

498 Sackville Drive



1 Street Level Perspective

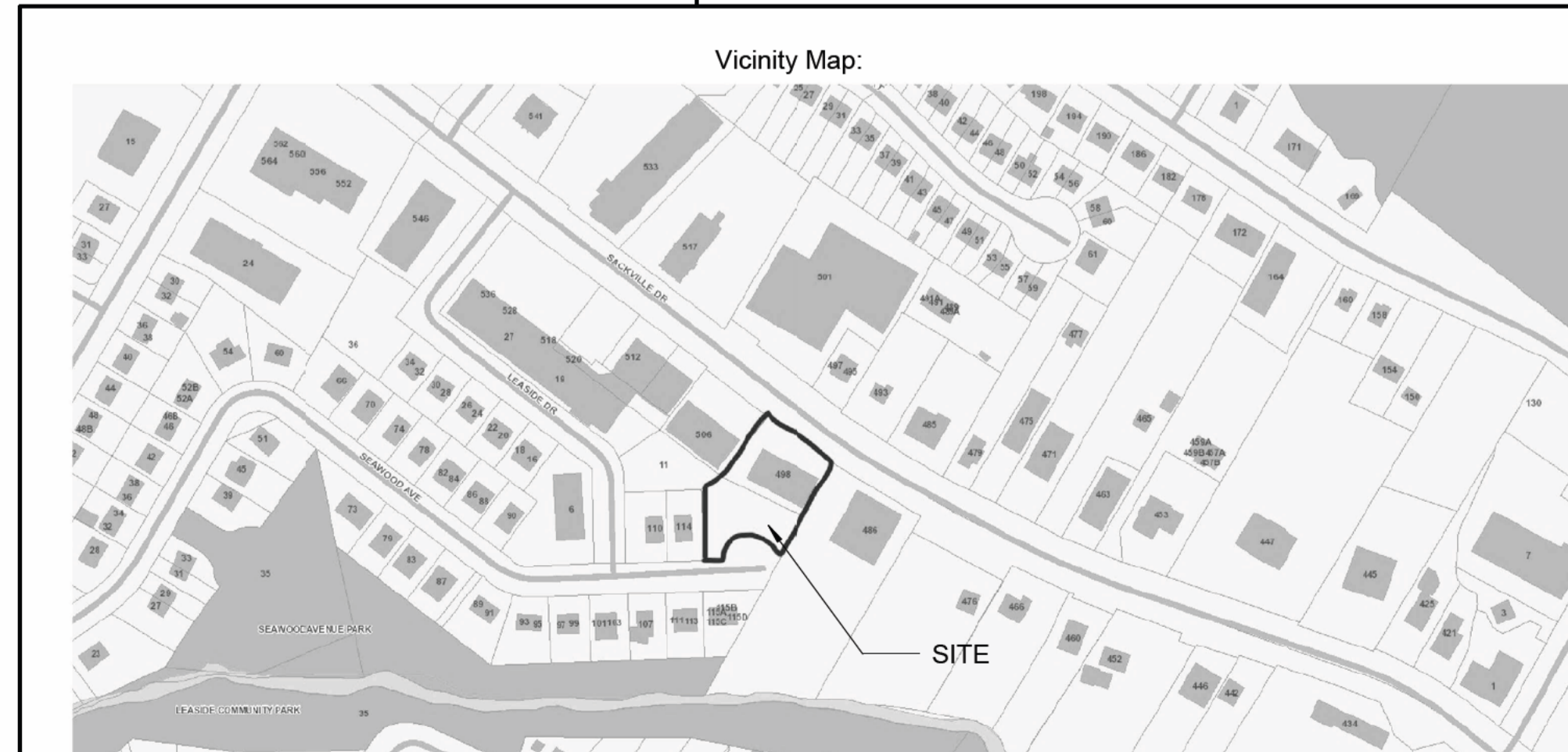
Building Fire Safety & Building Code Data:
 Regulated by: Part 3 of the National Building Code (NBC)
 Major Occupancy: C (Residential), E (Mercantile) & F2 (Parking Garage)
 Total Lot Size: 28,629 sqft. (2,659.7 sqm.)
 Building Footprint: 13,126 sqft. (1,219.45 sqm.)
 Number of Stories: 7 Above Grade, 2 Below Grade
 Height of Building from established grade: 53.0' (15.2m)
 Average Grade: 128.5' (39.16m)
 Fire Access Routes/Streets: 2
 Sprinkler System: Proposed
 Fire Rated Separation between Major Occupancies:
 C & E: 1 Hour Fire Rated Separation
 C & F2: 2 Hour Fire Rated Separation
 E & F2: 2 Hour Fire Rated Separation
 Classified as a High Building (min. 18m): No
 Non-Combustible Construction

PID: 40003451 & 40002057
 Zone: PR - Sackville Drive, LUB
 Residential Units: 70
 Barrier Free Units Required/Proposed: 4
 Unit Sizes:
 3 Bedrooms: 0 Units
 2 Bedrooms: 56 Units
 1 Bedroom: 7 Unit
 Bachelors: 7 Units
 Parking Area
 Parking Garage: 75 Spaces
 Exterior Spaces: 6 Spaces
 Total: 81 Spaces (3 Handicapped)
 Amenity Area
 Required(200sf/1bd + 575sf/2bd): 35,000sf
 Provided: 2,724sf Interior, 12,625sf Rooftop Exterior,
 over 8,554sf Balconies, 2,915sf Landscape Podium, 8,275sf
 Garden
 Total: 35,093sf
 Building Elevations

P2 Lower Parking Garage	108' - 4"
P1 Upper Parking Garage	117' - 7"
Level 1	128' - 0"
Level 2	137' - 10"
Level 3	147' - 8"
Level 4	157' - 6"
Level 5	167' - 4"
Level 6	177' - 2"
Level 7	187' - 0"
Rooftop Amenity	196' - 10"
T.O. Roof	206' - 8"

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A3.5	Rooftop & Roof Plan
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A4.1	East Elevation
A4.2	South Elevation
A4.3	West Elevation



Vicinity Map:

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No.	Description	Date
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1	Added Bachelor Unit, Revised Amenity	2022-12-13
	Issued for DA	2023-06-22
2	Revised per HRM Comments	2023-12-22
3	Revised Floorplans/Unit count	2024-06-11

Proposed Multi-Unit
 Residential Building
 Lot 35 & 14
 498 Sackville Drive -
 Sackville, NS
 For: Panco Construction

Cover

Scale	
Date	2022-10-25
Drawn by	Staff
Checked by	PS
	A0
Project number	3165

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Lot 35 & 14
498 Sackville Drive - Sackville, NS
For: Panco Construction

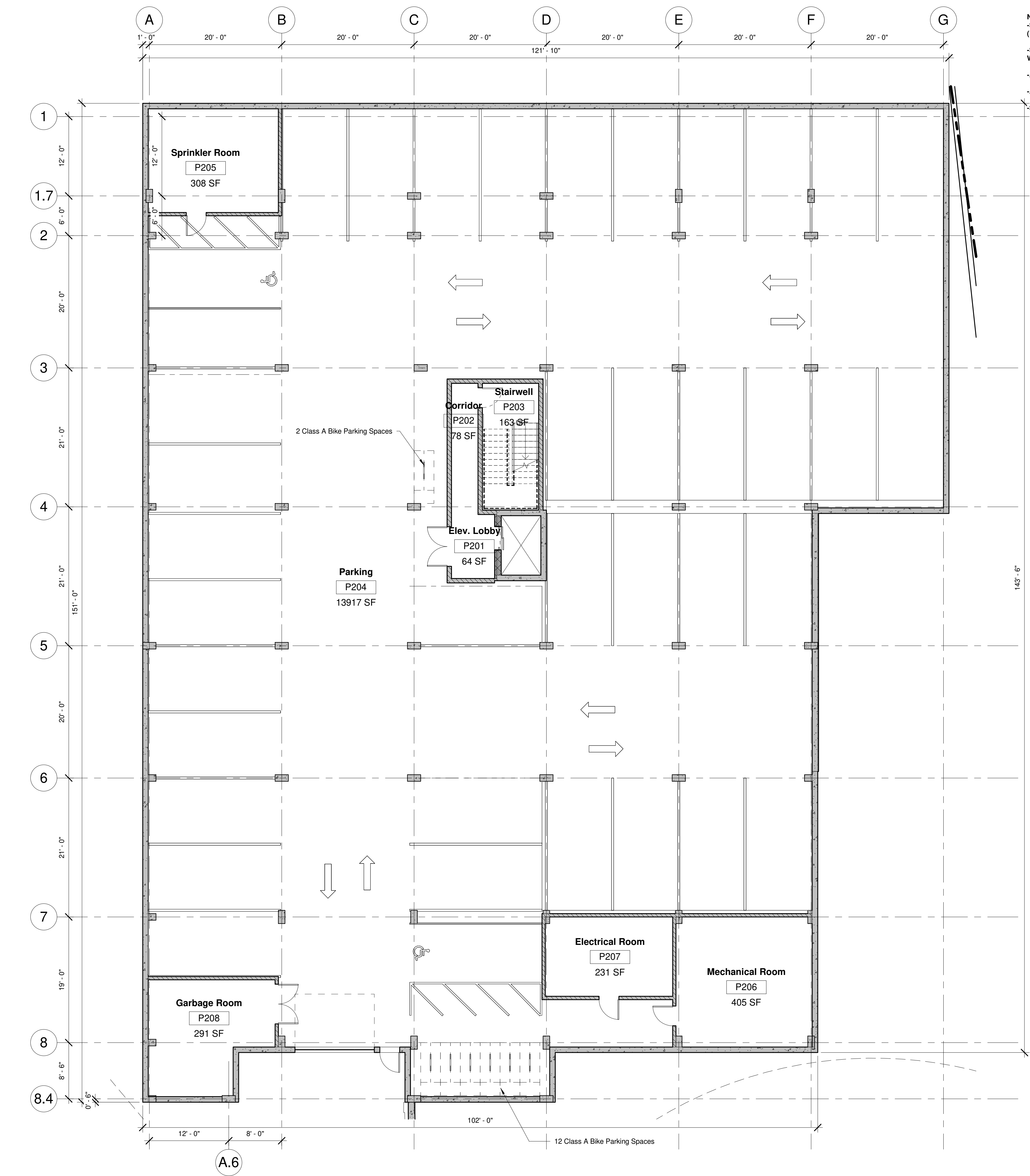
P2 - Parking Garage Plan

Scale	1/8" = 1'-0"
Date	2022-10-25
Drawn by	Staff
Checked by	PS
A2.0	
Project number	3165

NOTE:
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-SEE MECHANICAL & ELECTRICAL DRAWINGS FOR LOCATION & SIZE OF ALL HOLES IN FOUNDATION WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR FINAL LOCATIONS/SIZE SEE MECH./ELECT. DWGS.)
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-ALL PARKING (HANDICAP) LINES/#S/DESIGNATION TO BE PAINTED ON SLAB (BLUE)
-STORAGE CUBICLES ALSO USED FOR BICYCLE STORAGE

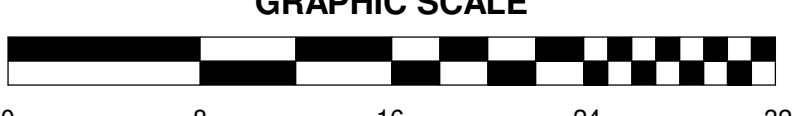
Wall Legend

-  2 Hour Fire-Rated Wall
-  1 Hour Fire-Rated Wall
-  Unrated Wall



① P2 Lower Parking Garage
1/8" = 1'-0"

GRAPHIC SCALE



True North

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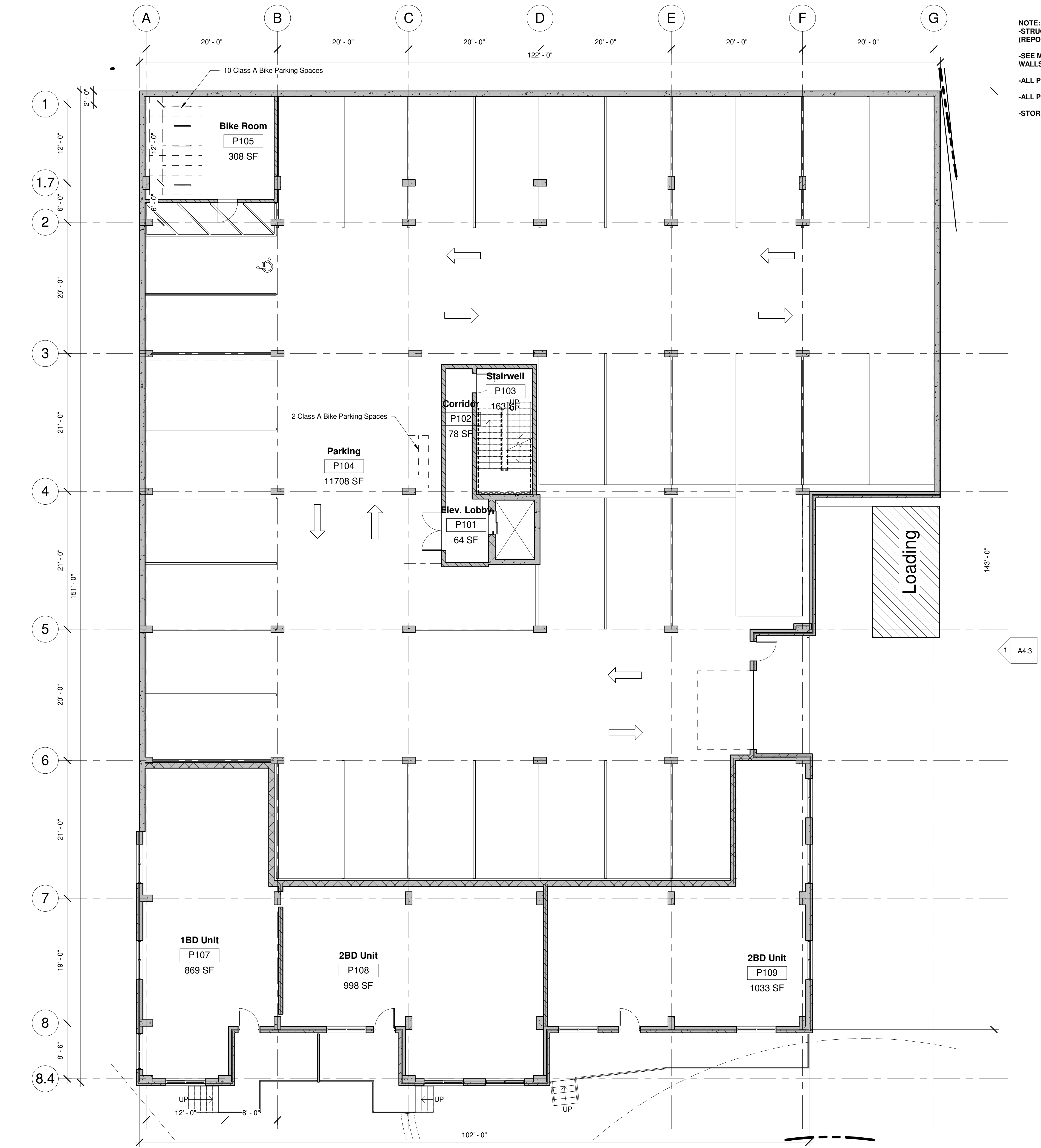
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P1 - Parking Garage Plan

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A2.1

Project number	3165
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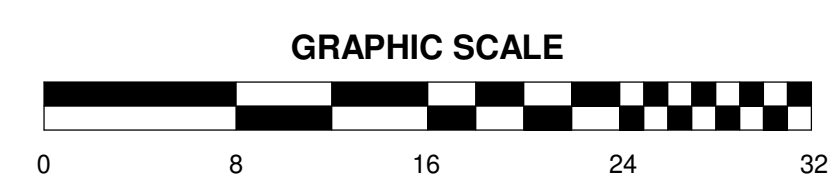


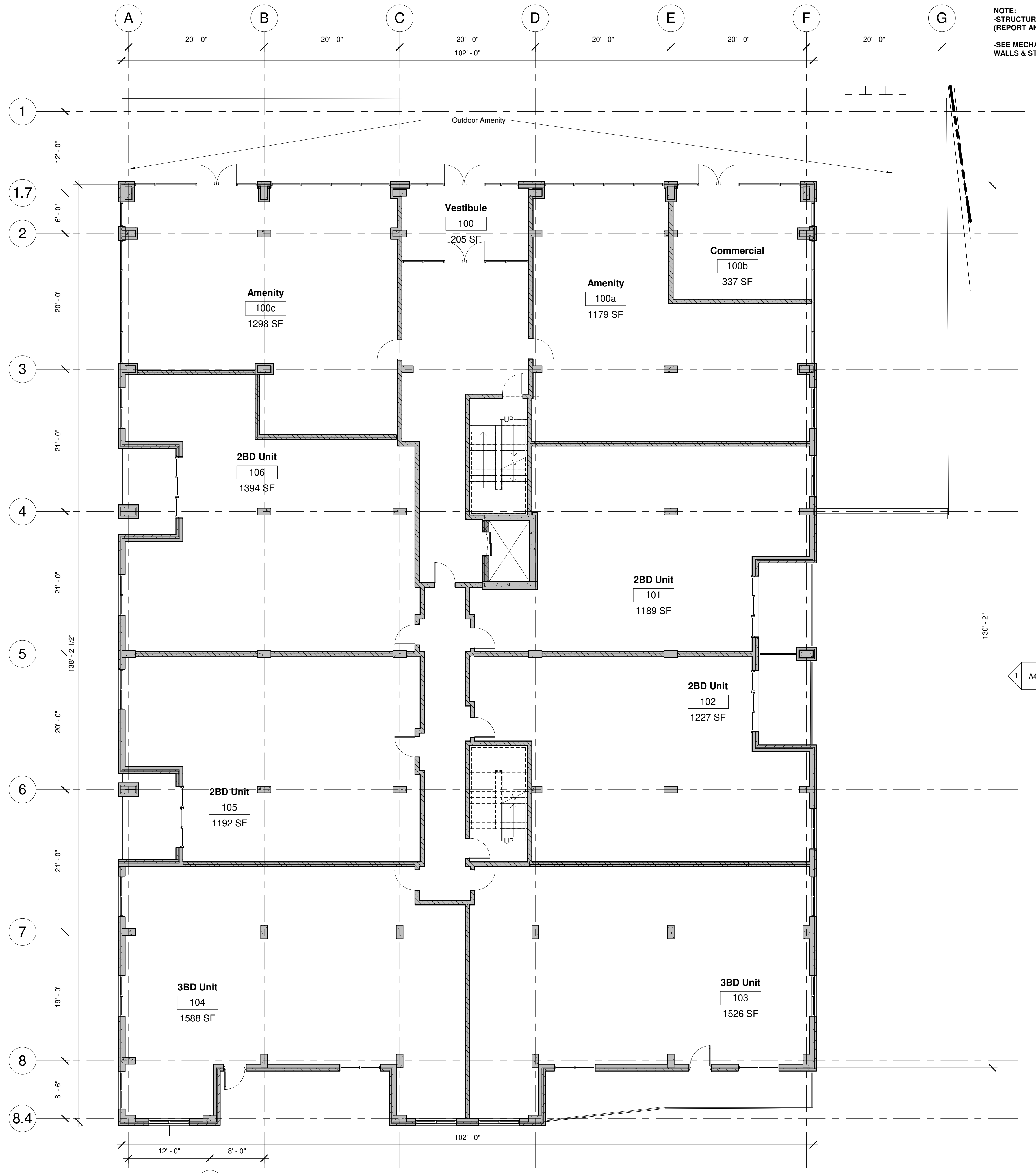
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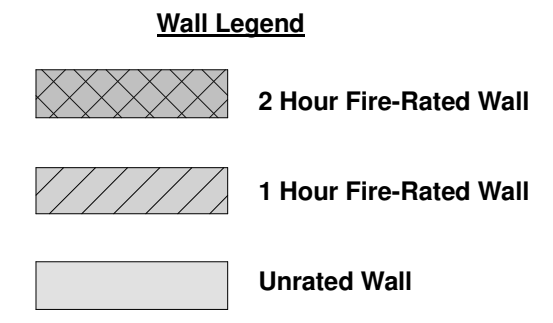
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① P1 Upper Parking Garage
 1/8" = 1'-0"





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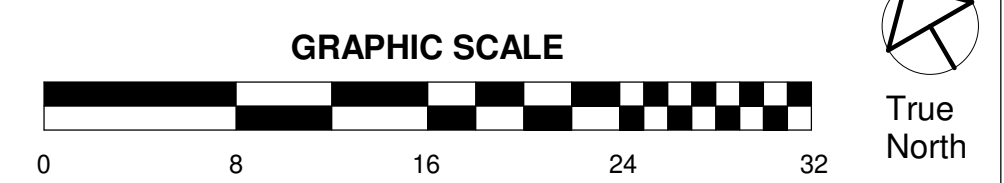
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First Floor Plan

Scale	1/8" = 1'-0"
Date	2022-10-25
Drawn by	Staff
Checked by	PS

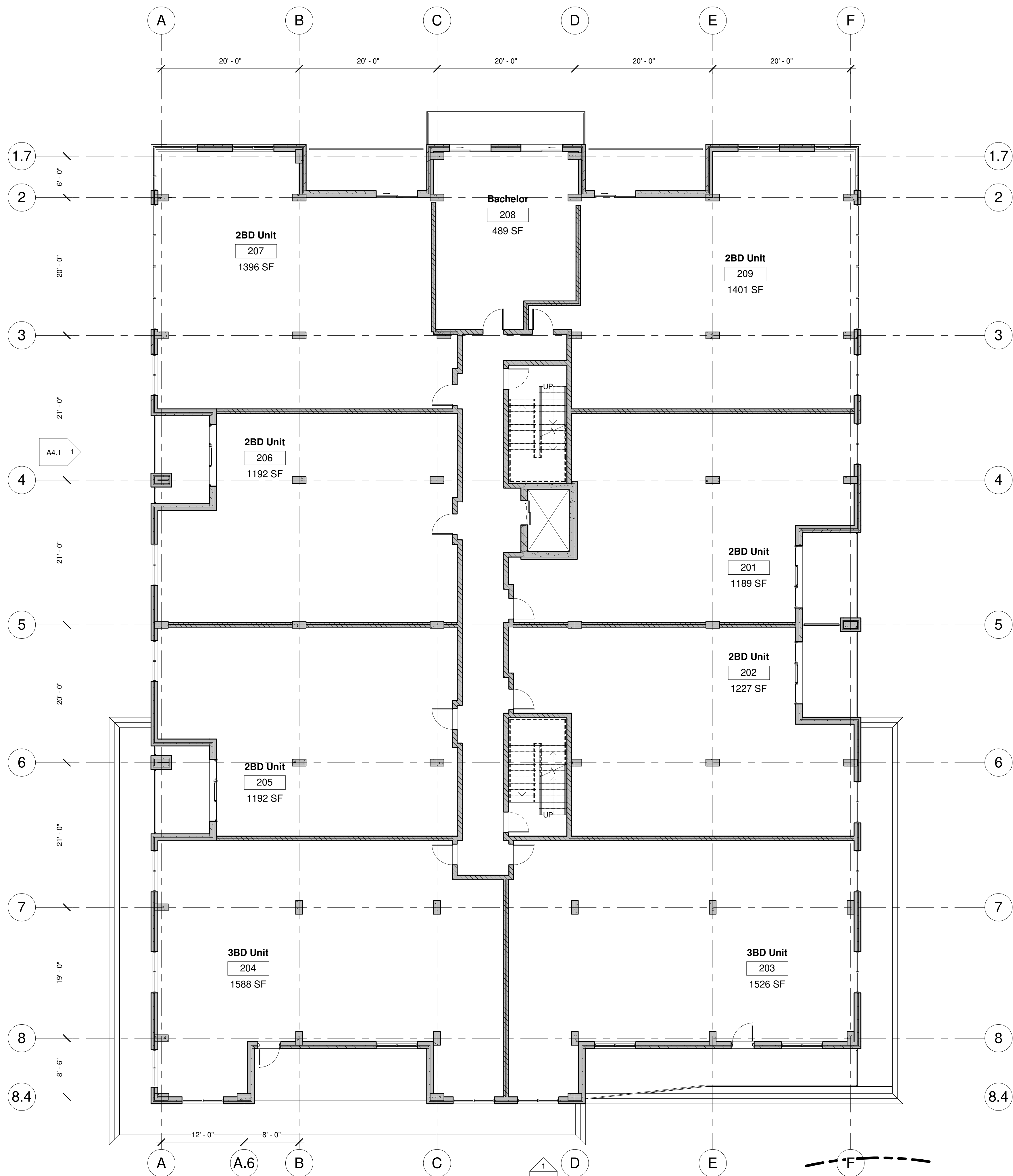
A3.0

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Level 1
 1/8" = 1'-0"

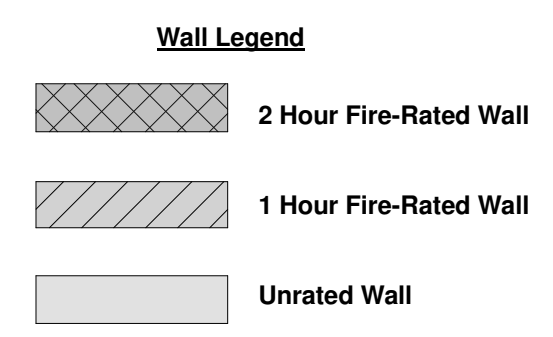
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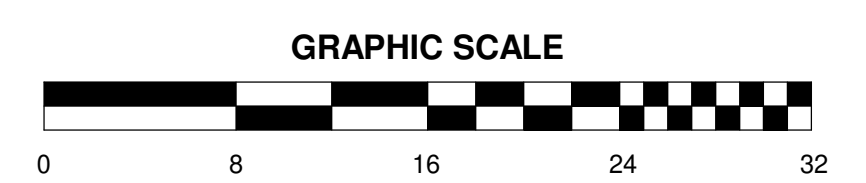
Second Floor Plan

Scale	1/8" = 1'-0"
Date	2022-10-25
Drawn by	Staff
Checked by	PS

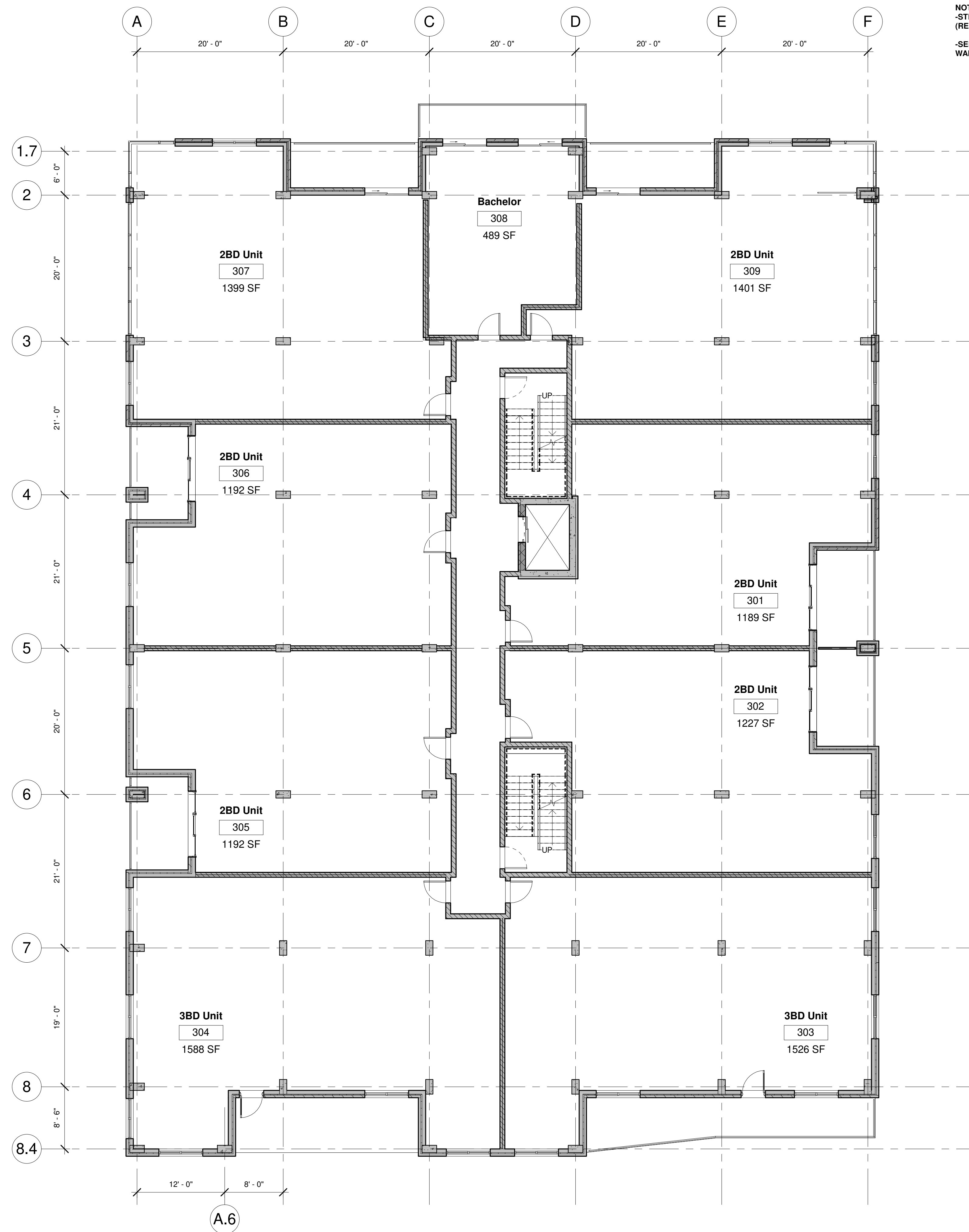
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Project number 3165

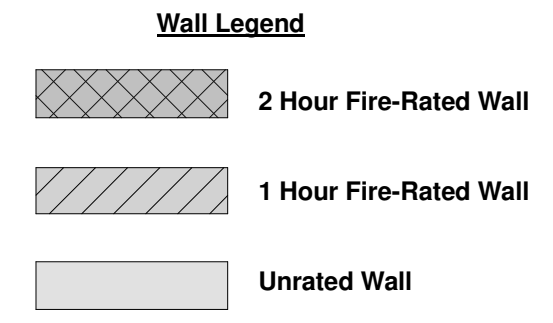
1 Level 2
 1/8" = 1'-0"



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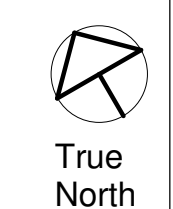
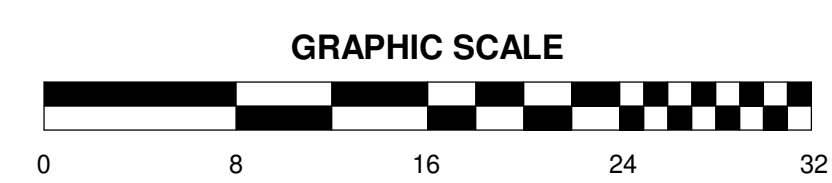
Third Floor Plan

Scale 1/8" = 1'-0"
 Date 2022-10-25
 Drawn by Staff
 Checked by PS

A3.2

Project number 3165

1 Level 3
 1/8" = 1'-0"



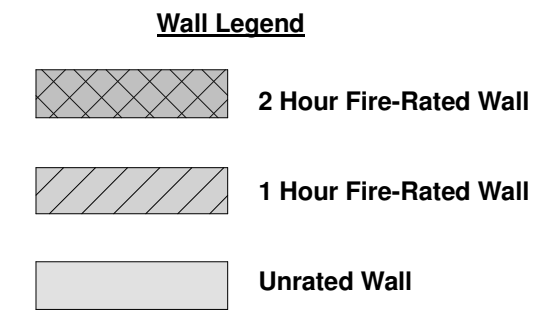
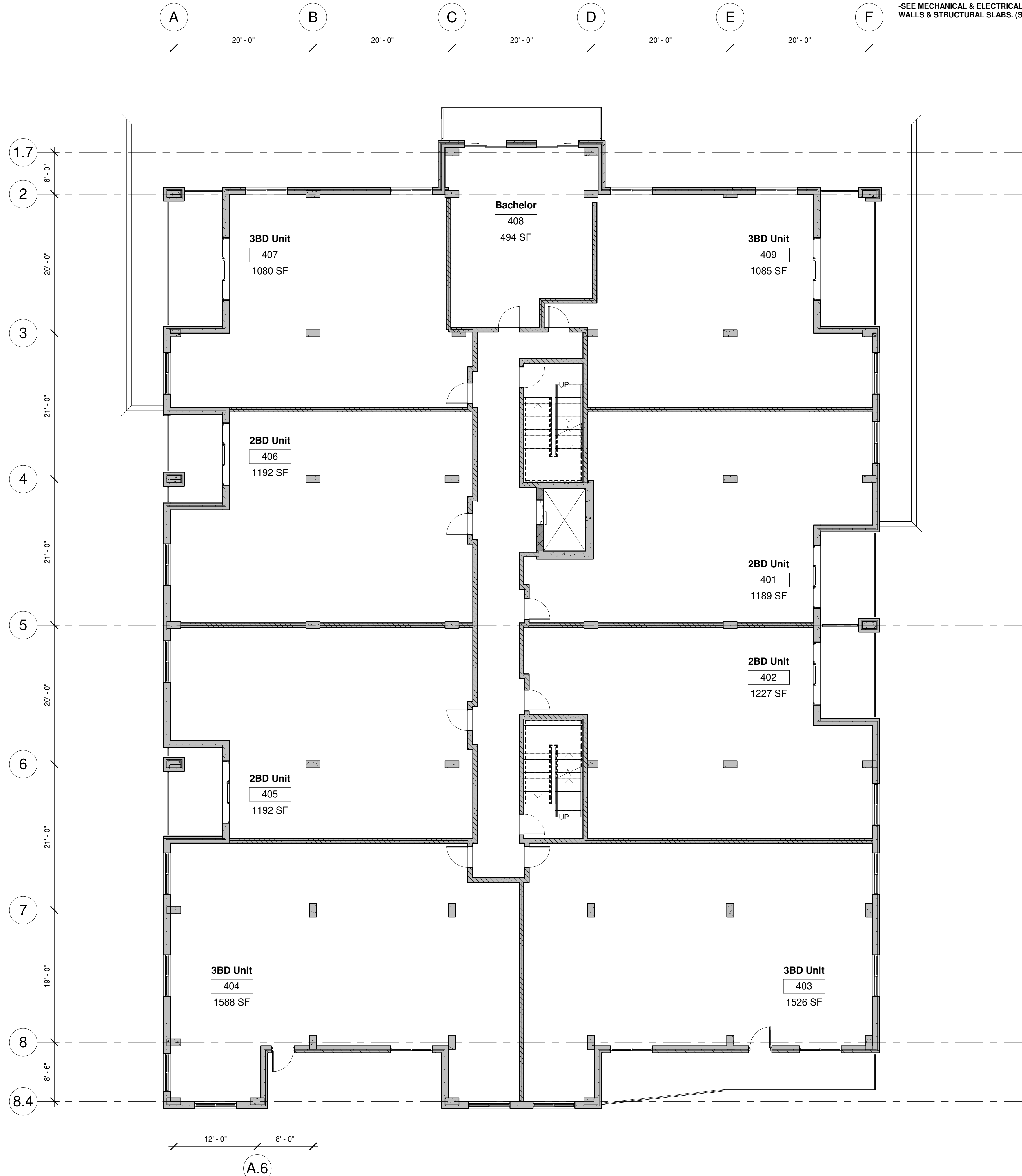
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Fourth Floor Plan

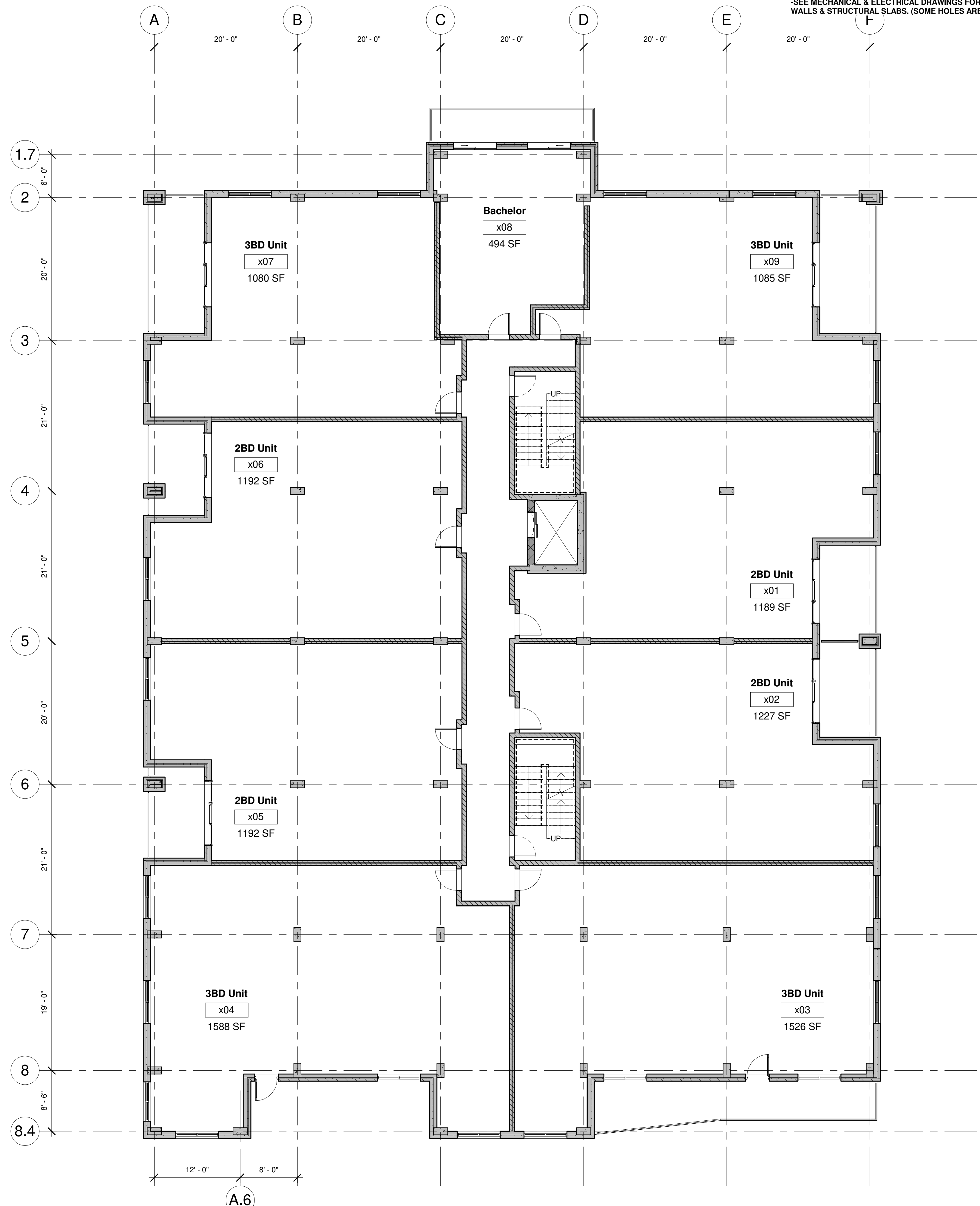
Scale: 1/8" = 1'-0"
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Drawn by: Staff
Checked by: PS

A3.3

Project number: 3165

① Level 4
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Wall Legend

	2 Hour Fire-Rated Wall
	1 Hour Fire-Rated Wall
	Unrated Wall

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Typical Floor Plan (L5-7)

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Checked by	PS

A3.4

Project number 3165

1 Level 5
 1/8" = 1'-0"

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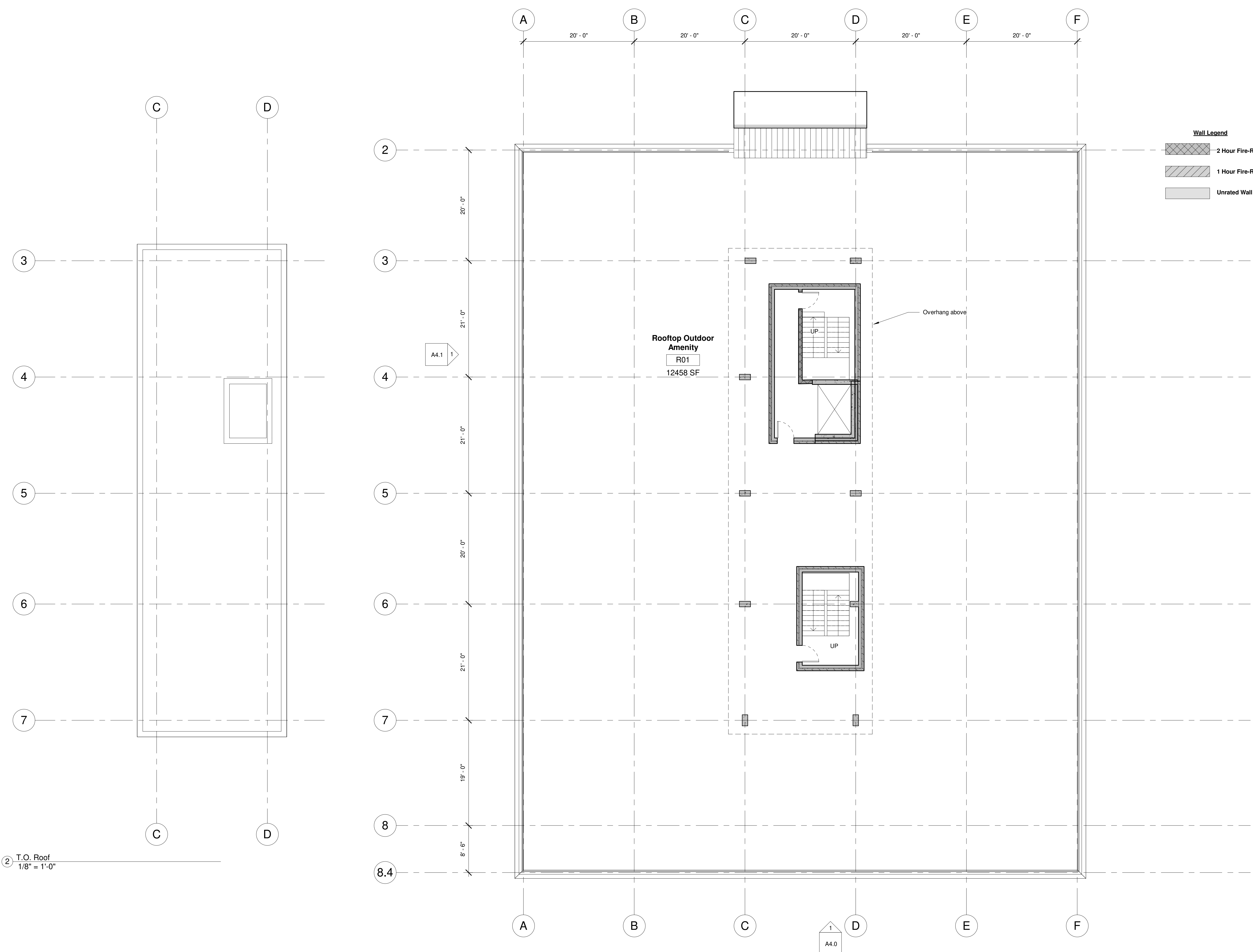
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Rooftop & Roof Plan

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A3.5

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