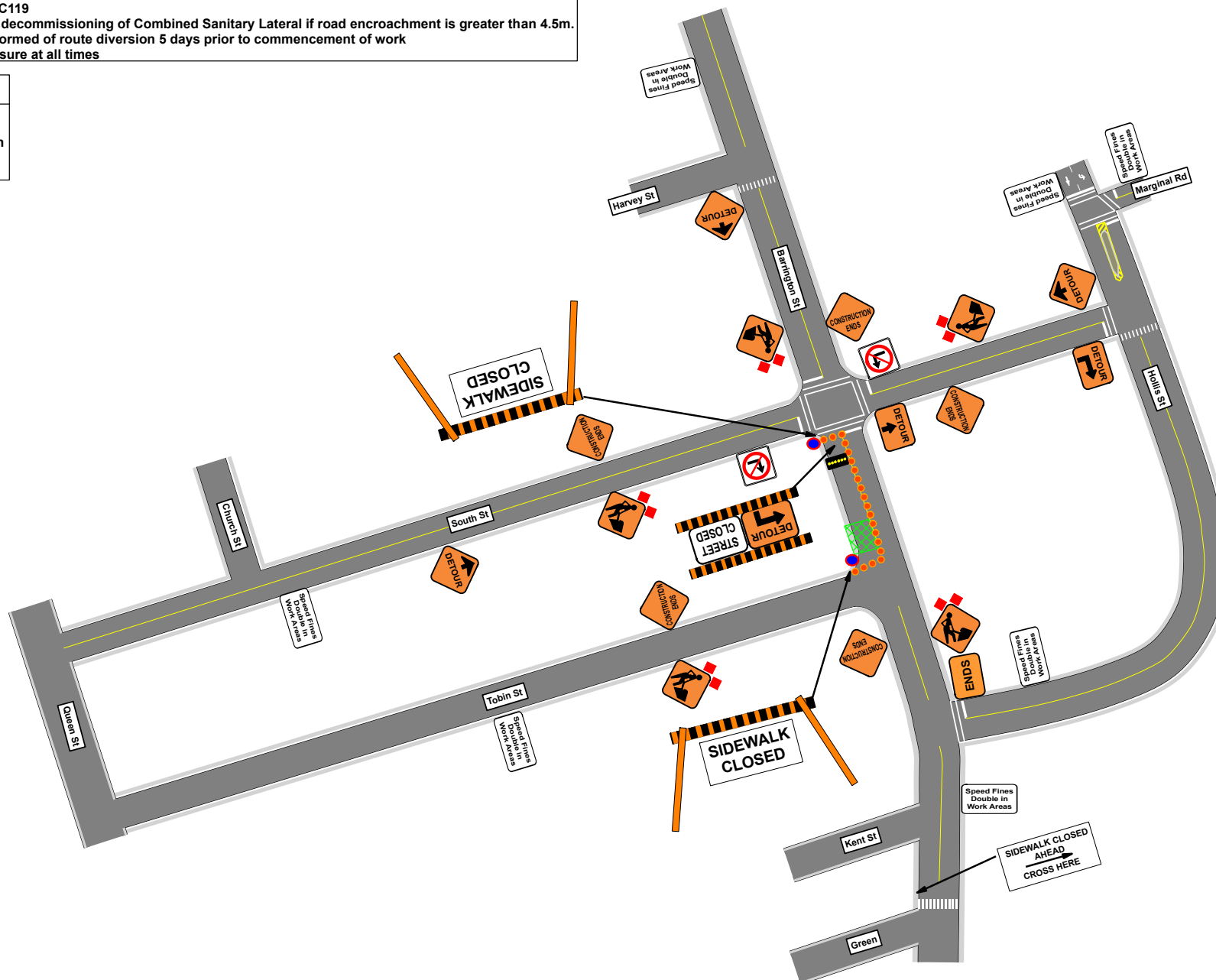
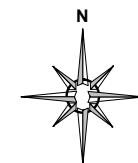


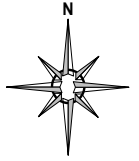
Service Lateral Decommissioning Plan 2

Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

Comments:
Not to Scale
Application Guide C119
Traffic Plan for the decommissioning of Combined Sanitary Lateral if road encroachment is greater than 4.5m.
Transit must be informed of route diversion 5 days prior to commencement of work
TCP to monitor closure at all times

Legend	
	Barrel
	Control Position
	Work Area





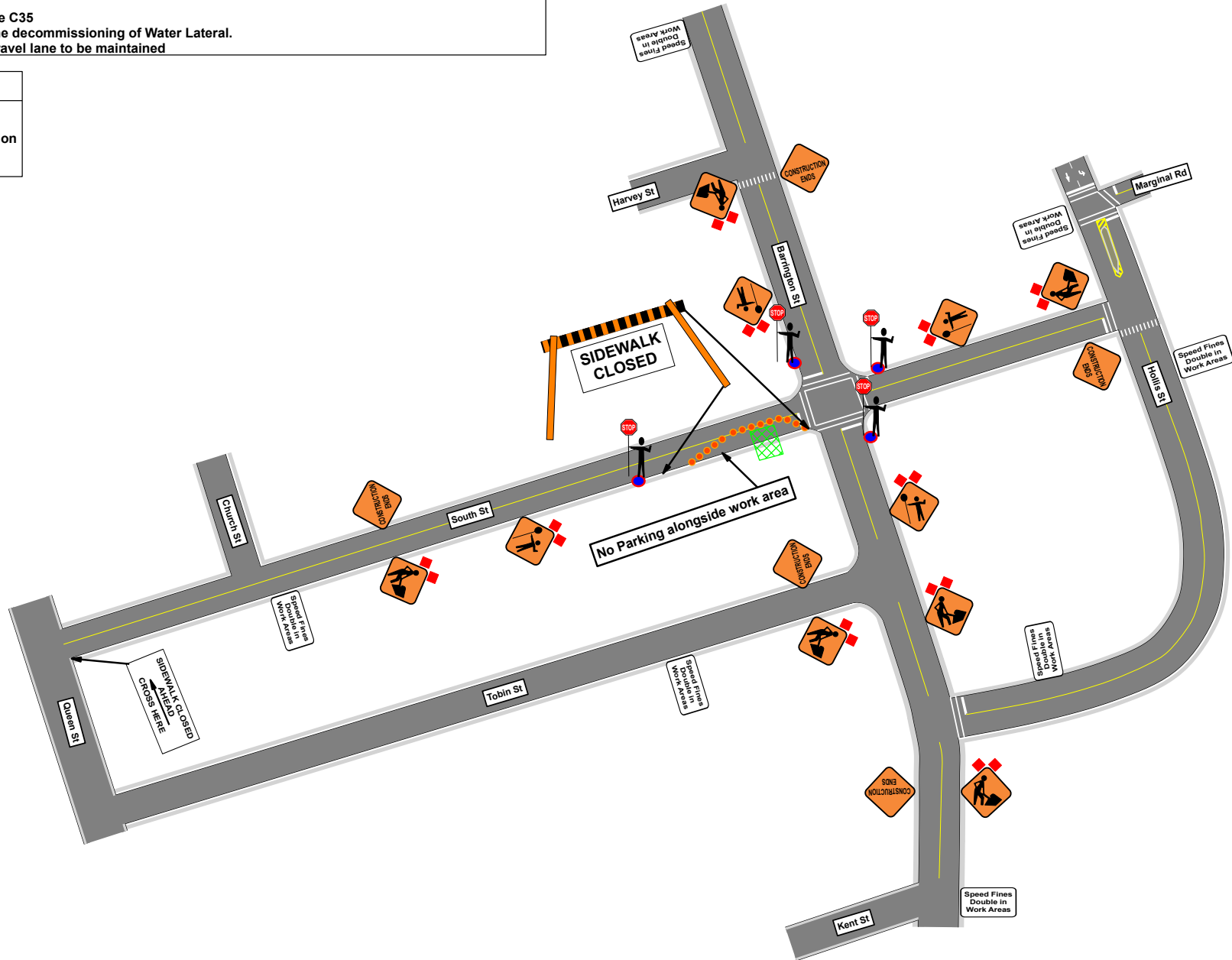
Water Lateral Decommissioning Plan

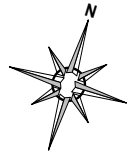
Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

Comments:

Not to Scale
Application Guide C35
Traffic Plan for the decommissioning of Water Lateral.
Minimum 3.5m Travel lane to be maintained

Legend	
	Barrel
	Control Position
	Work Area





Water Lateral Installation Plan

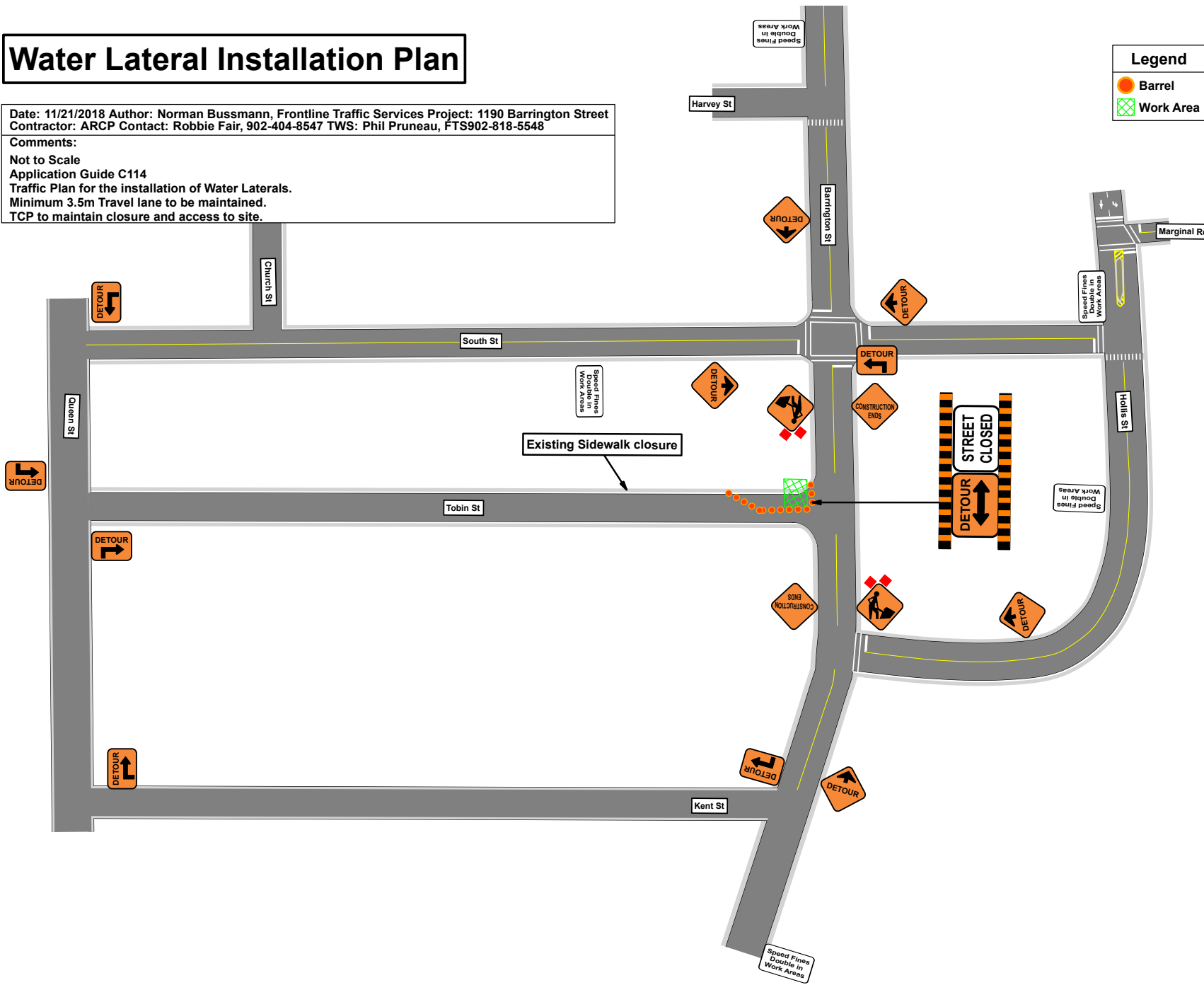
Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

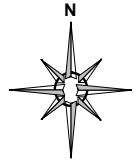
Comments:

Not to Scale
Application Guide C114
Traffic Plan for the installation of Water Laterals.
Minimum 3.5m Travel lane to be maintained.
TCP to maintain closure and access to site.

Legend

- Barrel
- Work Area





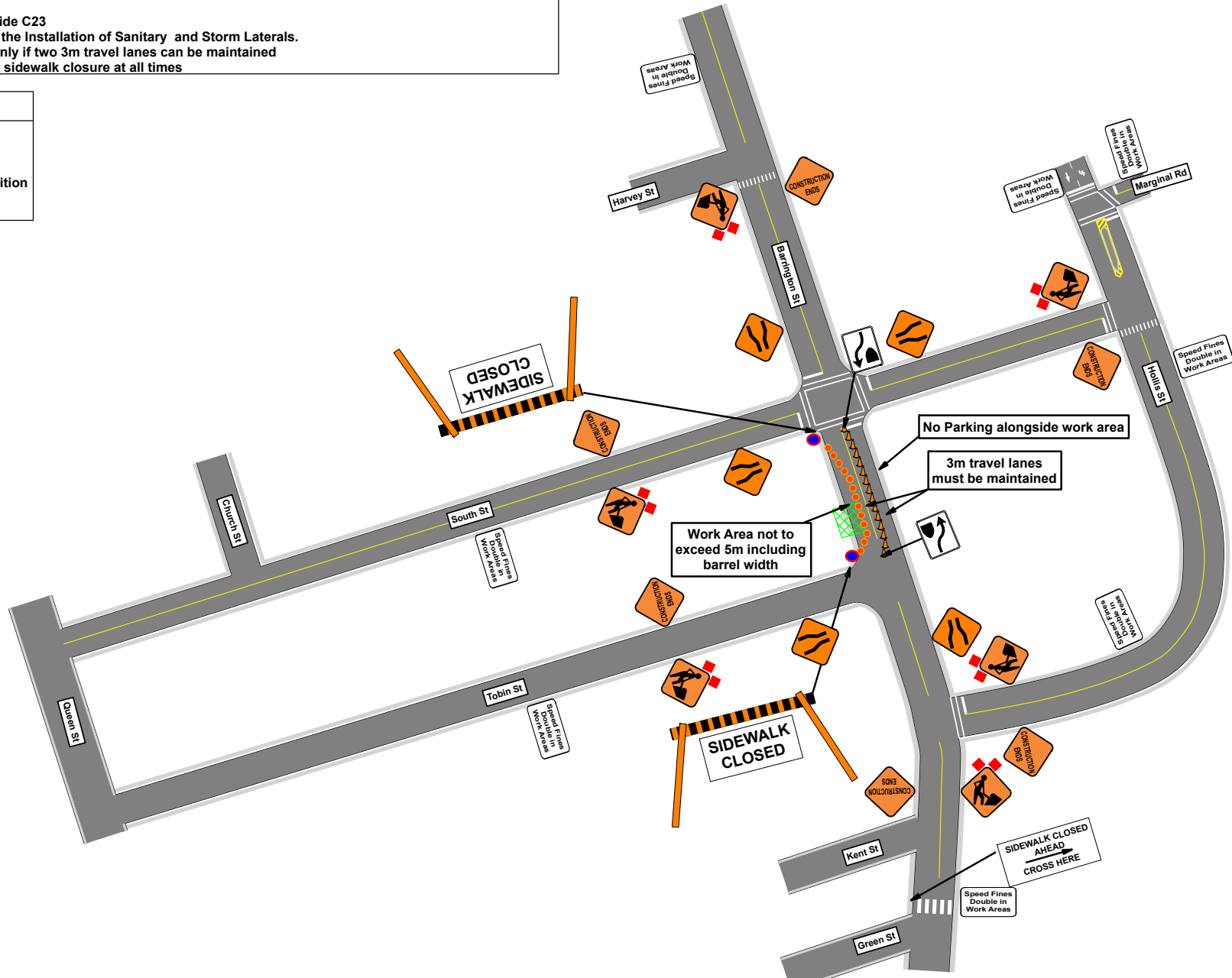
Service Lateral Installation Plan 1

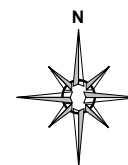
Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

Comments:

Not to Scale
Application Guide C23
Traffic Plan for the Installation of Sanitary and Storm Laterals.
Use this Plan only if two 3m travel lanes can be maintained
TCP to monitor sidewalk closure at all times

Legend	
	Barrel
	Cone
	Control Position
	Work Area








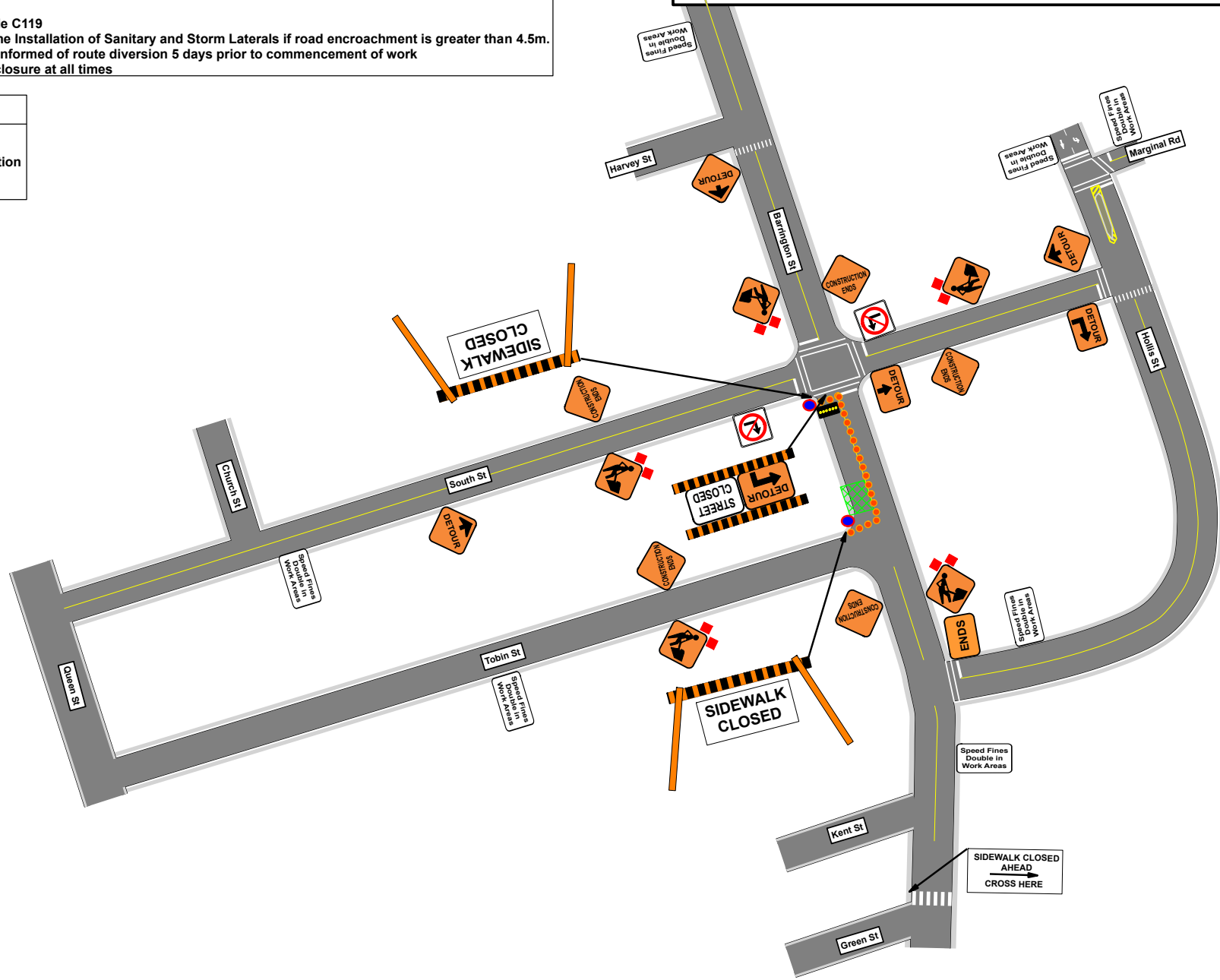
Service Lateral Installation Plan 2

Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

Comments:
Not to Scale
Application Guide C119
Traffic Plan for the Installation of Sanitary and Storm Laterals if road encroachment is greater than 4.5m.
Transit must be informed of route diversion 5 days prior to commencement of work
TCP to monitor closure at all times

Legend

-  Barrel
-  Control Position
-  Work Area

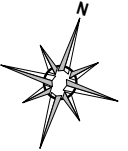


Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548






Comments:

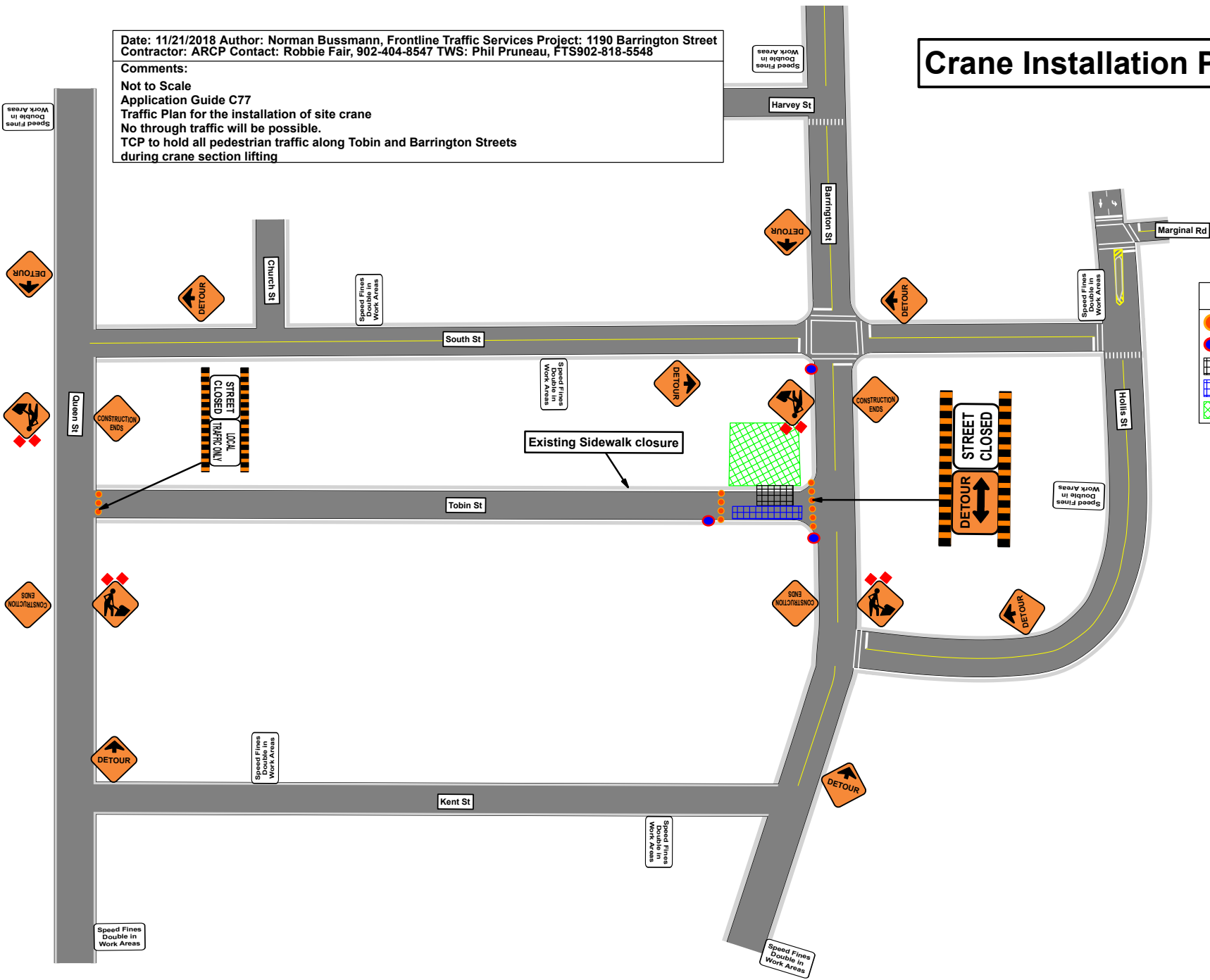
Not to Scale
Application Guide C77
Traffic Plan for the installation of site crane
No through traffic will be possible.
TCP to hold all pedestrian traffic along Tobin and Barrington Streets during crane section lifting

Crane Installation Plan



Legend

-  Barrel
-  Control Position
-  Mobile Crane
-  Staging area
-  Work Area




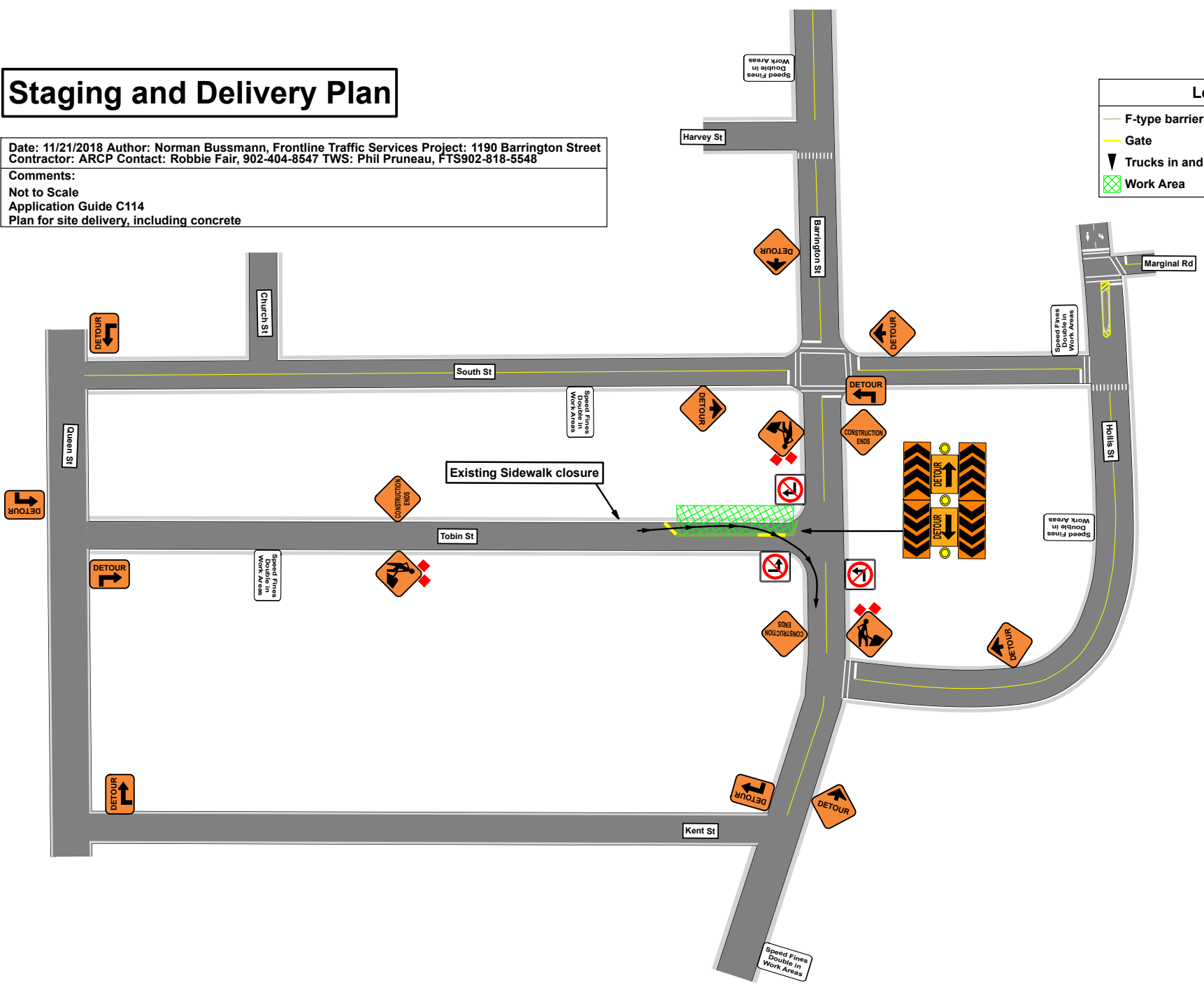
Staging and Delivery Plan

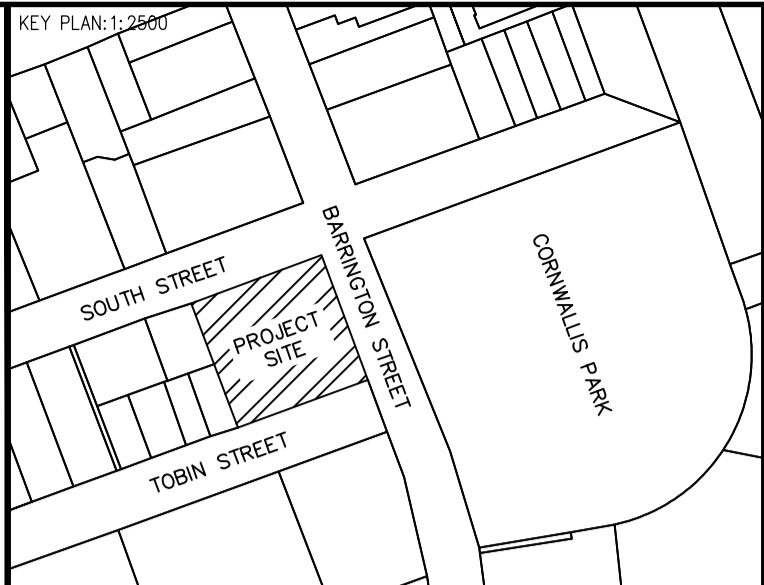
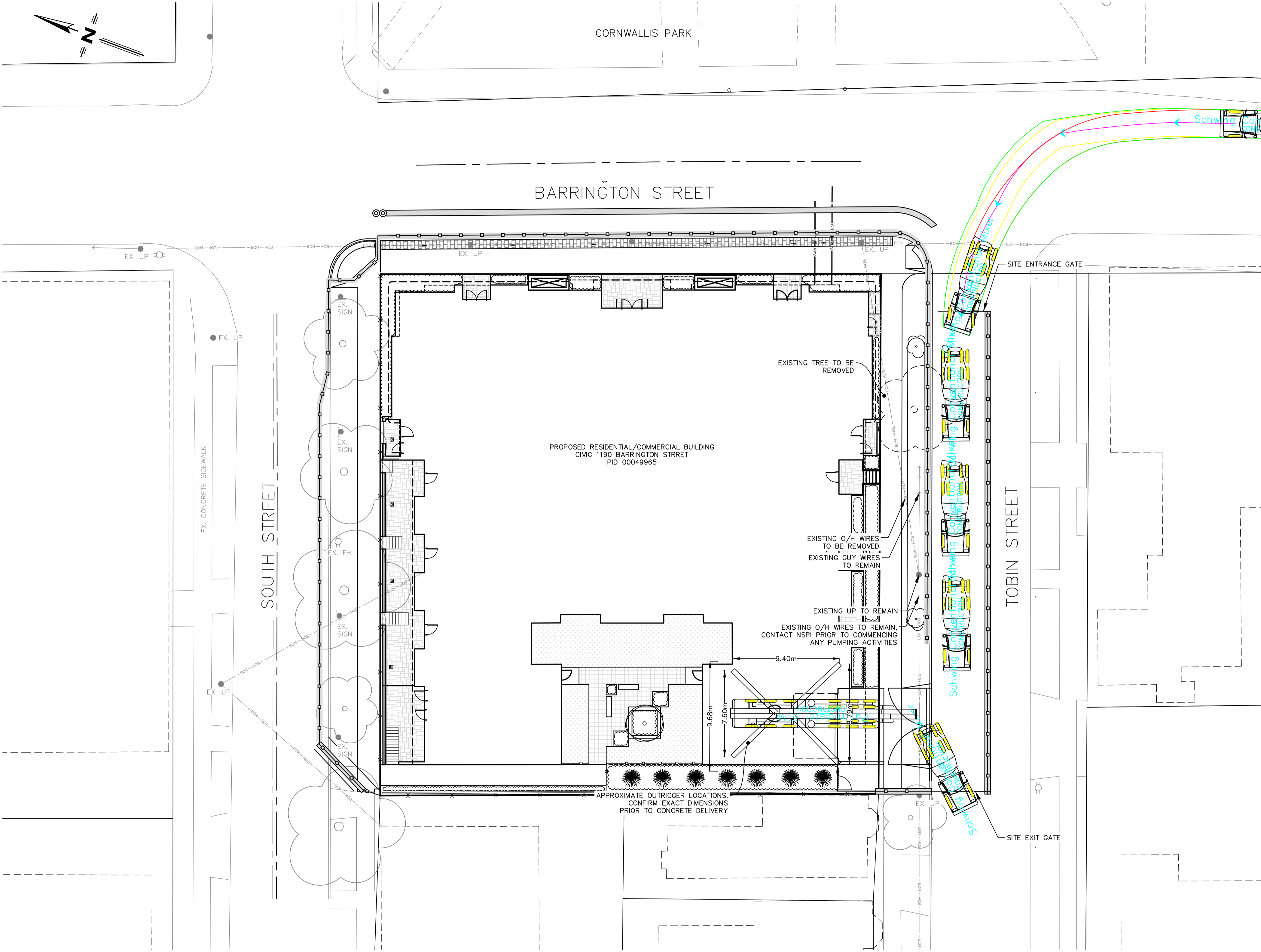
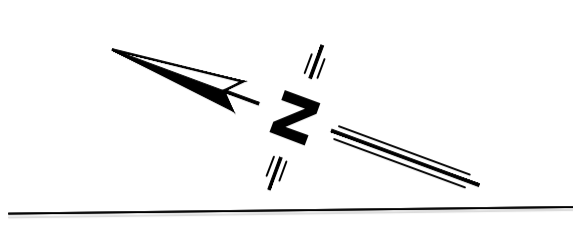
Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

Comments:
Not to Scale
Application Guide C114
Plan for site delivery, including concrete

Legend

- F-type barrier with Opaque Loading
- Gate
- Trucks in and out
- Work Area



LEGEND:		PROPOSED	EXISTING
EDGE OF PAVEMENT		---	---
LOTLINE		---	---
WATERMAIN & GATE VALVE		---W---G	---W---G
SANITARY PIPE & MANHOLE		---S---M	---S---M
STORM PIPE & MANHOLE		---ST---M	---ST---M
UTILITY LINES & POLE		---U---P	---U---P
STREET BOUNDARY		---	---
PROPERTY BOUNDARY		---	---
EASEMENT		---	---
CURB & DRIVEWAY CUT		---	---
CATCH BASIN		---	---
FIRE HYDRANT		---	---
STREET TREE		---	---
ROAD SIGN		---	---
		SANITARY LATERAL	---
		STORM LATERAL	---
		WATER LATERAL	---
		CATCH BASIN LEAD	---
		CULVERT	---
		HEADWALL	---
		SIDEWALK	---
		FENCE	---

DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED. WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

NO.	DATE	DESCRIPTION
2	2023/04/21	ISSUED FOR REVIEW - CMP (3)
1	2023/03/10	ISSUED FOR REVIEW - CMP (2)
0	2019/01/28	ISSUED FOR REVIEW - CMP

PROJECT NUMBER: 151-107020-01	DATE: (YYYY/MM/DD) 2023/04/21
HORIZONTAL SCALE: 1:200	VERTICAL SCALE: N/A
DESIGNED BY: E. TAWIL	DRAWN BY: E. TAWIL
CHECKED BY: B. SMYTH	APPROVED BY: B. SMYTH

wsp
WSP Canada Inc.
 1 Spectacle Lake Drive
 Dartmouth, Nova Scotia, Canada B3B 1X7
 T 902-835-9955 F 902-835-1645 www.wspgroup.com

CLIENT:
UNIVERSAL PROPERTIES

PROJECT:
**1190 BARRINGTON STREET
 HALIFAX, NS**

TITLE:
CONCRETE PUMPER PLAN

SHEET NUMBER:
1

SHEET #:
1 OF 1

ISSUE:
ISSUED FOR REVIEW - CMP (2)

DATE OF: 2023/04/21

REV #:
1

NOTES:
 1. ON-SITE INFRASTRUCTURE AND EXISTING GRADES BASED ON WSP TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.
 2. SEE TRAFFIC CONTROL PLAN IN CMP APPENDIX B.

Concrete Delivery Flagging Plan

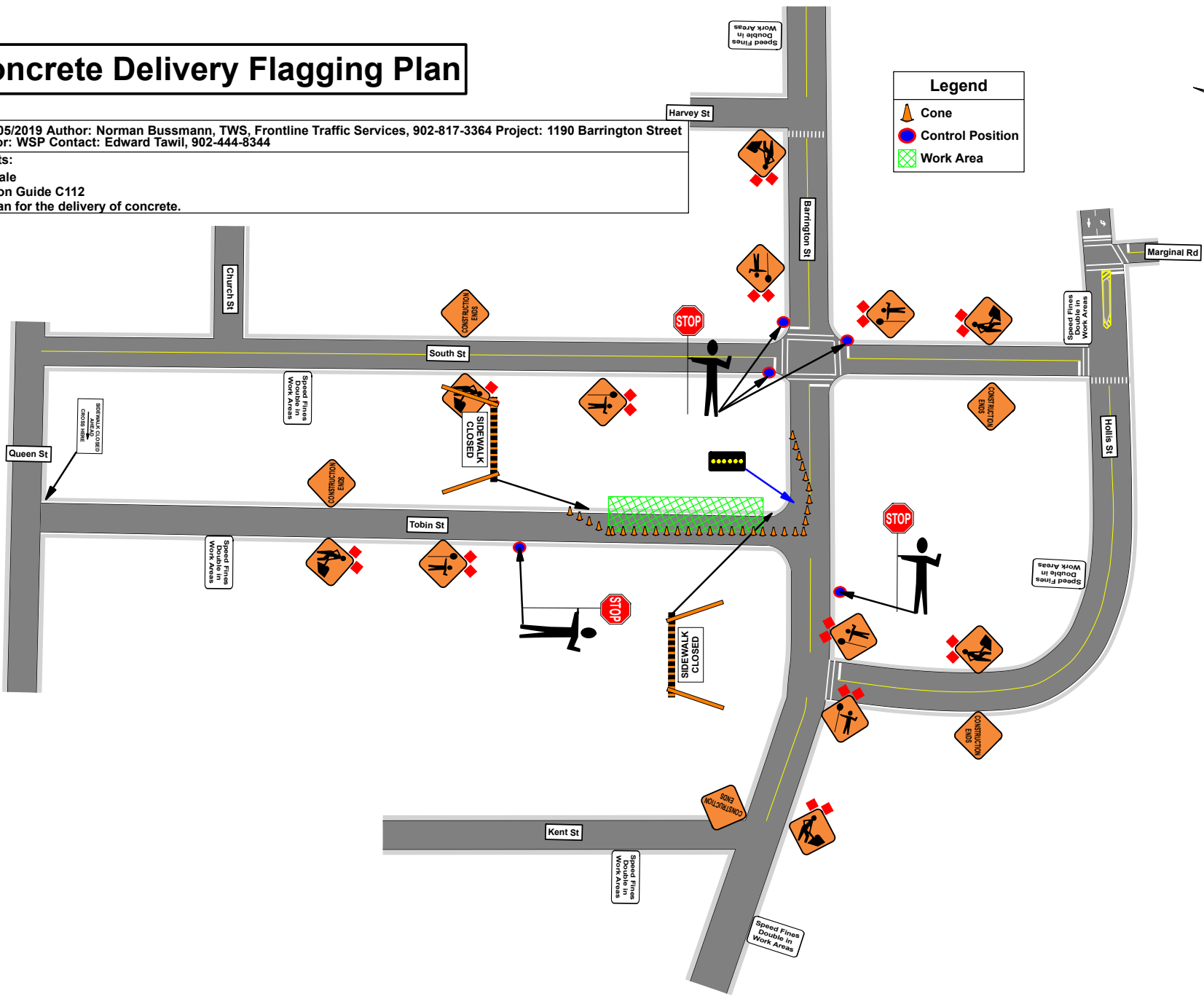
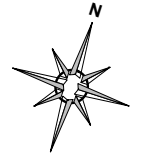
Date: 07/05/2019 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1190 Barrington Street
Contractor: WSP Contact: Edward Tawil, 902-444-8344

Comments:

Not to Scale
Application Guide C112
Traffic Plan for the delivery of concrete.

Legend

- Cone
- Control Position
- Work Area



APPENDIX

C

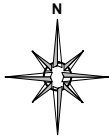
PEDESTRIAN WAY
FINDING



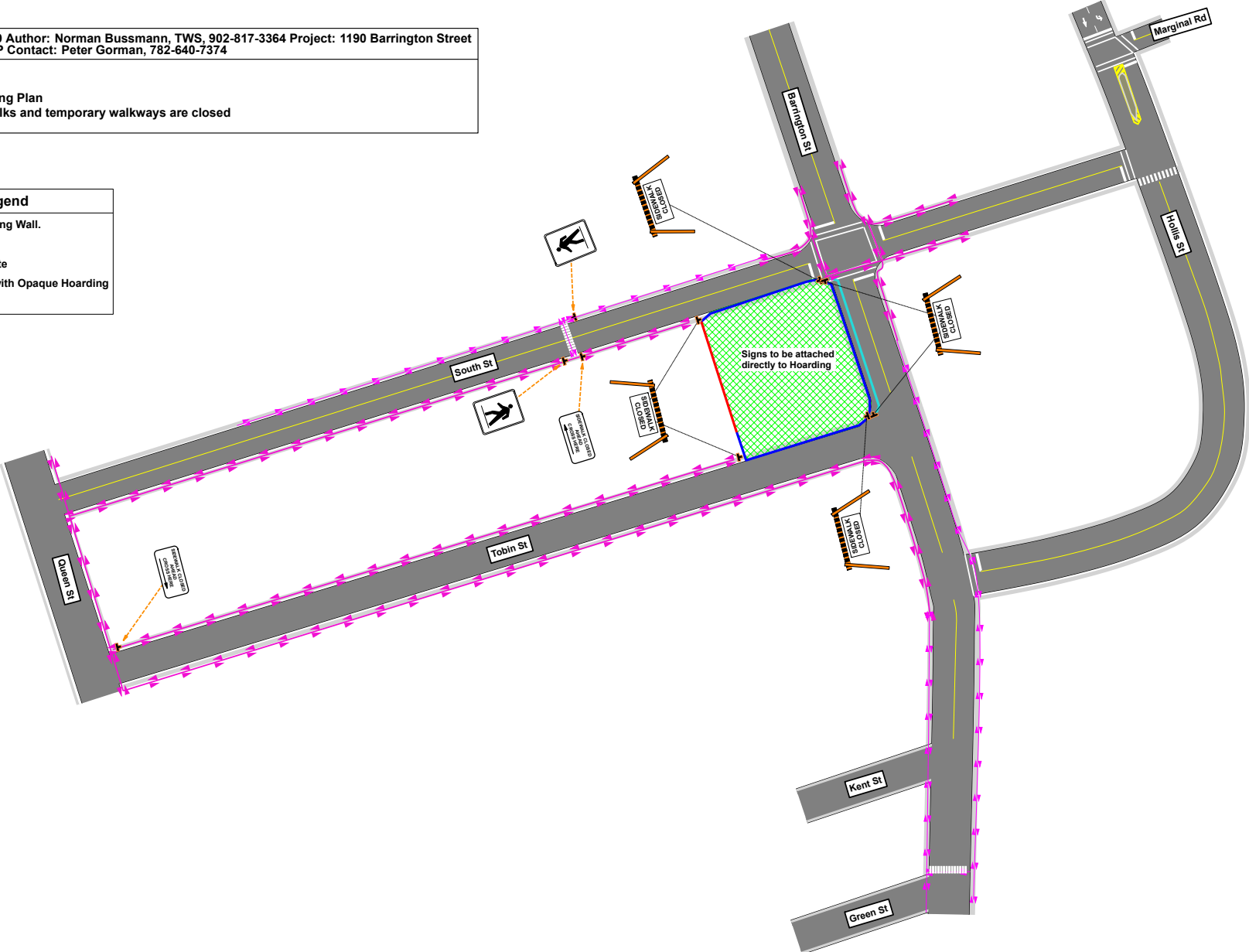
Detour Wayfinding Plan

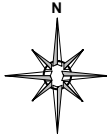
Date: 2023-03-09 Author: Norman Bussmann, TWS, 902-817-3364 Project: 1190 Barrington Street
Contractor: WSP Contact: Peter Gorman, 782-640-7374

Comments:
Not to Scale
Detour Wayfinding Plan
When all sidewalks and temporary walkways are closed



Legend	
	Existing Retaining Wall.
	F-type Barrier
	Pedestrian Route
	Rigid Fencing with Opaque Hoarding
	Work Area





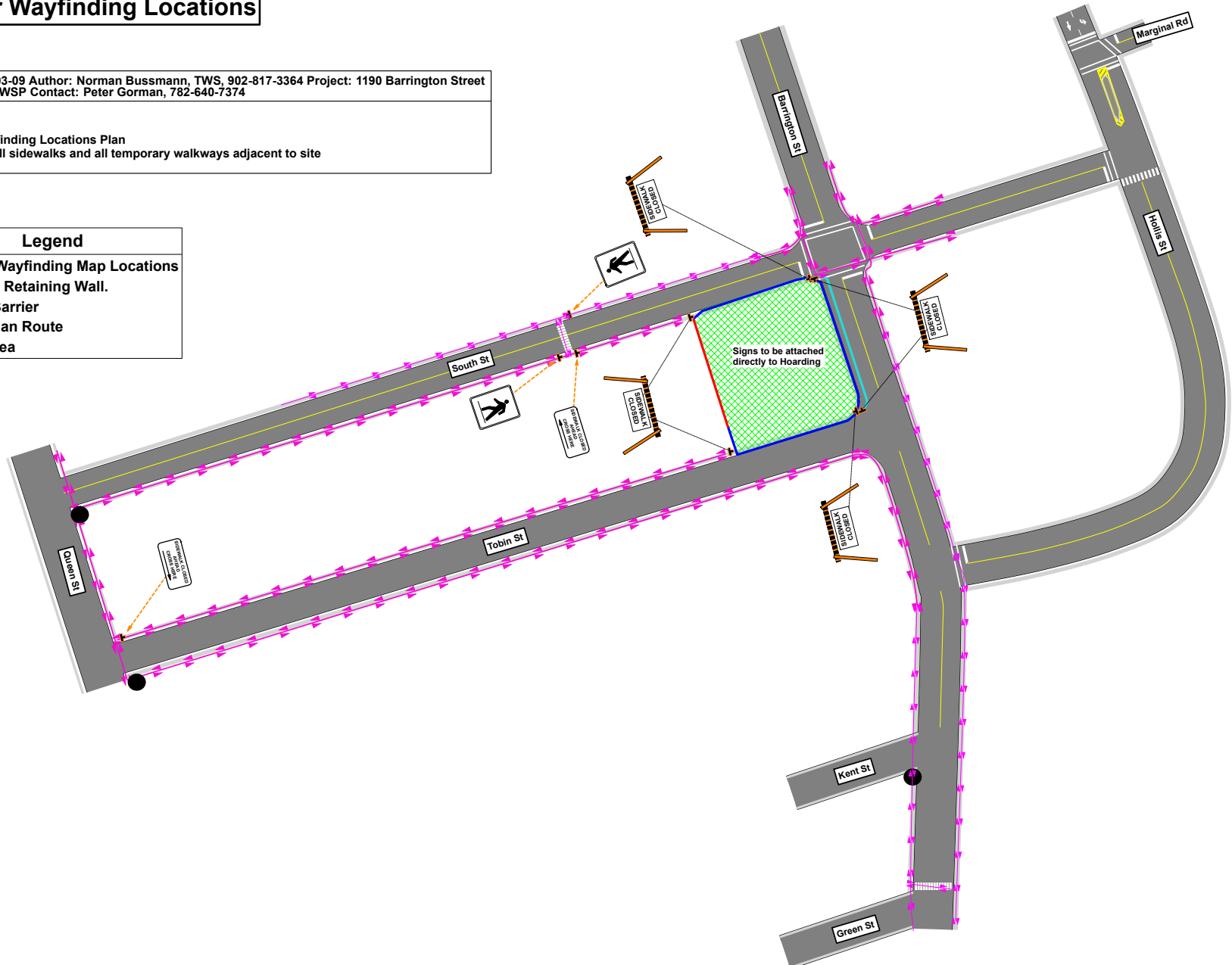
Detour Wayfinding Locations

Date: 2023-03-09 Author: Norman Bussmann, TWS, 902-817-3364 Project: 1190 Barrington Street
Contractor: WSP Contact: Peter Gorman, 782-640-7374

Comments:
Not to Scale
Detour Wayfinding Locations Plan
Closure of all sidewalks and all temporary walkways adjacent to site

Legend

- Detour Wayfinding Map Locations
- Existing Retaining Wall.
- F-type Barrier
- ▲ Pedestrian Route
- ▨ Work Area

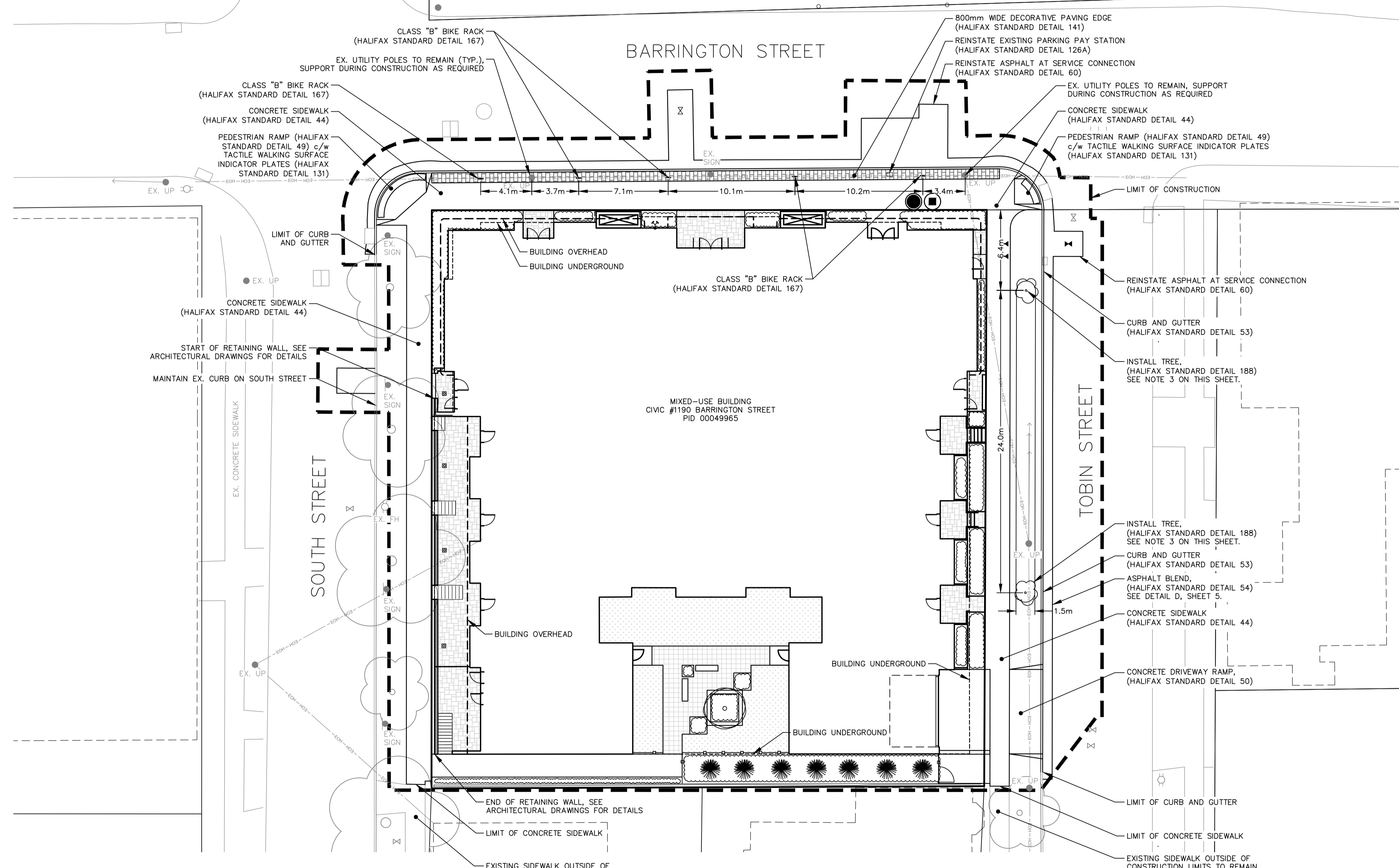
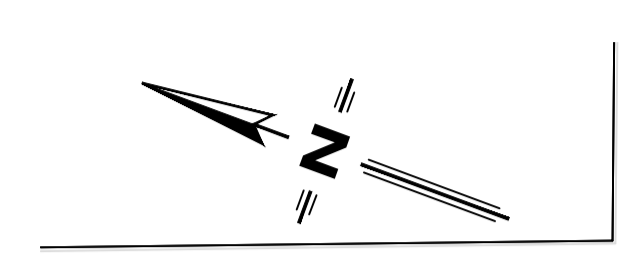


APPENDIX

D

SITE PLAN AND
SCHEDULE





LEGEND:	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
LOTLINE	---	---
WATERMAIN & GATE VALVE	---W---G	---W---G
SANITARY PIPE & MANHOLE	---S---M	---S---M
STORM PIPE & MANHOLE	---ST---M	---ST---M
UTILITY LINES & POLE	---	---
STREET BOUNDARY	---	---
PROPERTY BOUNDARY	---	---
EASEMENT	---	---
CURB & DRIVEWAY CUT	---	---
CATCH BASIN	---	---
FIRE HYDRANT	---	---
STREET TREE	---	---
ROAD SIGN	---	---
SANITARY LATERAL	---	---
STORM LATERAL	---	---
WATER LATERAL	---	---
CATCH BASIN LEAD	---	---
WATER LATERAL	---	---
ENDCAP	---	---
CULVERT	---	---
HEADWALL	---	---
PHONE PEDESTAL	---	---
SIDEWALK	---	---
URD BOX	---	---
FENCE	---	---



DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED, WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

REVISION:	NO.	DATE	DESCRIPTION
	8	2023/02/10	REISSUED FOR PERMIT
	7	2022/12/02	REISSUED FOR PERMIT
	6	2020/08/24	REISSUED FOR PERMIT
	5	2019/09/12	REVISED AS PER HRM COMMENTS (3)
	4	2019/05/14	REVISED AS PER HRM COMMENTS (2)
	3	2019/02/07	REVISED AS PER HRM COMMENTS
	2	2018/09/12	REVISED AS PER HRM COMMENTS
	1	2018/06/06	REVISED AS PER HRM COMMENTS

PROJECT NUMBER: 151-107020-01	DATE: (YYYY/MM/DD) 2018/03/20
ORIGINAL SCALE: HORIZONTAL: 1:200 VERTICAL: N/A	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
DESIGNED BY: A. THIBAUT	DRAWN BY: A. THIBAUT
CHECKED BY: K. O'LEARY	APPROVED BY: K. O'LEARY
SCALE: 1:200 METRIC	



CLIENT:
1190 BARRINGTON STREET
HALIFAX, NS

TITLE:
SITE PLAN

SHEET NUMBER: 2	OF 5
ISSUE: REISSUED FOR PERMIT	REV # 8
DATE OF: 2023/02/10	

- NOTES:
- REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR DETAILED SURFACE FINISHES AND GRADING AROUND BUILDING.
 - ON-SITE INFRASTRUCTURE AND EXISTING GRADES BASED ON WSP TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.
 - CALCULATED TREE SOIL VOLUME: $(1.5m \times 24.0m) + (\pi/4)(1.5^2)(0.6m) = 22.66m^3 = 11.33m^3$ PER TREE.

ID	Task Name	Duration	Start	Finish	Resource Names	% Complete	Actual Overtime Work
0	Timeline 1190 updated February 17 2023	1294 days	Wed 11/18/20	Fri 10/31/25		16%	0 hrs
1	Drawings and Permits	337 days	Tue 4/12/22	Wed 7/26/23		75%	0 hrs
2	Site Plan Application	115 days	Tue 4/12/22	Mon 9/19/22	HRM	100%	0 hrs
3	Site Plan 60 days	56 days	Mon 9/26/22	Mon 12/12/22	HRM	100%	0 hrs
4	Building Permit Plans	70 days	Thu 9/1/22	Wed 12/7/22	Engineers and Architect	100%	0 hrs
5	Building Permit Application	60 days	Mon 1/16/23	Fri 4/7/23	HRM	50%	0 hrs
6	IFC/tender drawings	29 days	Fri 2/24/23	Wed 4/5/23	Engineers and Architect	100%	0 hrs
7	Tender and Neg	80 days	Thu 4/6/23	Wed 7/26/23	UpmL	50%	0 hrs
8	Financing	45 days	Mon 5/1/23	Fri 6/30/23		0%	0 hrs
9	Site Work	160 days	Mon 7/3/23	Fri 2/9/24		0%	0 hrs
10	Inside Clean out of building	55 days	Mon 7/3/23	Fri 9/15/23		0%	0 hrs
11	Demo existing building	35 days	Mon 9/18/23	Fri 11/3/23	Demo Company	0%	0 hrs
12	Site Works	70 days	Mon 11/6/23	Fri 2/9/24	Site excavation contractor	0%	0 hrs
13	Foundation	92 days	Mon 2/12/24	Tue 6/18/24		0%	0 hrs
14	Excavate Footings	20 days	Mon 2/12/24	Fri 3/8/24	Site excavation contractor	0%	0 hrs
15	Footings	10 days	Tue 2/27/24	Mon 3/11/24	Concrete contractor	0%	0 hrs
16	Undergrounds	30 days	Tue 3/12/24	Mon 4/22/24	Various	0%	0 hrs
17	Basement Walls	15 days	Tue 4/23/24	Mon 5/13/24	Concrete contractor	0%	0 hrs
18	Slab on Grade	20 days	Tue 5/14/24	Mon 6/10/24	Inspector	0%	0 hrs
19	backfill foundation	6 days	Tue 6/11/24	Tue 6/18/24	Site excavation contractor	0%	0 hrs
20	Formwork	127 days	Wed 6/19/24	Thu 12/12/24		0%	0 hrs
21	Parking Level 2	14 days	Wed 6/19/24	Mon 7/8/24		0%	0 hrs
22	Ground Floor	15 days	Tue 7/9/24	Mon 7/29/24		0%	0 hrs
23	1st Floor	10 days	Tue 7/30/24	Mon 8/12/24		0%	0 hrs
24	2nd Floor	10 days	Tue 8/13/24	Mon 8/26/24		0%	0 hrs
25	3rd Floor	10 days	Tue 8/27/24	Mon 9/9/24		0%	0 hrs
26	4th Floor	10 days	Tue 9/10/24	Mon 9/23/24		0%	0 hrs
27	5th Floor	10 days	Tue 9/24/24	Mon 10/7/24		0%	0 hrs
28	6th Floor	10 days	Tue 10/8/24	Mon 10/21/24		0%	0 hrs
29	7th Floor	10 days	Tue 10/22/24	Mon 11/4/24		0%	0 hrs
30	PH Floor	10 days	Tue 11/5/24	Mon 11/18/24		0%	0 hrs
31	Roof	10 days	Tue 11/19/24	Mon 12/2/24		0%	0 hrs
32	Mechanical Roof	8 days	Tue 12/3/24	Thu 12/12/24	Formwork	0%	0 hrs
33	Framing & Exterior Board	89 days	Tue 9/24/24	Fri 1/24/25		0%	0 hrs
34	Ground Floor Framing	12 days	Tue 9/24/24	Wed 10/9/24		0%	0 hrs
35	1st Floor Framing	8 days	Thu 10/10/24	Mon 10/21/24		0%	0 hrs
36	2nd Floor Framing	8 days	Tue 10/22/24	Thu 10/31/24		0%	0 hrs
37	3rd Floor Framing	8 days	Fri 11/1/24	Tue 11/12/24		0%	0 hrs
38	4th Floor Framing	8 days	Wed 11/13/24	Fri 11/22/24		0%	0 hrs
39	5th Floor Framing	8 days	Mon 11/25/24	Wed 12/4/24		0%	0 hrs
40	6th Floor Framing	8 days	Thu 12/5/24	Mon 12/16/24		0%	0 hrs
41	7th Floor Framing	8 days	Tue 12/17/24	Thu 12/26/24		0%	0 hrs
42	8th Floor Framing	8 days	Fri 12/27/24	Tue 1/7/25		0%	0 hrs
43	Penthouse Framing	8 days	Wed 1/8/25	Fri 1/17/25	Framing contractor	0%	0 hrs
44	Basement Walls	5 days	Mon 1/20/25	Fri 1/24/25	Framing contractor	0%	0 hrs
45	Dry In	47 days	Fri 12/27/24	Mon 3/3/25		0%	0 hrs
46	Install roof decking	30 days	Fri 12/27/24	Thu 2/6/25	Framing contractor	0%	0 hrs
47	Window Installation	45 days	Tue 12/31/24	Mon 3/3/25		0%	0 hrs
48	Exterior Finishes	120 days	Tue 11/19/24	Mon 5/5/25		0%	0 hrs
49	Exterior Curtain wall	60 days	Tue 11/19/24	Mon 2/10/25		0%	0 hrs
50	Complete exterior brick	45 days	Tue 2/11/25	Mon 4/14/25	Masonry contractor	0%	0 hrs
51	Trims	15 days	Tue 4/15/25	Mon 5/5/25	Framing contractor	0%	0 hrs
52	Utility Rough-B97Ins and Complete Concrete	112 days	Thu 9/26/24	Fri 2/28/25		0%	0 hrs
53	Rough-in plumbing	90 days	Thu 9/26/24	Wed 1/29/25	Plumbing contractor	0%	0 hrs
54	Rough-in electrical	90 days	Fri 10/25/24	Thu 2/27/25	Electric contractor	0%	0 hrs
55	Rough-in HVAC	90 days	Mon 10/28/24	Fri 2/28/25	Heating and AC contractor	0%	0 hrs
56	Fire & Safety Rough ins	80 days	Fri 11/1/24	Thu 2/20/25	Fire & Safety Contractor	0%	0 hrs
57	Rough-in communication - phone, cable, computer, alarm	70 days	Fri 10/25/24	Thu 1/30/25	Electric contractor	0%	0 hrs
58	Interior Finishes	1294 days	Wed 11/18/20	Fri 10/31/25		0%	0 hrs
59	Drywall	112 days	Tue 12/31/24	Wed 6/4/25		0%	0 hrs
60	Drywall	55 days	Tue 12/31/24	Mon 3/17/25	Drywall contractor	0%	0 hrs
61	Taping	105 days	Thu 1/9/25	Wed 6/4/25	Drywall contractor	0%	0 hrs
62	Paint and Wallpaper	132 days	Thu 2/13/25	Fri 8/15/25		0%	0 hrs
63	Painting of Units	105 days	Thu 2/13/25	Wed 7/9/25	Painting contractor	0%	0 hrs
64	Painting and Vinyl corridors	20 days	Thu 7/10/25	Wed 8/6/25	Painting contractor	0%	0 hrs
65	Lobby Painting & Vinyl	7 days	Thu 8/7/25	Fri 8/15/25	Painting contractor	0%	0 hrs
66	Cabinets	55 days	Mon 8/18/25	Fri 10/31/25		0%	0 hrs
67	Installation of Cabinets	55 days	Mon 8/18/25	Fri 10/31/25	Finish carpentry contractor	0%	0 hrs
68	Finish Plumbing	30 days	Mon 9/8/25	Fri 10/17/25		0%	0 hrs
69	Plumbing Finish	30 days	Mon 9/8/25	Fri 10/17/25	Plumbing contractor	0%	0 hrs
70	Finish Electrical	35 days	Thu 6/12/25	Wed 7/30/25		0%	0 hrs
71	Finish Electrical	30 days	Thu 6/12/25	Wed 7/23/25	Electric contractor	0%	0 hrs
72	Complete communications wiring - phone, cable, computer, alarm	30 days	Thu 6/19/25	Wed 7/30/25	Electric contractor	0%	0 hrs
73	Finish HVAC	30 days	Mon 9/8/25	Fri 10/17/25		0%	0 hrs

Timeline 1190 updated February 17 2023

ID	Task Name	Duration	Start	Finish	Resource Names	% Complete	Actual Overtime Work
74	HVAC	30 days	Mon 9/8/25	Fri 10/17/25	Heating and AC contractor	0%	0 hrs
75	Carpet, Tile and Appliances	110 days	Wed 11/18/20	Tue 4/20/21		0%	0 hrs
76	Unit Tile and Laminate	55 days	Thu 5/22/25	Wed 8/6/25	Flooring contractor	0%	0 hrs
77	Corridor Flooring	15 days	Thu 6/12/25	Wed 7/2/25	Flooring contractor	0%	0 hrs
78	Lobby Flooring	10 days	Thu 7/3/25	Wed 7/16/25	Flooring contractor	0%	0 hrs
79	Install appliances	40 days	Thu 7/3/25	Wed 8/27/25	Appliance contractor	0%	0 hrs
80	Landscaping and Grounds Work	35 days	Wed 5/1/24	Tue 6/18/24		0%	0 hrs
81	Pour concrete driveway and sidewalks	15 days	Wed 5/1/24	Tue 5/21/24	Concrete contractor	0%	0 hrs
82	Sod and complete plantings - front yard	20 days	Wed 5/22/24	Tue 6/18/24	Landscape contractor	0%	0 hrs
83	Final Acceptance	10 days	Thu 8/28/25	Wed 9/10/25		0%	0 hrs
84	Complete final inspection for certificate of occupancy	10 days	Thu 8/28/25	Wed 9/10/25	Inspector	0%	0 hrs

APPENDIX

E NOTICES

&

NOTIFICATION

BOARD



Proposed Multi-Unit Building – 1190 Barrington Street

Traffic Disruption - Notification Letter

Pam Priest

Universal Contracts Limited
Project Manager
902-430-6721
4th Floor, 1190 Barrington Street
Halifax, NS, B3J 2P8
Email – pam@univesalgroup.ca

Dear Resident,

To facilitate **(Proposed Construction Activity)** at 1190 Barrington Street, traffic distributions will occur on **(Street), (Date), between the hours of (0:00 & 0:00)**. During this time, **(Street)** will be reduced to one lane with stop and go traffic control. It is expected this will cause minor delays that should be taken into consideration prior to your commute.

We apologize for any inconvenience this may cause, should you have any question with regards to the above, please feel free to contact us directly.

Kind Regards,

Pam Priest

Project Manager

Universal Contracts Limited



Proposed Multi-Unit Building – 1190 Barrington Street

Sidewalk Closure Notification Disruption - Notification Letter

Pam Priest

Universal Properties
Project Manager
902-496-0919
4th Floor, 1190 Barrington Street
Halifax, NS, B3J 2P8
Email – pam@univesalgroup.ca

Dear Resident,

This letter is to inform you that to facilitate the construction at 1190 Barrington Street, the portion of sidewalk located on Tobin Street adjacent to the site will be permanently closed. It is anticipated that the sidewalk will be close on June 1st, 2019 and remain closed for 20 Months. During the construction, temporary walkways complete with concrete barricades will be installed on both Barrington and South Streets to minimize the impact of the construction as much as possible.

We apologize for any inconvenience this may cause, should you have any question with regards to the above, please feel free to contact us directly.

Kind Regards,

Pam Priest

Project Manager

Universal Contracts Limited

Development Board Information



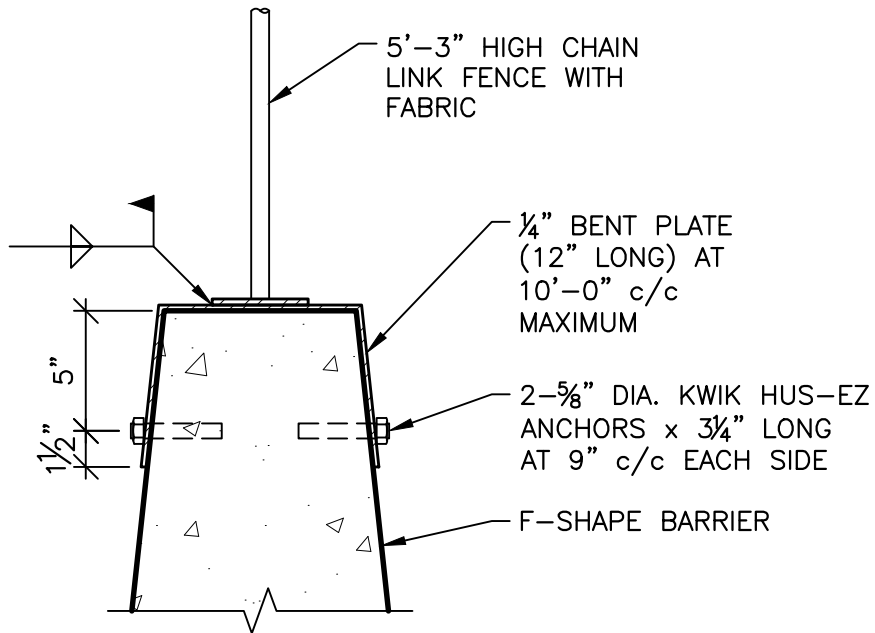
Proposed 9 Storey Multi-Unit Building – 1190 Barrington Street

<p>Developer</p> <p>Nelson Investments Limited 1190 Barrington Street PO BOX 384 Halifax, NS, B3J 1B6</p>	<p>Contractor/General</p> <p>Universal Contracts Limited 1190 Barrington Street PO Box 384 Halifax, NS, B3J 1B6</p>
<p style="text-align: center;">24 Hour Emergency Contact:</p> <p style="text-align: center;">Pam Priest Project Manager – Universal Contracts Limited 902-430-6721</p>	

APPENDIX

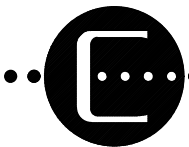
F CONSTRUCTION HOARDING AND SIGNAGE





TYPICAL FENCE SUPPORT

SCALE: 1 1/2"=1'-0"



**CAMPBELL COMEAU
ENGINEERING LIMITED
CONSULTING ENGINEERS**

2719 GLADSTONE STREET
SUITE 110 HALIFAX, N.S. B3K 4W6
Tel: 429-5454 Fax: 444-3099
Email: cce@campbellcomeau.ns.ca

dwg no:

SK-1

project no.:

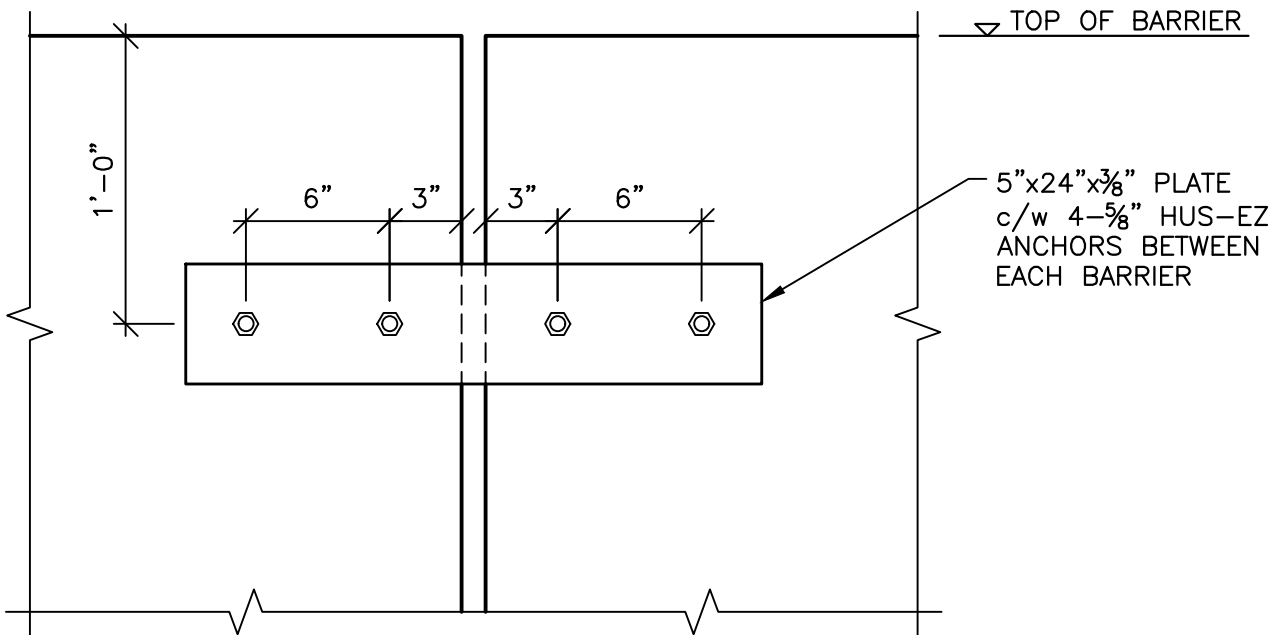
30516

project: 1190 BARRINGTON STREET

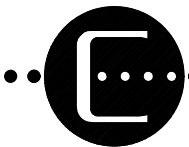
drawn: AH

title: TYPICAL FENCE SUPPORT

date: 2019/07/08



TYPICAL JOINT BETWEEN BARRIERS
 SCALE: 1 1/2"=1'-0"



**CAMPBELL COMEAU
 ENGINEERING LIMITED
 CONSULTING ENGINEERS**

2719 GLADSTONE STREET
 SUITE 110 HALIFAX, N.S. B3K 4W6
 Tel: 429-5454 Fax: 444-3099
 Email: cce@campbellcomeau.ns.ca

dwg no:

SK-2

project no.:

30516

project: 1190 BARRINGTON STREET

drawn: AH

title: TYPICAL JOINT BETWEEN BARRIERS

date: 2019/07/08

UltraMesh® Pro is a 7 oz. coated, polyester, mesh banner substrate that is engineered for building wraps, fence graphics, barricade graphics and a variety of indoor and outdoor applications. UltraMesh Pro is compatible for use with solvent, eco-solvent, UV, Latex and screen printing. Available in widths of 126" and 196".

Material Details

CHARACTERISTICS	TEST METHOD	METRIC	ENGLISH
Support Cloth	DIN ISO 2076	Polyester	
Yard dtex	DIN EN ISO 2060	1100 x 1100 dtex	1000 x 1000 denier
Coating Type		PVC	
Total Weight	DIN EN ISO 2286-2	240 g/m ²	7.04 oz/yd ²
Tensile Strength	DIN EN ISO 1421	2400 x 1500 N/5cm	273 x 171 lbs/in
Tear Strength (warp/weft)	DIN 53363	300 x 250 N	67 x 56 lbs
Air Permeability	DIN EN ISO 9237	1400 l/m ² /s	
RF Weldable (Heat Sealable)	DIN 53354	Yes	Yes
Percentage of Opening		14.8%	
Fire Resistance		NFPA701, Title 19, CSFM	

Applications

	Building Wraps	Fence Graphics	Stadium Graphics	Barricade Graphics	Street Graphics	Indoor Graphics	Outdoor Graphics
Applications	■	■	■	■	■	■	■

Ink Printability

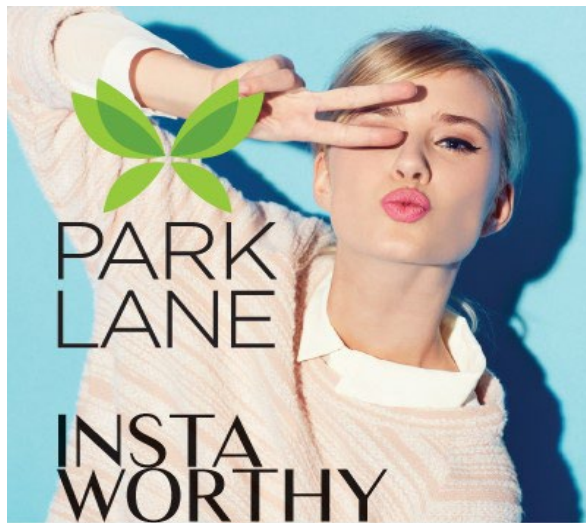
Solvent	Eco Solvent	UV	Latex	Screen Printing	Dye Transfer	Dye Direct
■	■	■	■	■		

Available Sizes

Metric (m)	English (inches)
3.20, 5.00	126, 196

The information on physical and chemical characteristics is based upon tests believed to be reliable. The values are intended only as a source of information. A legally binding guarantee of specific properties is not to be inferred from our specifications. They are given without guarantee and do not constitute a warranty. The purchaser should independently determine, prior to use, the suitability of the material for his/her specific purpose. (Data represents averages and is not intended for use as a specification.)

BEAUTIFICATIONS



5657 SPRING GARDEN ROAD
SHOPPARKLANE.CA

MANAGED BY UNIVERSAL REALTY GROUP



**Quality Apartments.
Great Locations.**

**902-425-8877 universalgroup.ca
Building Excellence**



Call 1-800-565-2020
lordnelsonhotel.ca



MANAGED BY UNIVERSAL REALTY GROUP



**NOW LEASING!
Call 902-802-2592**

thecharlesapartments.ca

DEVELOPED & MANAGED BY



Safety Signage – See Appendix A For Locations



AUTHORIZED PERSONNEL ONLY

JOB SPECIFIC

PPE

REQUIRED

Office # - 902-404-8547



Frontline



APPENDIX

G HAUL ROUTES



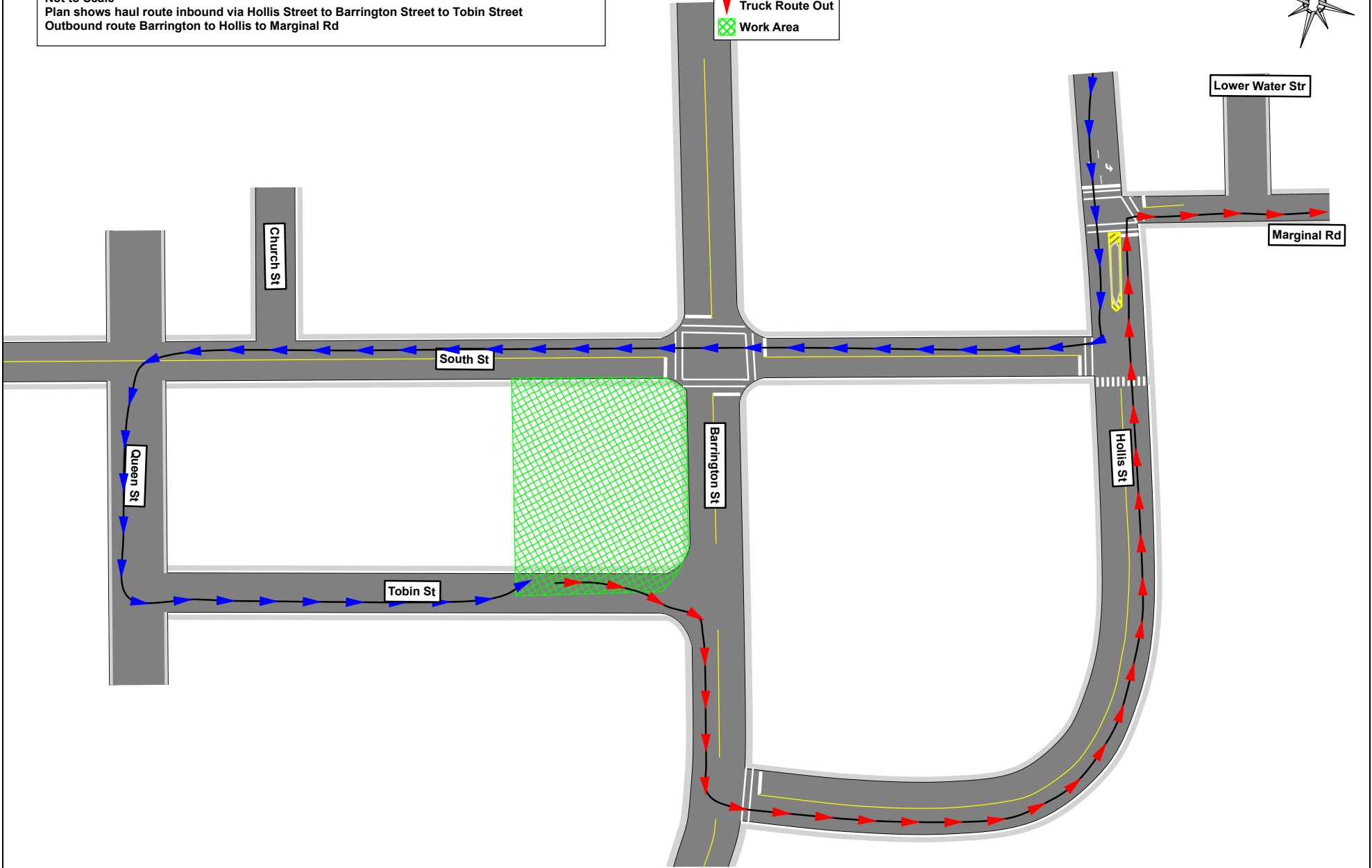
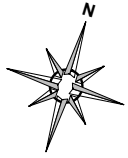
Date: 2023-03-09 Author: Norman Bussmann, TWS, 902-817-3364 Project: 1190 Barrington Street
Contractor: WSP Contact: Peter Gorman, 782-640-7374

Comments:
Not to Scale
Plan shows haul route inbound via Hollis Street to Barrington Street to Tobin Street
Outbound route Barrington to Hollis to Marginal Rd

Legend

- Truck Route In
- Truck Route Out
- Work Area

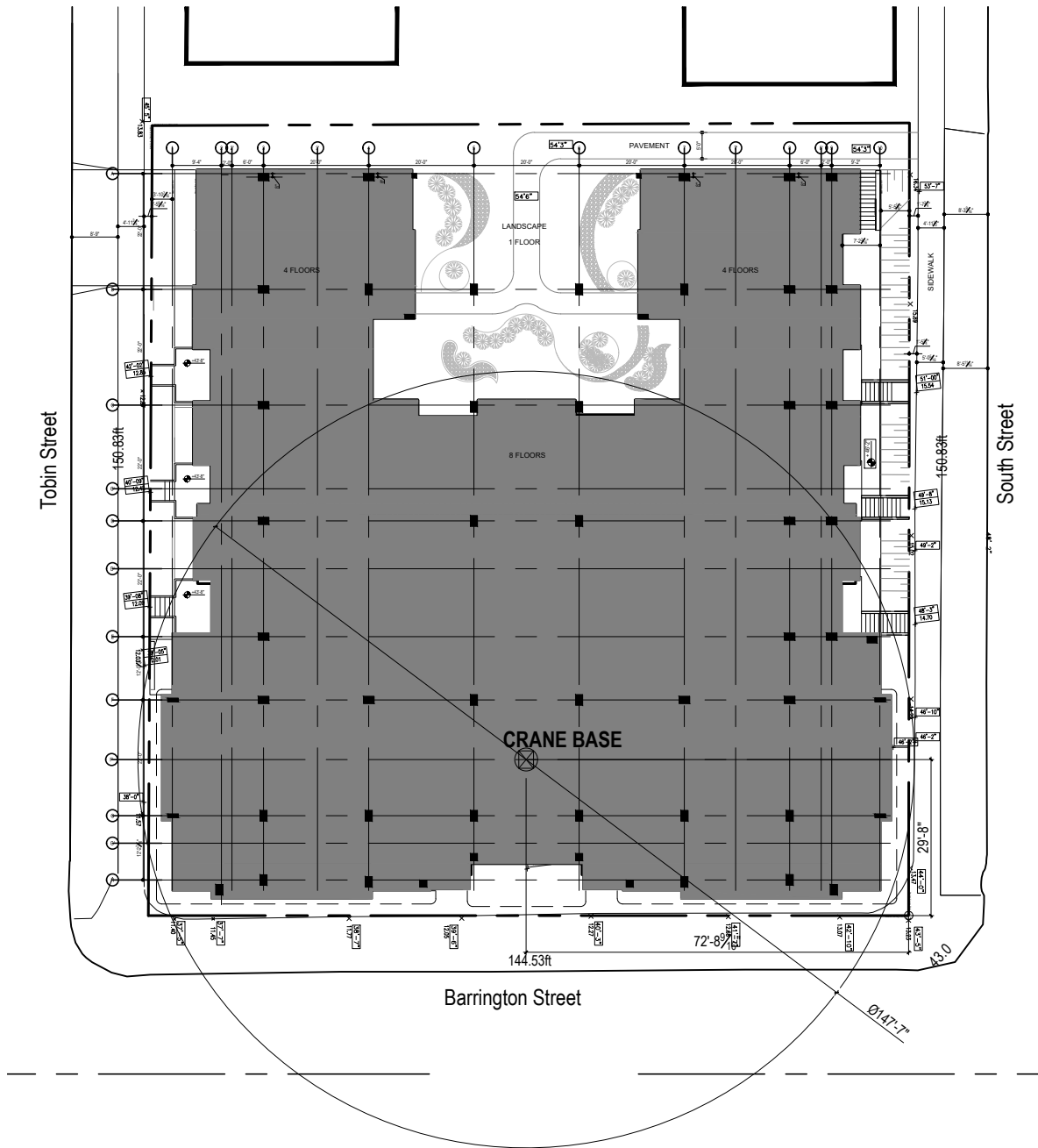
Haul Route Plan



APPENDIX

H TOWER CRANE LOCATION





-CRANE DIAMETER 45M = 147'-7"
 -TOP OF THE CRANE APEX WILL BE NO MORE THEN 40'
 ABOVE FINISHED ROOF

ARCHITECT



Kassner Goodspeed Architects Ltd.

5663 Cornwallis Street, Suite 200 Halifax, NS B3K 1B6
 tel 902.422.1557 | fax 902.422.8685 | www.kgarch.ns.ca

PROJECT
**1190 BARRINGTON STREET
 REDEVELOPMENT**

1190 BARRINGTON ST. HALIFAX

DRAWING
CRANE LOCATION

SCALE
 1/32"=1'-0"

DRAWN BY

PLOT DATE
 Jan 23, 2019

PROJ. NO.
 1513

PAGE NUMBER

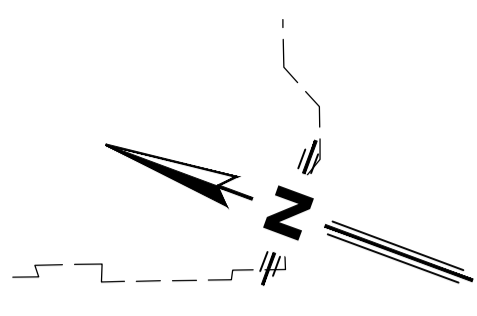
ASK-01

APPENDIX



STORMWATER MANAGEMENT PLAN





CORNWALLIS PARK

BARRINGTON STREET

PROPERTY BOUNDARY

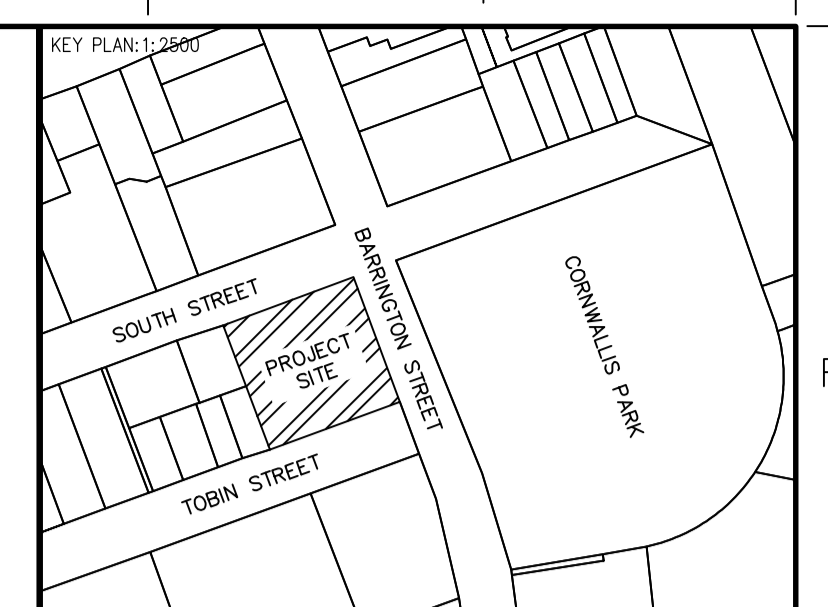
PROPOSED RESIDENTIAL/COMMERCIAL BUILDING

TOBIN STREET

SOUTH STREET

STORMWATER CALCULATIONS - SCS METHOD	
PRE-DEVELOPMENT CONDITIONS SURFACE CLASSIFICATIONS TOTAL DRAINAGE AREA = 2015m ² ± • BUILDING FOOTPRINT = 852m ² ± • CONCRETE/PAVED = 898m ² ± • LANDSCAPED = 265m ² ± CN = 96	POST-DEVELOPMENT CONDITIONS SURFACE CLASSIFICATIONS TOTAL DRAINAGE AREA = 2015 m ² ± • BUILDING FOOTPRINT = 1472 m ² ± • CONCRETE/PAVED = 258m ² ± • LANDSCAPED = 285m ² ± CN = 95
PRE-DEVELOPMENT PEAK DISCHARGE Q _{5yr} = 42 L/s Q _{10yr} = 48 L/s Q _{25yr} = 52 L/s Q _{50yr} = 57 L/s Q _{100yr} = 67 L/s	POST-DEVELOPMENT PEAK DISCHARGE Q _{5yr} = 41 L/s Q _{10yr} = 47 L/s Q _{25yr} = 52 L/s Q _{50yr} = 57 L/s Q _{100yr} = 67 L/s
POST-DEVELOPMENT PEAK DISCHARGE = 41 L/s ± (5YR) STORMWATER LATERAL PIPE - 200mm Ø @ 2% Q(FULL) = 60 L/s > Q(PEAK) = 41 L/s	

- NOTES:
- LOCATION OF EXISTING UNDERGROUND ELECTRICAL, PIPE AND SERVICE LATERALS ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO SCHEDULED CONSTRUCTION. THIS MAY INCLUDE HYDROVACUUMING OR EXPOSING PIPEWORK (I.E. EXCAVATING AND REINSTATING) AT SPECIFIC LOCATIONS. ALL DISTURBED AREAS (INCLUDING SERVICE LATERALS) TO BE REINSTATED.
 - EXISTING INFRASTRUCTURE WITHIN RIGHT OF WAYS OBTAINED FROM HERITAGE GAS RECORD INFORMATION AND HALIFAX WATER GIS.
 - ON-SITE INFRASTRUCTURE BASED ON WSP TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 21, 2017.
 - MAINTAIN AT LEAST 500mm BETWEEN 300mm WATER AND MHTI. IF SEPARATION CANNOT BE MET, PROVIDE RIGID INSULATION OR NON SHRINK FILL BETWEEN MHTI AND WATERMAIN.



LEGEND:	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
LOTLINE	---	---
WATERMAIN & GATE VALVE	—W—W—	—W—W—
SANITARY PIPE & MANHOLE	—S—S—	—S—S—
SANITARY PIPE & MANHOLE	—S—S—	—S—S—
STORM PIPE & MANHOLE	—ST—ST—	—ST—ST—
UTILITY LINES & POLE	—U—U—	—U—U—
STREET BOUNDARY	---	---
PROPERTY BOUNDARY	---	---
EASEMENT	---	---
CURB & DRIVEWAY CUT	---	---
CATCH BASIN	CB	CB
FIRE HYDRANT	—FH—	—FH—
STREET TREE	—T—	—T—
ROAD SIGN	—RS—	—RS—
		SANITARY LATERAL
		STORM LATERAL
		WATER LATERAL
		CATCH BASIN LEAD
		CULVERT
		HEADWALL
		SIDEWALK
		FENCE

DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED. WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. SEE SHEET 5 FOR CONSTRUCTION NOTES AND DETAILS.

NO.	DATE	DESCRIPTION
0	2023/03/10	ISSUED FOR REVIEW - CMP

PROJECT NUMBER: 151-107020-01	DATE: (YYYY/MM/DD) 2023/03/10
DESIGNED BY: B. SMYTH	DRAWN BY: B. SMYTH
CHECKED BY: A. MCCARTHY	APPROVED BY: B. SMYTH

wsp
 WSP Canada Inc.
 1 Spectacle Lake Drive
 Dartmouth, Nova Scotia, Canada B3B 1X7
 T 902-835-9955 F 902-835-1645 www.wspgroup.com

CLIENT:
UNIVERSAL PROPERTIES

PROJECT:
**1190 BARRINGTON STREET
 HALIFAX, NS**

TITLE:
STORMWATER MGMT PLAN

SHEET NUMBER: 1	1 OF 1
ISSUE: ISSUED FOR REVIEW	REV # 0
DATE OF: 2023/03/10	

APPENDIX

J HAZARD ASSESSMENT





Project Risk Assessment & Safety Plan

Project Information			
Office	1190 Barrington Street	Business Unit	
Project	9 Story Multi-Use Building	Segment Market	
Project Address	1190 Barrington Street	Client	Nelson
Project Manager	Pam Priest	Site description	4 Story - Existing Building
PRASP Date	December 6th, 2018	Start Date	TBD
Completed by	Edward Tawil	End Date	TBD

Project Contacts			
Name	contact	Title	Signature
Pam Priest			

Emergency Medical Care	
First Aid Kit available in the following location	TBD
On-site First Aider(s)	TBD
Muster point	TBD

Safety Plan requirement	
Is WSP the Prime Contractor or Constructor ?	NO
Is there a safety plan on the site ?	YES

If WSP is not acting as prime contractor/constructor, review and have available on site the site safety plan.



Risk Assessment & Controls

#	Tasks	Conditions, Hazards, or Risks	Weighting Factors Without Controls			Basic Controls	Additional or Specific Controls	Implement Date	Person Responsible	Weighting Factor With Controls			Comments
			Severity	Likelihood	Risk					Severity	Likelihood	Risk	
1	Excavaton	Trenching or excavation (entry)	Extreme	Unusual, but Possible	High	Consider alternative measures before entering a trench or excavation. Verify inspection is completed and the slope is stable (weather conditions or seasonal changes causing freezing and thawing can change the stability of the slope). Trench box or other supports should be considered if appropriate sloping is not present. Ensure appropriate access and egress. Do not enter unless atmospheric conditions are confirmed to be safe. Confirm spoil piles are a minimum of 1m from the edge of the trench or excavation.	Close Sidewalks & Driveways surrounding site (Vehicle and Pedestrian Safety). Encroachment will maintain perimeter for site.			Low	Low	Low	HSE-PRO-64-1002
2	Rock Blasting	Noise Exposure	High	Quite Possible	High	Avoid or reduce noise if possible. Reduce exposure time. Increase distance from the noise source. Appropriate hearing protection (possible double hearing protection).	Close Sidewalks & Driveways surrounding site. Ensure communication is being used at all times			Low	Low	Low	HSE-PRO-64-1001
3	Heavy Machinery Operation	Work around heavy equipment	Extreme	Unusual, but Possible	High	Maintain minimum safety zone. Stay out of blind spots. Receive authorization prior to approaching. Make eye contact. Wear high visibility apparel.	Overtuning may occur, ensure vehicles are not in range, and proper distances are used between pedestrians and activities			Negligible	Low	Low	HSE-PRO-64-1003
4	Hoisting Operations	Working at heights (fall arrest equipment use)	Extreme	Unusual, but Possible	High	Ensure employees have required training and that training is valid. Where possible, guardrails should be implemented and used. This task requires a fall protection plan and rescue plan (for example, how are workers going to be rescued if they fall? Is high angle rescue required?). Ensure PPE (e.g. lanyard) is inspected prior to use and that it is used correctly.	Objects at heights may fall onto vehicles or hurt pedestrians, proper lifting techniques will be used. Never suspend over the public relm			Moderate	Low	High	HSE-PRO-64-0113, HSE-PRO-64-0122
5	Concrete Work	Presence of multiple workers/contractors or activities concurrent in the same work zone.	Extreme	Low	High	Ensure the work is being coordinated	Proper PPE, communication used at all times.			Negligible	low	Low	
6	Vehicular & Pedestrian Activites	Working on active construction site	Extreme	Unusual, but Possible	High	Ensure site specific orientation is completed (from Prime Contractor or Constructor), including emergency response plans (medical and evacuation) if required. Ensure appropriate PPE is worn. Check in with General Contractor and discuss work activity and area.	Vehicular and pedestrian signage will be poseted around project site. Notification for construction will be sent prior to onsite activities			Low	Low	Low	HSE-PRO-64-0212
7	Construction Signage	Public roadways	Extreme	Unusual, but Possible	High	Traffic control plan High visibility PPE. Frequent review of traffic conditions. Updating the plan as required.	Signage will be securly fixed to existng poles/barries/fences			Low	Low	Low	HSE-PRO-64-0210, HSE-PRO-64-0210,1
8	Dangerous Materials	Presence of hazardous substances (benzene, lead, mercury, silica, vinyl chloride, arsenic, H2S, CO, CO2, isocyanate, acrylonitrile, coke oven emissions, Ethylene oxyde.)	Extreme	Quite Possible	High	Identify substances that may be present. Confirm. Review SDS. Limit exposure duration. Use appropriate PPE. Determine if control plan is required. Check provincial legislation for specific requirements for identified substances.	Contractor will use and store materials properly as per specifications			Low	Low	Low	HSE-PRO-64-0114, HSE-PRO-64-0115
9	Service Insallations & Reinstatement of	Public roadways	Extreme	Unusual, but Possible	High	Traffic control plan High visibility PPE. Frequent review of traffic conditions. Updating the plan as required.	Proposed Encroachment will ensure barriers and signage is set up			Low	Low	Low	HSE-PRO-64-0210, HSE-PRO-64-0210,1
10	Fallen Debris	Falling objects on public roadways	Extreme	low	High	a) Covered passageway if the work being done is on more than one story and if the sidewalk, or the public roadway, is closer than 2m from the site or the projection is at the sidewalk level or public roadway, or b) a protection wall if the sidewalk or public roadway is at least 2m away and if there could be a danger for the pedestrians.				Negligible	Not Likely	Low	

Step 1 - Determine Task Risk Level

Severity (according to consequences)					Likelihood				
					Not known to occur in our industry	Could occur in our industry	Has occurred in our industry, but rare.	Occurs several times a year in industry or org.	Occurs frequently
Severity of Consequences	Personal or Public Injury Possibility	Environmental Impact	Property Damage/Fines	Public Relations & Client Perception	Not Likely	Low	Unusual, but Possible	Quite Possible	Expected
Extreme	Fatality/Permanent Disability, or Widespread Occupational Illness	"Long-term" or irreversible on whole ecosystem (> than 6 months), or "significant" on sensitive environments	Loss of property/facilities, or high Financial impact (+ \$50,000)	Criminal investigation, loss of client, impact on shareholders/board of directors or uncontrollable public uproar					
High	Lost time injury or partial permanent disability, long-term modified work (> 8 weeks), or serious illness	"Long-term" on partial ecosystem (> than 6 months), requires management by external authorities or "any" on sensitive environments	Loss of property/equipment, or \$5,000 to \$50,000 Damage	Loss of contract, detrimental client impact, large PR impact inquiring resources, and/or executive involvement, notification to the board of shareholders/board of directors					
Moderate	Short-term modified work (< 8 weeks), medical aid, or minor illness	Medium-term Environmental Impact (1 to 6 months), reportable to authorities	Between \$500 to \$5,000 damage	Adverse client impact and/or PR action required					
Low	First aid or irritations	Short-term effects on immediate area without impacting sensitive ecosystem (up to 1 month)	Up to \$500 damage	Short-term client impact or short-term, local stakeholder issue					
Negligible	Minor impact (e.g. slight bruising), or nuisances	"Very minor" on immediate area (few days duration)	Minor; internal repair or replacement required	No client/public impact					

Step 2 - Determine Action Requirements for Uncontrolled Risks

Color Code	Risk Controls
	Immediate corrective actions or controls are required. Work activity must be stopped until the risk is reduced to the lowest possible level. A detailed Safe Work Practice/Procedure is required and its implementation must be monitored. Specific PPE or other equipment may be necessary.
	Urgent. Corrective actions or controls are required as soon as possible to eliminate or reduce the level of risk and be implemented within a certain time-limit.
	Risk must be reduced to meet compliance requirements but, non-emergency situations. If this level is the result of measures taken in priorities 1 and 2, accept risk but maintain monitoring and control.
	Low risk, compliant with legal requirements and WSP Canada objectives. No further action required. Maintain surveillance and control.

When implementing hazard controls always consider the two at the top of the hierarchy first; elimination and substitution. Is there anything you can do to completely eliminate the risk from the environment? Can you use a safer system, tool, piece of equipment, or substance?

1190 Barrington Street - Workplace H&S Inspection

Property Address: 1190 Barrington Street, Halifax NS

Completed By:

AREAS / ITEMS TO INSPECT	√ =OK X =Take Action	AREAS / ITEMS TO INSPECT	√ =OK X =Take Action
1. ADMINISTRATION		7. OTHER WORK AREA CONDITIONS	
a) Policy, Act, Regulations are Posted / Accessible		a) Floors/Walkways Free of Trip, Slip and Fall Hazards	
b) Hazard Assessments Completed / Reviewed		b) Clear Access provided to Exits & Critical Equipment	
c) Safe Work Practices/Procedures Written/Available		c) Ice and Snow Hazards are Controlled	
d) Discipline Policy & Rules are Posted /Distributed		d) Areas Free of Sharp and Protruding Objects	
e) Health & Safety Training Appropriate & Current		e) Locked Doors are not Restricting Emergency Escape	
f) Accident / First Aid Reports Completed		f) Garbage is Controlled with Adequate Storage	
g) Safety Meetings Held / Minutes Posted		g) Facilities in Sanitary Condition	
h) Critical Tools & Equipment Maintained / Records		h) Working Space is Adequate for Use of Equipment	
i) OH&S Records / Corrective Actions Maintained		i) Yard / Parking Areas free of Glass / Other Hazards	
2. CRITICAL TASKS		j) Chairs and Railings provide adequate Support	
a) Servicing Energized Equipment		k) File and Cabinet Drawers are kept Closed	
b) Working at Heights		l) Fall Areas are Controlled	
c) Material Handling		m) Housekeeping Conditions free of Clutter & Hazards	
d) Manual Lifting		n) Lighting / Temperature is Adequate for Space Use	
n) Working with Hazardous Substances		o) Noise Areas are Controlled	
o) Operating Equipment		p) Ventilation is Adequate for Work / Use of Space	
p) Cleaning & Handling Garbage		q) Workspace Design Minimizes Body Stress	
3. PERSONAL PROTECTIVE EQUIP		r) Health Hazards (dust, mold, fumes) are Controlled	
a) PPE Available and Worn as per Policy		8. HAZARDOUS MATERIALS	
b) Workers Trained in PPE Selection/Care / Use / Fit		a) Supplier / Workplace Labels Available and Used	
c) PPE Maintained / Condition Good		b) SDS Sheets are Accessible and Current	
4. VEHICLES / TOOLS / EQUIPMENT		c) Flammable / Chemical Vapors are Exhausted	
a) Equipment, Tools & Devices in Good Condition		d) Hazardous Substances are Contained / Covered	
b) Defective Tools / Equipment Removed / Tagged		e) Spill Absorbent Material is Available	
c) Schedule and Record of Maintenance Available		9. IDENTIFICATION / WARNING	
d) Electrical Tools Grounded / Double Insulated		a) Emergency Evacuation / Exit Routes are Identified	
e) Critical Moving Parts are Guarded		b) Hazardous Substances are Labeled	
f) Capacities Posted on Racks & Lifting Equipment		c) Electrical Panels, Pipes, Lines & Valves Identified	
5. ENERGIZED SYSTEMS		d) Warning Signs/Tape/Tags/ Pylons / Fences in Place	
a) Sources of Electrical Supply Secured		e) Service Rooms Identified to facilitate Access	
b) Lock-Out Provisions and Procedures are in Place		f) Hazardous Areas (falls, storage) are Identified	
c) Electrical Room kept Clear of Stored Items		10. EMERGENCY RESPONSE	
6. MATERIAL HANDLING/STORAGE		a) Alarm & Sprinkler Equipment Available, Serviced	
a) Material Storage & Stacking is Stable and Secured		b) Emergency Lighting in Working Order Serviced	
b) Storage Areas Provide Clear Access to Materials		c) Emergency Generators, Batteries Tested, Serviced	
c) Flammable Materials Secured from Ignition		d) Emergency Contacts, Procedures Posted, Distributed	
d) Areas Appropriate for Material Stored.		e) Fire Drills, Review Meetings, Training Provided	
e) Chemical Storage Areas are Vented		f) First Aid Kits and Eye Wash Facilities Adequate	
f) Lifting Equipment Available- Material Handling		g) Staff with First Aid Training On-site	
Additional Notes:			

Workplace Inspection Report- 1190 Barrington Street. Halifax NS

AREAS / ITEMS TO INSPECT	Initial & Date When Resolved	AREAS / ITEMS TO INSPECT	Initial & Date When Resolved
1. ADMINISTRATION		7. WORK AREAS AND CONDITIONS	
a)		a)	
b)		b)	
c)		c)	
d)		d)	
e)		e)	
f)		f)	
g)		g)	
h)		h)	
i)		i)	
2. CRITICAL TASKS		j)	
a)		k)	
b)		l)	
c)		m)	
d)		n)	
e)		o)	
f)		p)	
g)		q)	
3. PERSONAL PROTECTIVE EQUIP		r)	
a)			
b)			
c)			
4. TOOLS and EQUIPMENT		8. HAZARDOUS MATERIALS	
a)		a)	
b)		b)	
c)		c)	
d)		d)	
e)		e)	
f)			
5. ENERGIZED SYSTEMS		9. IDENTIFICATION / WARNING	
a)		a)	
b)		b)	
c)		c)	
d)		d)	
e)		e)	
f)		f)	
6. MATERIAL HANDLING/STORAGE		10. EMERGENCY RESPONSE	
a)		A	
b)		b)	
c)		c)	
d)		d)	
e)		e)	
f)		f)	
g)		g)	
Additional Notes:			
Copies:			

APPENDIX

K COMMUNITY ENGAGEMENT





Proposed Multi-Unit Building – 1190 Barrington Street

Community Consultation Notification Letter

Pam Priest

Universal Contracts Limited
Project Manager
902-430-6721
4th Floor, 1190 Barrington Street
Halifax, NS, B3J 2P8
Email – pam@univesalgroup.ca

Dear Neighbour,

Nelson Investments Limited is proposing to construct a new multi-use building at 1190 Barrington Street, replacing the current 4 story building.

Before any construction is to begin, Universal Contracts Limited has scheduled a meeting for anyone interested to come meet and receive more information about the construction plans, schedule, activities, and to answer any questions relating to the project.

The meeting is scheduled for 7:00 pm on January 14th, 2019, 1190 Barrington St – 4th Floor. Please let us know if you plan to attend this meeting.

Kind Regards,

Pam Priest
Project Manager
Universal Contracts Limited

1190 New Development



Sign in sheet

January 14th, 2019

NO.	Name	Address Option	PHONE	EMAIL
01				
02				
03				
04				
05				
06				
07				
08				
09				
10				
11				
12				
13				
14				
15				
16				
17				
18				
19				
20				
21				

Original Signed
Original Signed

Tawil, Edward

From: Pam Priest [mailto:pam@universalgroup.ca]
Sent: Tuesday, January 15, 2019 9:38 AM
To: Smyth, Benjamin <benjamin.smyth@wsp.com>; Mani Suissa <mani@universalgroup.ca>; Dan Goodspeed <dan@kgarch.ns.ca>; Ihsan Salim <Ihsan@kgarch.ns.ca>
Cc: Cody Field <Cody@universalgroup.ca>
Subject: 1190 Barrington - New Development - CMP - Public Meeting

Good Morning Benjamin,

As required we conducted the Public Meeting Last night on 1190 Barrington Street as an requirement for the CMP report, the following are the notes on the meeting.

The meeting took place at 1190 Barrington Street between the hours of 7 pm to 9 pm.

A sign in sheet was provided and most signed there was 9 in attendance and 5 signed the sheet, two of the attending were Universal Staff, I have attached a copy of this sign in sheet:

- Deborah MacAskill 5230 Tobin
- Mike Moors 5230 Tobin
- David Mitchel 5230 Tobin
- H. Harold 5230 Tobin
- David Copp 5225 Tobin
- Ashley Morine Universal Staff
- Cody Field Universal Staff

There was also one email for questions from an owner in the area Cauley O'Day I have attached a copy of the email with response.

There was several questions and concerns brought up in the meeting.

1. Height of the building – the tenant Mike Moors at 5230 which is located beside the building said he believes that we are over the allowed height restriction, and believes we will block views. I addressed his concerns and advised him we are meeting and have approval on our current heights.
2. Affordable Housing – this question was asked but I was unable to answer the question at this time
3. Dust Control – the tenants at 5230 were concerned over the dust and that they want us responsible to clean their balconies
4. Parking – concerns over where the contractors are going to park and also after construction where all the visitors will park as they feel the area is congested now.
5. Our Parking Entrance – the tenants at 5230 are concerned at where our entrance to the garage is they feel it will cause issues being right across from theirs and too much traffic

6. Use of Tobin for Construction – the tenants at 5230 are concerned on using the street, and want to ensure that they have the option to go left or right, they want to ensure they have no issues getting into the garage, also they are worried about their move in trucks park on the street
7. Tenant at 5230 was concerned over noise that during the day this might upset his Dog, he feels he will need to move out of the area.
8. Lighting of the building – tenants at 5230 want to ensure that we do not have a lot of lighting that will be shining on their building
9. Blasting – Tenants would like to be informed if and when we will be blasting
10. Tenants at 5230 do not like that we have commercial space in the front, want to know what type of tenant we will have here.
11. Tenants wanted to know what type of tenants we are looking to have in the building
12. There was concerns over another building going up at corner of Kent and tenants at 5230 feel too much is being built in the city
13. There was questions and a few concerns on the look of the building

Pam Priest
Capital Projects

t 902-496-0919 f 902-429-9952
e pam@universalgroup.ca w www.universalgroup.ca
4th Floor - 1190 Barrington Street, P.O. Box 384
Halifax, Nova Scotia, Canada B3J 1P8



Tawil, Edward

From: Pam Priest <pam@universalgroup.ca>
Sent: January-14-19 6:24 PM
To: Cauley O'Day
Subject: RE: Jan 14th meeting

Good Evening,

- There is 8 stories with step in's
- The bottom floor is commercial space at the front
- The building is residential rentals
- The street level is stone and glass, with townhouses on the bottom level of the sides.
- We are estimating starting the project possible fall, but could extend into 2020 start time. The project will take up to 22 months for completion

Let me know if there is anything else I can help with

Pam

From: Cauley O'Day <cauleyoday@gmail.com>
Sent: January 14, 2019 5:33 PM
To: Pam Priest <pam@universalgroup.ca>
Subject: Re: Jan 14th meeting

I guess I'd be interested in:

- the overall size of the new development
- the building usage
- street level experience (concrete walls, glass, storefronts, etc...)
- expected construction timeframe

Thanks in advance,

Cauley

On Jan 14, 2019, at 3:21 PM, Pam Priest <pam@universalgroup.ca> wrote:

There is not a slide deck to show at this time, but you are welcome to send me some questions you might have and I will try my best to answer them

Pam Priest
Capital Projects

t 902-496-0919 f 902-429-9952
e pam@universalgroup.ca w www.universalgroup.ca
4th Floor - 1190 Barrington Street, P.O. Box 384
Halifax, Nova Scotia, Canada B3J 2P8

Building & Serving Excellence



-----Original Message-----

From: Cauley O'Day <cauleyoday@gmail.com>

Sent: January 14, 2019 3:19 PM

To: Pam Priest <pam@universalgroup.ca>

Subject: Re: Jan 14th meeting

Hi Pam, unfortunately something has come up and I will not be able to attend this evening. If there is a slide deck or similar that you are able to share would you be able to send it my way?

Best,

Cauley O'Day

> On Jan 9, 2019, at 8:22 AM, Cauley O'Day <cauleyoday@gmail.com> wrote:

>

> Good morning, I would like to attend Monday's meeting on the development on Barrington. I own a few condos near by and am curious as to your plans.

>

> Best,

>

> Cauley O'Day

APPENDIX

L NAV AND TRANSPORT CANADA





Transport Canada number #2019-009
Applicant number

AERONAUTICAL ASSESSMENT FORM FOR OBSTACLE EVALUATION

SECTION 1

Owner's Name Universal Contracts Limited		Contact Person Pam Priest	
Address 1190 Barrington Street			
City Halifax		Province Nova Scotia	Postal Code B3N 0A5
Telephone number (999-999-9999)	Fax number (999-999-9999)	Email Address	

SECTION 2

Applicant's Name WSP Canada Inc.		Contact Person Brandi Murphy	
Address 1 Spectacle Lake Drive			
City Dartmouth		Province Nova Scotia	Postal Code B3B 1X7
Telephone number (999-999-9999)	Fax number (999-999-9999)	Email Address brandi.murphy@wsp.com	

SECTION 3

Description of Proposal (or as attached)
Construction of new residential / commercial building. Tower crane will be used.

Crane height: 175 ft. (40 ft. above finished roof)

Crane location drawing included.

SECTION 4

Nearest Community Halifax	Province Nova Scotia
-------------------------------------	--------------------------------

SECTION 5	SECTION 6
------------------	------------------

Nearest Aerodrome IWK Hospital Heliport	Have you contacted the aerodrome? <input type="radio"/> Yes <input checked="" type="radio"/> No
---	--

SECTION 7	SECTION 8
------------------	------------------

Notice of <input checked="" type="radio"/> New Construction <input type="radio"/> Change to existing structure	Duration <input checked="" type="radio"/> Permanent <input type="radio"/> Temporary
---	--

SECTION 9

Proposed Construction Date Beginning (yyyy-mm-dd)
2020-01-01

SECTION 10

Temporary Structure
 From date (yyyy-mm-dd) _____ To date (yyyy-mm-dd) _____

SECTION 11

Geographic Coordinates NAD83 NAD27 WGS84 N Latitude deg 44 min 38 sec 22.86
 For multiple structures in a grouping, submit geographical coordinates on a separate spreadsheet (e.g. windfarms, transmission lines) W Longitude deg 63 min 34 sec 13.69

SECTION 12

Marking and Lighting Proposed (refer to Standard 621)
 Red lights and paint Red and M.I. white lights White M.I. lights
 Red and H.I. white lights White H.I. lights No painting
 No lighting Paint marking only
 Other (provide description): _____

SECTION 13

Monitoring to Standard 621, article 4.7
 Visual inspection – 24 hrs ¹ Remote indicator – failure alarm Remote indicator – with self-diagnostic
 ² Other
¹ Mitigation to be detailed in Section 3 ² Justification to be given in Section 3

SECTION 14

Catenary/Cable Crossing
 Paint supporting structures Cable marker spheres Shore markers
 Support structure lighting Cable marker lights

SECTION 15	Feet	Metres	Structure alone	Structure with an addition
A Ground Elevation (AMSL)	40			
B Height of an addition to a structure	95			
C Total structure height including B (AGL)	95			
Overall height (A plus C) (AMSL)	135			

SECTION 16
 Does the proposal comply with **Airport Zoning Regulations**?
 Yes No N/A
 Where the location of the object is on lands affected by **Airport Zoning Regulations**, a legal survey is required with the submittal.

I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge. Also, I agree to mark and/or light and maintain the structure with established marking and lighting standards as necessary.

Brandi Murphy

 Name of person filing notice

 Signature

2019-02-04

 Date (yyyy-mm-dd)

SECTION 17 – TRANSPORT CANADA ASSESSMENT (Transport Canada use only)

Marking and lighting required (as per Standard 621)
 Night protection required Day protection required Temporary lighting required No protection required

ATS-18-19-00067088
 #14955522

Completion of this form does not constitute authorization for construction nor replace other approvals or permits. See instruction E and F.

Civil Aviation Inspector C. Bugden	Signature <i>C. Bugden</i>	Date (yyyy-mm-dd) 2019-02-28
--	-------------------------------	---------------------------------

Note 1: This assessment expires 18 months from the date of assessment unless extended, revised, or terminated by the issuing office.
 Note 2: If there is a change to the intended installation, a new submittal is required.



USE AND INSTRUCTIONS FOR COMPLETING FORM

- A. Purpose of Form: The purpose of this form is to assess the need and application of marking and lighting for objects that may pose a hazard to aviation and to determine conformance to ***Airport Zoning Regulations***.
- B. When to Complete the Form: Completed forms, electronic or paper, are submitted at least 90 days prior to all alterations which increase the structure's height; or for proposed new structures if:
- (i) of such a height as to penetrate an airport obstacle limitation surface specified in the *Aerodrome Standards and Recommended Practices Manual – TP312*;
 - (ii) within 6 km of the centre of an aerodrome;
 - (iii) higher than 90 m AGL within 3.7 km of the centreline of a recognized VFR route such as, but not limited to, a valley, a railroad, a transmission line, a pipeline, a river or a highway;
 - (iv) higher than 150 m AGL at any other location; or
 - (v) a component of a catenary wire crossing where any portion of the wires or supporting structures exceed 90 m AGL;
- C. Proponents are encouraged to make submittal for other objects such as skeletal and solid structures, MET (meteorological) towers, power lines and bridges, in order for the Minister to determine if they constitute a hazard to air navigation in accordance with CAR 601.25.
- D. Cranes: Submittals are made for cranes that are within 6km of the geographical centre of an aerodrome, regardless of the height of the crane.
- E. Supporting Data and Documents
- (i) a 1:50,000 scale map, or the most detailed map available showing ground contour elevations to allow determination of the structure's latitude and longitude.
 - (ii) sketches, plans or blueprints for structures other than radio or TV antennae.
- F. This form does not constitute authority for construction.
- G. This form neither constitutes nor replaces any approvals, permits or assessments required by NAV CANADA, Industry Canada, other Federal Government departments, Provincial or Municipal land use authorities or any other agency from which approval/assessment is required.
- H. Completed applications are to be forwarded to the applicable Transport Canada Regional office listed in Standard 621, Appendix A.
- I. A separate application is to be submitted to NAV CANADA. For a detailed description on NAV CANADA's requirements and additional information, refer to the NAV CANADA Land Use Proposal website at www.navcanada.ca
- J. If the proposed construction does not take place, notification is sent to Transport Canada.

Abbreviations

AMSL	Above Mean Sea Level
AGL	Above Ground Level
M.I.	Medium Intensity
H.I.	High Intensity
VFR	Visual Flight Rule

USE AND INSTRUCTIONS FOR COMPLETING FORM (continued)

Section 1 – The Owner of the structure who is responsible for installation of marking and lighting. Include name, address and phone number of a personal contact point as well as the company name.

Section 2 – The Owner's representative who is making application, if other than Section 1 Include name, address and phone number of a personal contact point as well as the company name.

Section 3 – Provide a narrative description of the proposal

- (a) – MANDATORY - Indicate the type of structure. (e.g. antenna, crane, building, power line, landfill, water tank, wind farm, moored balloon, kite, catenary/cable crossing, etc.)
- (b) – For overhead wires or transmission lines, include size and configuration of wires and their supporting structures (Attach depiction).
- (c) – For each pole/support, include coordinates, site elevation, and structure height above ground level or water. For buildings, include site orientation, coordinates of each corner, dimensions, and construction materials. For alterations, explain the alteration thoroughly.
- (d) – For a proposed wind farm, include a spreadsheet with Turbine ID, geographic coordinates (in minutes, degrees and seconds), height above ground, and ground elevation.
- (e) – For existing structures, thoroughly explain the reason for notifying Transport Canada (e.g. corrections, no record on file with Transport Canada or previous study, etc.).
- (f) – For Catenary crossings, the geographic coordinates for all pertinent support structures are provided along with heights AMSL and AGL including the height of wires above ground or water level.
- (g) – If available, attach a copy of a documented site survey with the surveyor's certification stating the amount of vertical and horizontal accuracy in feet.
- (h) - Description of surrounding environment and structures. Provide photographs of the area of intended installation.

Section 4 – Enter the name of the nearest community, city or town to the site. If the structure is or will be in a community, enter the name of that community.

Section 5 – Enter the name of the nearest aerodrome.

Section 6 – It is recommended that the nearest aerodrome be contacted to resolve any difficulties that the installation may pose to aerodrome operations.

Section 7 – (a) – New Construction would be a structure that has not yet been built.

- (b) – Alteration is a change to an existing structure such as the addition of a top mounted antenna, a change to the marking and lighting, a change to power and/or frequency, or a change to the height. The nature of the alteration is included in Section 3 "Description of Proposal".
- (c) – Existing would be a correction to the latitude and/or longitude, a correction to the height, or if filing on an existing structure which has not been assessed. The reason for the notice is included in Section 3 "Description of Proposal".

Section 8 – A temporary structure would be such as a crane or drilling derrick.

Section 9 – Enter the date for the start of construction.

Section 10 – Enter the time period during which the temporary structure will be in place.

Section 11 – Latitude and longitude must be geographic coordinates, to within the nearest second or to the nearest hundredth of a second if known. For accuracy of the measurement refer to the International Civil Aviation Organization (ICAO) Annex 15 *Aeronautical Information Services*. For multiple structures in a grouping, submit geographical coordinates on a separate spreadsheet (e.g. windfarms, transmission lines)

Section 12 – Refer to Standard 621 for requirements of marking and various lighting systems.

Section 13 – Indicate the means that will be used to monitor the status of the lighting and identify the occurrence of a failure.

- Where electronic monitoring with "failure alarm" is provided, describe in Section 3 what mitigation will be applied (e.g. long life lamps and annual inspection).
- For electronic monitoring, where communication to a remote location cannot be provided, describe in Section 3 the technical reason why, along with what mitigation will be applied (e.g. long life lamps and annual inspection).

Section 14 – Indicate the form of marking and lighting that is proposed for the catenary crossing.

Section 15 – **A** – Enter the ground elevation AMSL expressed in metres and feet. This data should match the ground contour elevations for site depiction submitted under Section 3.

B – Enter the height of the object if it is an addition to an existing structure. The height will determine the need for lighting of this object and may affect the heights of intermediate levels of lighting on the structure.

C – Enter the total structure height AGL in metres and feet. The total structure height includes anything mounted on top of the structure, such as antennae, obstruction lights, lightning rods, etc, in addition to the structure itself.

Enter the overall height AMSL. This will be the total of **A** plus **C**.

Section 16 – The survey done by a licensed surveyor attests the conformance of the object height to airport zoning surfaces for the given location.



Serving a world in motion
navcanada.ca

May 7, 2019

Your file
1190 Barrington Street
Our file
19-0398

Ms. Pam Priest
Universal Contracts Limited
1190 Barrington Street
Halifax, NS
B3N 0A5

**RE: Development Proposal/Plans: Building + Crane(s) - Halifax, NS
(See attached spreadsheet)**

Ms. Priest,

NAV CANADA has evaluated the captioned proposal and has no objection to the project as submitted.

In the interest of aviation safety, it is incumbent on NAV CANADA to maintain up-to-date aeronautical publications. To assist us in that end, we ask that you notify us upon completion of construction. This notification requirement can be satisfactorily met by returning a completed, signed copy of the attached form by e-mail at landuse@navcanada.ca or fax at 613-248-4094. In the event that you should decide not to proceed with this project or if the structure is dismantled, please advise us accordingly so that we may formally close the file.

Please note that subject proposal data has been distributed to external organizations for assessment of impact on the procedures they maintain; they will contact you directly if any issues arise during their evaluation.

If you have any questions, contact the Land Use Department by telephone at 1-866-577-0247 or e-mail at landuse@navcanada.ca.

NAV CANADA's land use evaluation is valid for a period of 12 months. Our assessment is limited to the impact of the proposed physical structure on the air navigation system and installations; it neither constitutes nor replaces any approvals or permits required by Transport Canada, other Federal Government departments, Provincial or Municipal land use authorities or any other agency from which approval is required. Innovation, Science and Economic Development Canada addresses any spectrum management issues that may arise from your proposal and consults with NAV CANADA engineering as deemed necessary.

This document contains information proprietary to NAV CANADA. Any disclosure or use of this information or any reproduction of this document for other than the specific purpose for which it is intended is expressly prohibited except as NAV CANADA may otherwise agree in writing.

Olivier Meier | NAV CANADA
Manager – AIM Land Use

cc ATLR - Atlantic Region, Transport Canada (AAF #2019-009)
CHQE - HALIFAX (QE II HEALTH SCIENCES CENTRE)(HELI)
CYAW - SHEARWATER(HELI)
CHS7 - HALIFAX (SOUTH END)(HELI)
CIW2 - HALIFAX (IWK HEALTH CENTRE)(HELI)
C. Cormier
JetPro

APPENDIX

M DEMOLITION

PLANS



CAMPBELL COMEAU ENGINEERING LIMITED



• STRUCTURAL • CIVIL • MARINE •

2719 Gladstone Street
Suite 110
Halifax, NS B3K 4W6

t: 902.429.5454
cce@campbellcomeau.ns.ca

August 7, 2019

Ms. Pam Priest
Universal Properties
1190 Barrington Street
PO Box 384
Halifax, NS B3J 2P6

Dear Pam:

RE: ***1190 Barrington Street
Halifax, NS***

Campbell Comeau Engineering Limited has received from you a demolition plan and one site drawing relating to the demolition of Civic No. 1190 Barrington Street.

We have reviewed the demolition plan proposed by Atlantic Road Construction & Paving Ltd. We have also reviewed the site drawings for the demolition plan from Front Line Traffic Services.

It is our opinion that these documents are in order for the demolition work to proceed.

The following items are to be strictly adhered to in the demolition process:

1. The person responsible for the implementation of the demolition plan is Mr. Robbie Fair of Atlantic Road Construction & Paving Ltd, Phone: 902-293-2004.
2. All of the work is to be completed in accordance with the Nova Scotia Department of Environment and Department of Labour Acts and Regulations, The National Building Code of Canada, HRM By-Laws and Atlantic Road Construction & Paving Ltd. Safety Plan and Safe Work Practices.
3. Fencing signs indicating a demolition area are to be provided around the entire perimeter of the work site in accordance with the demolition plan provided.
4. All services formerly connected to the building are to be disconnected by Atlantic Road Construction & Paving Ltd.

5. A work site hazard assessment is to be completed by Atlantic Road Construction & Paving Ltd.
6. Location of all building services located underground are to be determined prior to the beginning of the demolition.
7. Abatement of all hazardous materials is to have been completed.
8. All workers are to be equipped with adequate personal protection equipment (PPE) in accordance with Atlantic Road Construction & Paving Ltd. Safe Work Practices and the Nova Scotia Occupational Health and Safety Act and Regulations.

The Demolition Plan is as described in the attached letter provided by Atlantic Road Construction & Paving Ltd. The area of the site and surrounding streets are to be hoarded off as described in the Demolition Plan". Demolition will begin by knocking the exterior concrete block infill walls into the interior of the building. This will be carried out on each level at the building perimeter. The first level above grade of the building will then be pulverized with a large excavator for one bay into the building. This material will fall onto the structure below.

Moving upward, the floor at the second level up from the street will be demolished for one bay into the building. The debris from this will fall onto the levels below. This will follow in turn for the third level from the street and the roof. Once a bay is demolished with the pulverizing equipment then the beams and columns will be removed with the same equipment beginning with the roof level and working down. This process of demolition with the large equipment concrete pulverizer will be repeated from the front to the back of the building.

When the first bay has been demolished a second phase of the work will begin with a smaller excavator with a bucket and another excavator with a hammer. The excavator with the bucket will move debris further into the building and the excavator with the breaker hammer will break the floor and push material into the basement. The first phase will then repeat through the rest of the demolition.

The contractor will provide a site specific safety plan for the work. The safety plan will address the protection of the public and adjacent properties during the work. The safety plan will also address dust control at the site.



Ms. Priest
Page 3
August 7, 2019

Any deviation from the plan and the documents attached are to be conveyed to Campbell Comeau Engineering Limited for review prior to continuing with the work.

We trust this is the information which you require at this time. If you should have any questions please do not hesitate to contact us.

Yours very truly,

CAMPBELL COMEAU ENGINEERING LIMITED

Original Signed

Wesley G. Campbell, P. Eng.

WGC/mpg
22119





ATLANTIC ROAD CONSTRUCTION & PAVING LIMITED

P.O Box 89, Eastern Passage
Nova Scotia, Canada
B3G 1M7

Demolition Plan – 1190 Barrington Street

GENERAL

- Companies responsible for implementation of this plan is; Universal Realty Group, Atlantic Road Construction and Campbell Comeau Engineering
- Work shall be completed in accordance with appropriate NS department of Environment and Labour rules and regulations and ARCP' Safe Work Practices Manual, and per HRM by-laws.
- Fencing shall be erected around the perimeter of the site. Fencing shall be signed "Danger Demolition Area" or similar wording so that the area is known to be potentially hazardous and no entry is permitted without permission. See CMP drawing.
- Prior to structural demolition, all electrical, communications, water, and other services to be disconnected by Universal Group & ARCP of their designate.
- Work site hazard assessment to be complete by Universal Group and ARCP.
- Underground locates of all electrical, gas, sewer and other services shall be preformed prior to commencing demolition.
- Hazardous material abatement to be completed in accordance with Hazardous Materials removal plans and regulations.
- Workers shall be equipped with adequate PPE, at a minimum CSA approved hard hats, safety vests, steeled toes boots. Options depending o the work task are dust masks, safety glasses, gloves, respiratory equipment, etc.
- Internal non-structural components to be salvaged shall be removed utilizing labour crew, and small tools.
- If applicable, fuel storage, pcb's, refrigerant, ozone depleting substances to be removed, lines flushed and otherwise made inert by qualified contractors(s) prior to demolition.

- Prior to starting work each day, the equipment will be checked to be working properly, and the site will again be cleared for working. Fire extinguishers will be made readily available to operators and labourers.
- Any new hazards will be recognized and communicated among workers prior to commencing with each new day.
- Demolition plan may be modified by Project Manager in conjunction with the Structural Engineer if necessary, at their discretion.

PROJECT OVERVIEW:

The 1190 Barrington Street demolition project consists of the demolition of the existing structure.

SITE SET-UP AND SAFETY PLAN:

The site will be set up in a manner that protects the public and on-site workers and allows the demolition to take place in a safe and effective way. Before any structural demolition takes place, the sidewalks will be closed to pedestrians on direct surrounding streets (see plan). A perimeter site fence will be set up on the curb surrounding the site as a measure to keep the public out of the demolition area. Signage will be posted at the site entrance to inform visitors to “keep out” and to “wear the appropriate personal protective equipment” if they are permitted to enter.

As a second layer of protection, temporary traffic control will be set up around the building that is being demolished at appropriate times. Traffic control will be in place to stop traffic when appropriate and the traffic controllers will be in communication with the machine operators via 2-way radio communication.

Care will be taken to maintain safe clearance distances when working near power poles and power lines. All buildings will be demolished from the top down. During demolition, no undermining of any portions of the buildings, care will be taken to pay attention to the framing of the structure and to use bearing walls and carrying beams to support the building while it is being demolished. Machine operators will be in contact with spotter on the ground via 2-way radio to assist the operators during demolition. Spotters will notify the operator if a particular part of the building looks vulnerable or looks as though it will become vulnerable. Spotters will also be in contact with traffic control personnel to allow the traffic flow to be stopped when appropriate.

DUST CONTROL PLAN:

During the demolition, water will be sprayed on the work area as required to minimize the possibility of air born dust. This activity will also take place while loading demolition material into trailers for transport to the approved dump location.

All loads that leave the site will be tarped to prevent dust and debris from blowing off the loads while on the highway. Where wind speeds are or are projected to be in excess of 35km/hour any work that has the potential to create dust will not be permitted. Care will be taken not to use excessive amounts of water which could result in run-off.

STRUCTURAL DEMOLITION PLAN:

The sequence in which the buildings will be demolished was strategically selected to allow the work to take place in the safest and most controlled manner. **Absolutely no excavators or other heavy equipment is permitted on any suspended floors and/or roofs.** Demolition will be carried out using large excavators which can reach to or near the top of the building from the ground without locating the excavators over any suspended floors or roofs. In areas where the excavator cannot reach the top of the building, a stable debris pile will be constructed, and the excavator will climb up the pile as necessary. Prior to excavators travelling on debris piles, these piles will be examined to ensure safety and stability and excavators will slowly crawl up the piles in a safe manner. If these debris piles (or even just the excavator) is to be located over a building floor, the excavator will first break through all the suspended floors below and fill the void spaces completely with debris before climbing over the structure.

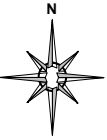
Prior to structural demolition, the interior of the building will have been completely gutted back to its basic structure. Once the building is demolished the concrete will be processed on site, loaded onto trucks and hauled away.

This Demolition Plan was developed by Universal Realty Group, ARCP and Campbell Comeau Engineering Ltd.

Demolition Management Plan

Date: 11/21/2018 Author: Norman Bussmann, Frontline Traffic Services Project: 1190 Barrington Street
Contractor: ARCP Contact: Robbie Fair, 902-404-8547 TWS: Phil Pruneau, FTS902-818-5548

Comments:
Not to Scale
Plan shows Pedestrian pathway.
1.5m walkways to be maintained on South and Barrington Streets.
Tobin Street and South St sidewalk closed for ease of access to work site
Approximately 40 x 2.5 Meter F-type Barriers required for construction of Temporary walkways



Legend	
	Existing Retaining Wall.
	F-type Barrier
	Pedestrian Route
	Rigid Fencing with Opaque Hoarding
	Work Area

