
Inglis St Development

Heritage Impact Statement

July 2024

Prepared for

Carter Beaupre-McPhee,
Heritage

Turock Holdings Ltd

Halifax, NS

Submitted By

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Fathom



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PLAN DIVISION OF PART OF THE BLAND FIELD

Image source: Halifax Municipal Archives

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1.0 Introduction

1.1 — Site location and description



The development site encompasses the property numbered 5492 Inglis St in Halifax, just west of the Port of Halifax. The site is on the corner of Inglis and South Bland St, and contains one municipally registered heritage building.

The neighbourhood context contains a wide variety of building types and uses. Neighbours include the Halifax Grain Elevator, commercial and retail uses such as cafes, restaurants, industrial uses, mid- & high-rise residential buildings, and low-density residential buildings. The Port of Halifax and Point Pleasant Park are nearby to the South.

 Subject site

1.2 — Heritage context and policy review

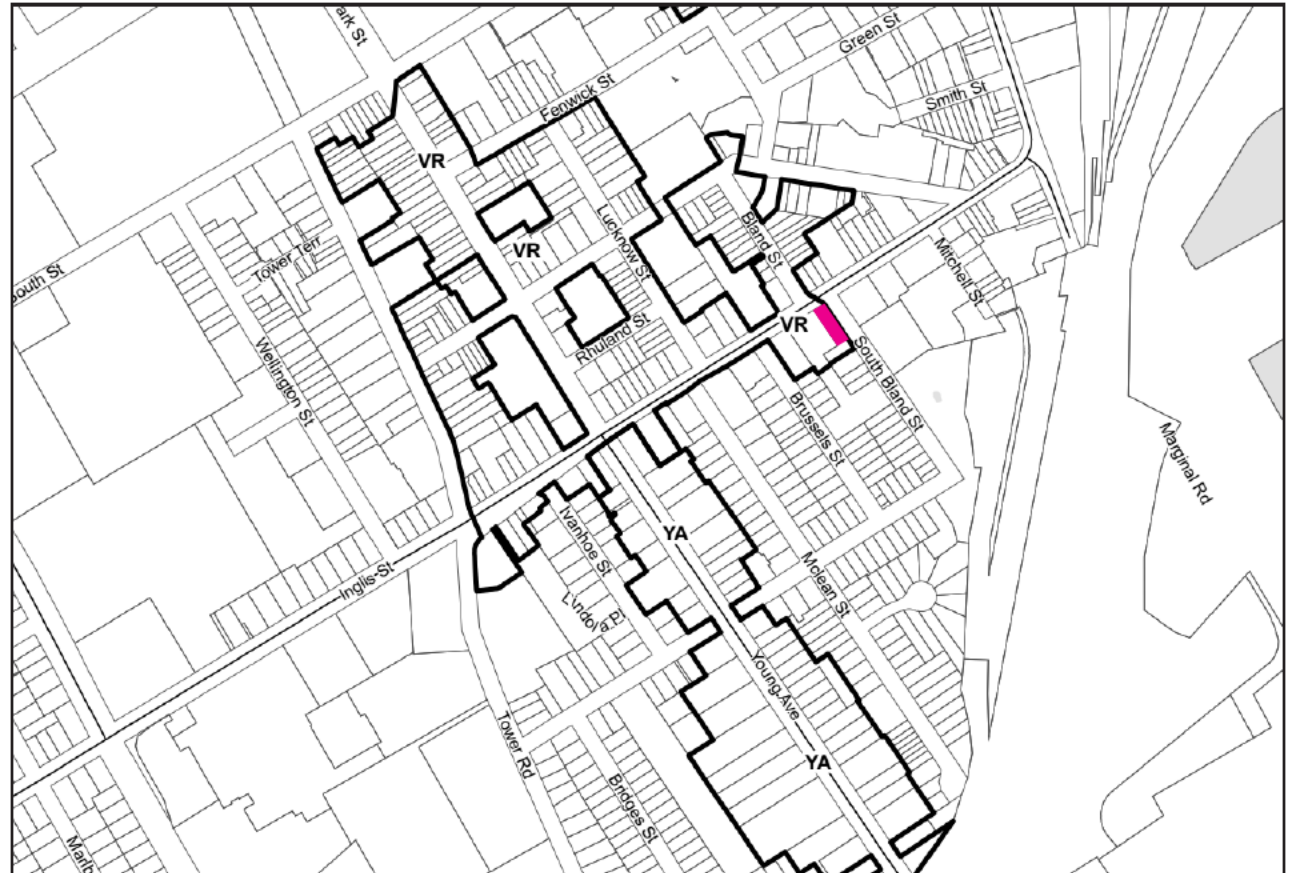
Heritage context

The development site contains one building that is included on the Registry of Heritage Properties in the Halifax Regional Municipality:

- 5492 Inglis Street c. 1891

Council stated its intention to designate under sections 14 and 15 of the Heritage Property Act, and the property was added to the register on July 30, 2021.

Additionally, staff are currently proposing the Victoria Road (VR) Heritage Conservation District (HCD) which would include the subject property. There are no policies in place for this HCD at this time.



Subject site

HERITAGE CONSERVATION DISTRICTS UNDER CONSIDERATION

From the Halifax Secondary Municipal Planning Strategy.

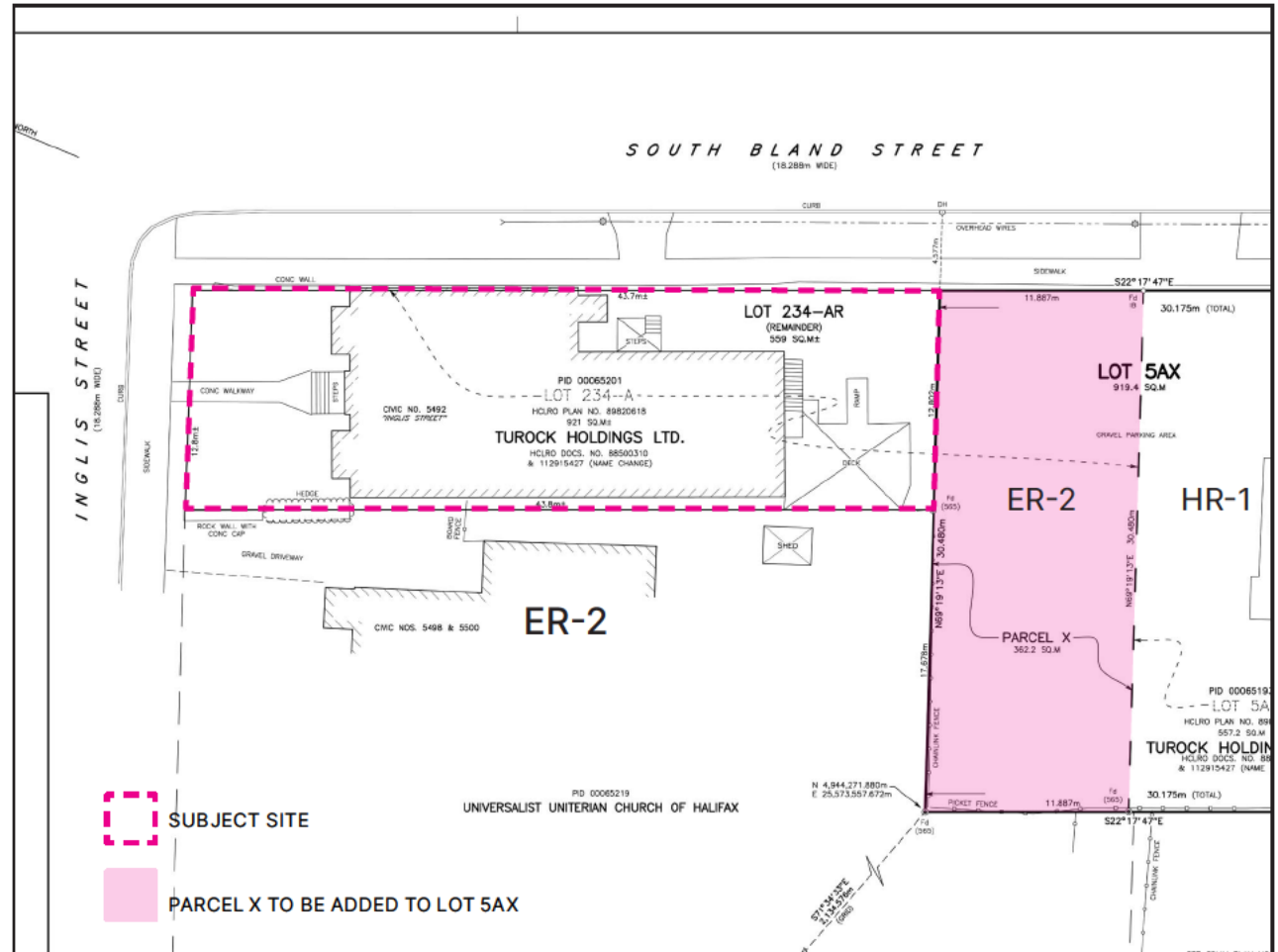
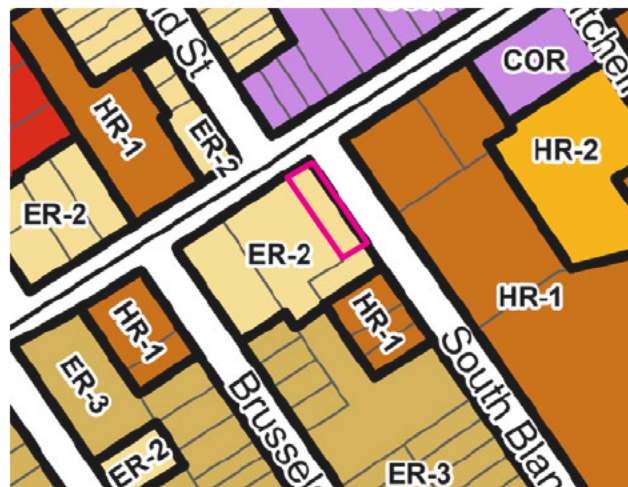
Annotated by Fathom Studio

Policy review

The following policies were reviewed in the preparation of this report:

- Heritage Property Act (R.S., c.199)
- Standards and Guidelines for the Preservation of Historic Places in Canada
- Regional Centre Secondary Municipal Planning Strategy
- Regional Centre Land Use By-Law

 Subject site



CURRENT CONTEXT

The subject site is zoned ER-2 and comprises 561 m² (6,033 ft²) over 1 lot: PID 00065201. Parcel X (stranded lot) will be added to 5AX - refer to Section 6.2 Planning and Land Use

Adjacent properties are ER-2 and HR-1. Neighbours are 3-storey townhomes to the east, 3-storey apartment buildings to the north; a Church and Preschool to the west, and detached single-family homes and apartment buildings to the south.

2.0 Background research and analysis

2.1 — Site history

5492 Inglis Street, formerly 50 Inglis Street, is situated within the block bordered by Inglis Street to the north, South Bland Street to the east, Atlantic Street to the south, and Brussels Street to the west.

The dwelling occupies land that was historically referred to as Bland's Field, located along a back road leading from the Kissing Bridge (the colloquial name for the bridge that crossed over Freshwater Brook near today's Barrington Street and Inglis Street intersection). During the late 18th to early 19th century, this area of Halifax was mostly rural and undeveloped.

Originally part of a larger 50-acre property owned by Jonathan Tremain Sr. in the late 18th century, the subject property housed a ropewalk near the current intersection of Inglis and South Bland Street (Watts 1878:2). Jonathan Tremain Sr.'s son, John Tremain, inherited the property and built the adjacent dwelling at what is now 5500 Inglis Street in 1823 (Watts 1978). The property was later sold to John Bayley Bland and subsequently subdivided into 23 lots. In 1870 the northern half of the block was sold to Joseph Seeton.

Records indicate that the subject property was vacant and part of Joseph Seeton's larger lot by 1878 and 1879, during which he began subdividing the property. Although some subdivision had occurred to the west and south, the 1889 Fire Insurance Plan still showed the subject property as vacant. Maps from 1890, including a plan of Seeton's property and Currie's View of the City of Halifax, indicate that the subject property remained part of Seeton's estate, despite ongoing subdivision efforts.

In 1890, the executors of Joseph Seeton's estate subdivided the remaining estate and sold the subject

property to Edmund T. Mahon, a merchant, for one dollar (Book 279, page 496).

The residence at 5492 Inglis Street holds historical significance due to its associations with prominent Halifax merchants. Alexander Stephen, who purchased the property from Mahon, was a merchant that lived in the house from 1891 to 1894. He was involved in A. Stephen & Son, later known as Nova Scotia Furnishing Co., a furniture manufacturer. Stephen also served as the Mayor of Halifax from 1897 to 1899.

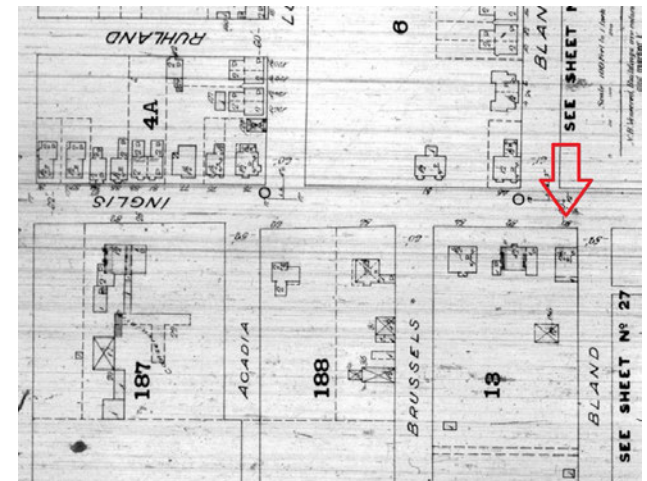
In 1894, Captain John Wynn purchased the property from Alexander Stephen for \$9,500 (Book 304, page 319). He is listed as residing at the property according to the 1895-96 City Directory but no longer occupied the property by the publication of the 1897-98 City Directory. (McAlpine 1898: 586). Despite this, the Wynn family retained ownership during this period and rented it out briefly from 1898 to 1902. Andrew King, a commercial merchant, is documented as residing at 50 Inglis Street in McAlpine's 1902-03 City Directory. In 1903, John and Elizabeth Wynn formally sold the property to Andrew King (Book 358, Page 299).

The King family remained owners of the property until 1943 when it was sold to the Navy League of Canada (Book 856, Page 307). During this time the two-storey rear addition was constructed.

Throughout the latter half of the 20th century its ownership changed hands multiple times as the area continued to develop into the suburb we see today. The Navy League of Canada granted the property to Vernon A. Murphy in 1949 (Book 1050, Page 201), who later sold it to Evelyne Howard in 1961.(Book 1780, Page 501). Howard then sold the property to Raymond and Agnes Martell in 1968 (Book 2232, Page 52), later

selling it to Johannes M. Dekker & Associates Limited the following year (Book 2294, Page 897). Ruron Company Limited purchased it in 1974 from Johannes M. Dekker & Associates Limited (Book 2861, Page 796). Currently, Turock Holdings Ltd. (formerly Urban Spaces Limited) owns the property, having acquired it from Ruron Company Limited in 2007 (Document #88500310), which also included two adjacent lots on South Bland Street (964 and 968 South Bland Street).

*Note that the content of this section is sourced from the HRM staff report recommending the heritage registration of this building, and is not original.



GOAD'S 1895 FIRE
INSURANCE PLAN

2.2 — Site history

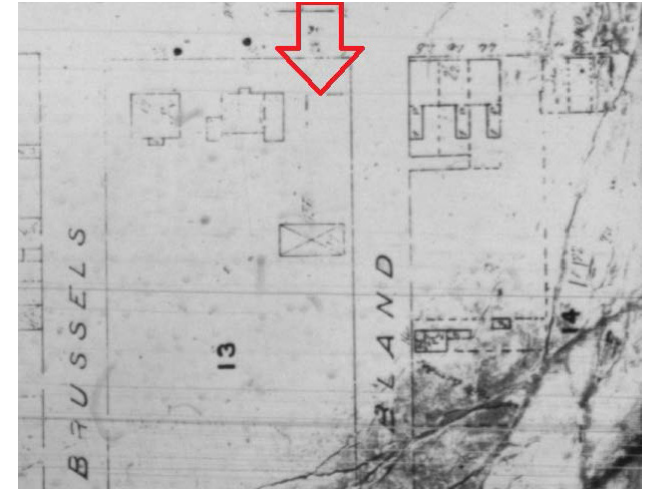
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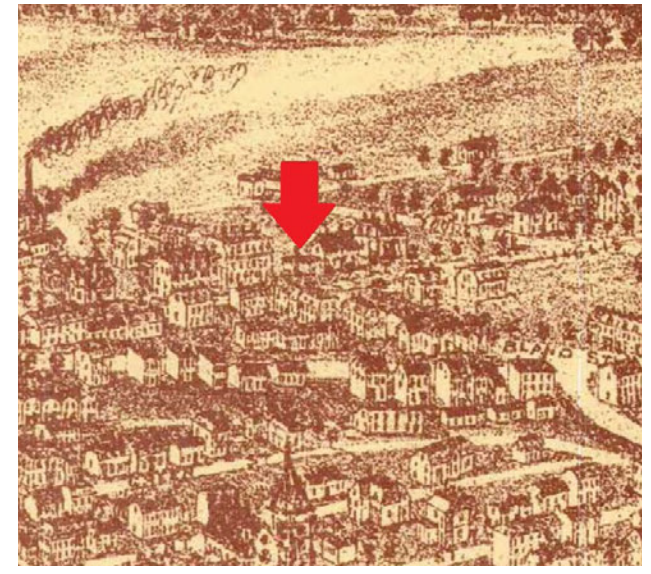
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GOAD'S 1889 FIRE INSURANCE PLAN



CURRIE'S 1890 VIEW OF THE CITY OF HALIFAX

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The residence at 5492 Inglis Street holds historical significance due to its associations with prominent Halifax merchants. Alexander Stephen, who purchased the property from Mahon, was a merchant that lived in the house from 1891 to 1894. He was involved in A. Stephen & Son, later known as Nova Scotia Furnishing Co., a furniture manufacturer. Stephen also served as the Mayor of Halifax from 1897 to 1899.

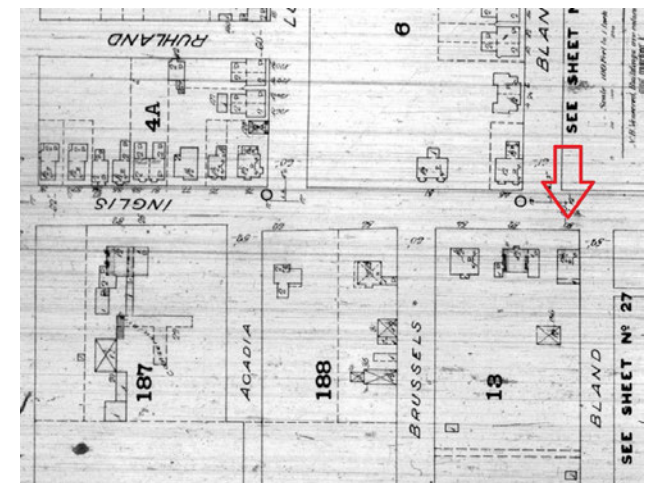
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GOAD'S 1895 FIRE INSURANCE PLAN

2.3 — Current context

Neighbourhood

The development site is surrounded by a variety of residential typologies: heritage homes split into smaller apartments, multi-storey apartment buildings, semi-detached single family homes, and detached single family homes. There also many commercial buildings including grocery stores, corner stores, and restaurants.

Many students reside in the South End with Saint Mary's University, Dalhousie University, and the University of Kings college nearby. Young families also live in the neighbourhood with pre-, primary, junior, and high schools present in the South End. The area is also home to many young professionals due to its proximity to downtown Halifax, the universities, and the hospitals.



AERIAL VIEW LOOKING TOWARDS INGLIS AND SOUTH BLAND STREETS

Source: Google Earth

3.0 Heritage value

3.1 — 5492 Inglis St



5492 INGLIS ST

Source: HRM Staff Report

Age

The subject property was initially part of a 50-acre lot purchased by Jonathan Tremain Sr. in 1784. He established a ropework factory near the present-day Inglis Street / South Bland Street intersection and later subdivided the land. His son, John, built the house at 5500 Inglis Street in 1823. The property changed hands among several notable residents before Alexander Stephen acquired it for one dollar in 1891. Despite no mention of a building in the deed, the McAlpine's 1892-1893 City Directory listed it as Stephen's residence. The first depiction of the existing building on the property appears on the 1895 Fire Insurance Plan.

Historical or architectural importance

Before the house was built, the property had notable owners including John Bayley Bland, who was the Commissioner of the Revenues, and Joseph Seeton, who served as the American Consul to Halifax.

Alexander Stephen was a merchant who lived there from 1891 to 1894. He was involved in A. Stephen & Son, a furniture manufacturing business. They had a storefront on Grafton Street in 1864 and the factory had moved from the waterfront to Barrington St by 1871. By 1893, the business was renamed the Nova Scotia Furnishing Co. Alexander Stephen Jr. served as president of the furniture business, was an Alderman for Ward 3 from 1882-1883 and 1885-1886, and served as Mayor of Halifax from 1897-1899.

Significance of architect/builder

No information regarding the architect or builder was identified.

Architectural merit

The dwelling is a three-storey, wood-framed dwelling with a masonry foundation that is clad in painted stretcher brick; however, the exact construction type is unknown. The building's exterior, specifically the pedimented dormers, decorative entryway, and wood detailing, would have required a skilled builder.

The building was designed in the Second Empire architectural style, popular in Nova Scotia from 1855 to 1900. This style is seen in its distinctive mansard roof, which faces Inglis Street. The roof features matching dentil detailing at both the top and bottom edges. The building has a square footprint with a masonry foundation. Its exterior walls are covered in wooden shingles, with scalloped shingles accentuating the centre bay.

The front of the building facing Inglis Street has a central projecting square bay that ends with a dormer featuring a pediment gable. This dormer is adorned with dentils and paired brackets, and two two-over-two windows separated by wooden piers. Flanking this central dormer are two additional dormers, each with a pediment gable roof, similar wood detailing, and containing a single two-over-two window.

At the main entrance, located beneath the central bay projection, there is a door surrounded by an elaborate frame designed to resemble classical columns and an entablature. The frame includes decorative wood panels, tall narrow sidelights with arched tops, a semi-circular transom, and matching brackets and dentils.

*Note that the content of this section is sourced from the HRM staff report recommending the heritage registration of this building, and is not original.

Except for the entrance, all windows have flat openings and are surrounded by wooden piers on the upper floors. Most of these windows are two-over-two wood windows except for the first-floor windows facing Inglis Street which have been replaced with large picture windows. Additionally, there is a stained glass window above a six-pane window on the eastern facade and an oval-shaped window on the western facade.

Architectural integrity

The building maintains its architectural integrity with the preservation of the original facade and many architectural features. The most significant alteration is the rear yard addition built around 1943. While visible from South Bland Street, it has minimal visibility from Inglis Street and does not significantly impact the property's heritage value. Some windows have been replaced and altered on the heritage building, such as the large picture windows on the ground floor of the Inglis facade.

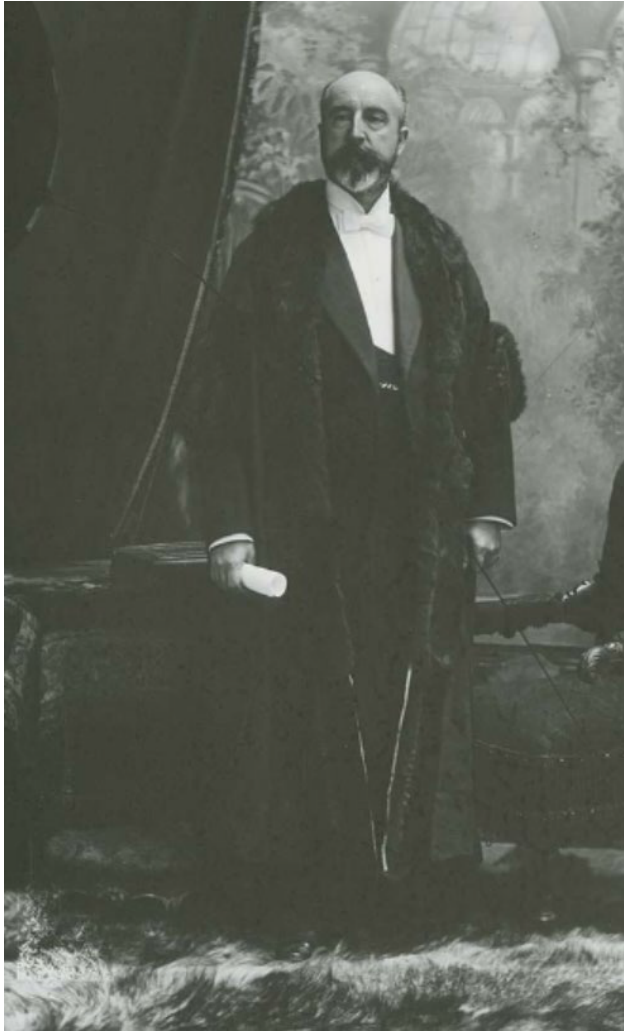
Relationship to surrounding area

The property is visually and historically connected to municipally registered properties in its vicinity, including Bishops' Row (5472-5474-5480 Inglis Street), Thorndean (5680 Inglis Street), Samuel Brookfield House (5456-5460-5466 Inglis Street), and the row of nine consecutive Victorian Streetscape properties. Its architectural style, featuring mansard roofs, dormers, and dentil detailing, complements many other buildings along Inglis Street. The entire street is characterized by a mature tree canopy dominated by Linden trees, enhancing its overall character.

Character-defining elements

- Original three-storey Second Empire building;
- Four single-stack brick chimneys;
- Wood shingle siding;
- One-sided mansard roof with wood dentil along the top and bottom edges;
- Stained glass window and a six-pane window on the east facade;
- Central projecting square bay with scalloped shingles;
- Extended central dormer with pediment gable, paired two-over-two windows, and wood brackets, dentils and sunbeam detailing;
- Two-storey square bays with wood dentils;
- Two dormers with a pediment gable, two-over-two window, and wood brackets and dentils; and
- Decorative door surround with arched transom and sidelights and wood paneling, piers, boxed corners, brackets and dentils.

*Note that the content of this section is sourced from the HRM staff report recommending the heritage registration of this building, and is not original.



ALEXANDER STEPHEN

Source: Nova Scotia Archives

A. STEPHEN & SON,
WHOLESALE MANUFACTURERS,
 AND DEALERS IN EVERY DESCRIPTION OF
FURNITURE AND WOODEN-WARE,

Pails,
Tubs,
Brooms,
Washboards,
Clothespins.
 —
CHEAP
Bedsteads,
Chairs,
Tables,
 —
ENGLISH
Cane Chairs
 AND
IRON
Bedsteads.

LOUNGES, SOFAS, FEATHER BEDS,
PARLOR AND CHAMBER SETS,
Bureaus, Clothes Wringers,
MATTRESSES, GLASSES, CHILDREN'S CABS, &c.

FACTORIES AT ELLERSHOUSE.
OFFICE AND WAREROOMS,
SOUTH FERRY WHARF,
HALFAX, N. S.

1868 ADVERTISEMENT FOR A. STEPHEN & SON

Source: McAlpine 1868

Addition No. 28451

INGLIS St. No. APPLICATION FOR REPAIRS

To the Inspector of Buildings Halifax, N. S. 21 day of July 1943

Sir—The undersigned hereby applies for a permit to repair a building according to the following specifications:
 Location *Inglis St. No. 50* St. *50* *Corner of Board*
 Owner *Navy League of Canada* Builder *H. G. Ivany* Address *322-202*
 No. of stories *2* Height above sidewalk *28* Frontage *45* Depth *45* Material of Building *Framed*

The work proposed to be done consists in
An addition in rear - 12" Concrete
Wall - Framed - One good
partitioned roof - No chimney
addition as per plan attached

The estimated cost of repairs is \$ *90.00*

Permission is also applied for to enclose that portion of the street in front of the building, extending into the street five ft. The undersigned hereby agrees that all work on the said building shall be done in strict accordance with the laws and ordinances of the City of Halifax, and also with the conditions printed on the back of the permit, which have been read by the applicant.

Every obstacle will be removed from the street on or before the *1st* day of *Dec* 19*43*
 on which date this permit expires.

Applicant.

BUILDING PERMIT FOR REAR ADDITION OF 50 INGLIS ST

Source: Halifax Municipal Archives



EXAMPLE OF AN ALEXANDER STPHEN & SON CHAIR

Source: Payzant 1943

4.0 Description of proposed development

4.1 — Description of proposed development

The property occupies a site area of 561 m² (6033 ft²) and includes one municipal heritage building with a 1940s addition on the southern end of the site. The heritage house fronts Inglis St and flanks South Bland St (PID 00065201).

The proposed development includes a new six-storey portion fronting South Bland St with a five-storey mass stepping down to the three-storey heritage building fronting Inglis St. The five-storey mass is set back 2.1 m from the South Bland St property edge. This massing strategy largely maintains the site's existing streetwall and neighbourhood character by preserving all of the heritage building's original mass and footprint, and by providing a return for the rear corners of the heritage building to help define its original form.

The proposed building will include approximately 31 residential units and will include 78m² of ground-floor retail space. It will also include 60m² of interior amenity space and over 39m² of additional landscaped areas at grade and on rooftops. The proposed building will include 16 class "A" bicycle parking spaces and 4 class "B" parking spaces.

Framework

The proposed development is guided by the following objectives:

1. Conserve as much of the heritage building as possible while allowing new construction and additional density on the site.
2. Maintain the legibility of the heritage building's Second Empire facade and square plan, both by conserving the majority of the building and maintaining its visibility from its two street frontages.
3. Adopt a strategy of minimal intervention, through adaptive re-use and sensitive and appropriate repair.
4. Remove the 1940's addition in recognition of its limited character-defining elements.
5. Restore the original heritage building and its identified character-defining elements in accordance with best practices outlined in the Standards and Guidelines for the Conservation of Historic Places in Canada.

5.0 **Impact of proposed development**

5.1 — Impact Assessment

The development proposal described in the previous section employs a mixture of strategies for conservation and new construction that seeks to best conserve the intact and authentic heritage asset, amplify its expression, and reinforce the character of the neighbourhood and local streetscape.

The proposal retains all of the building's character-defining elements and presence on Inglis and South Bland streets, integrating it with a new six-storey addition. The proposed six storey development replaces an existing two-storey addition at the rear of the heritage building.

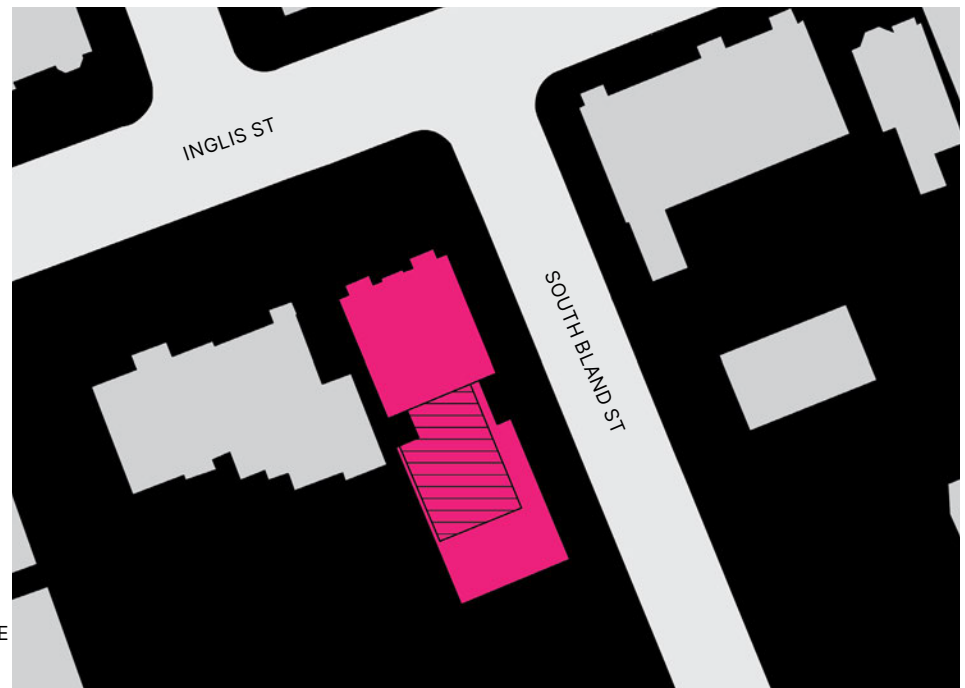
Overall Site Strategy

By setting the new mass in behind the heritage building, the proposed development will maintain the predominant streetwall height and scale of Inglis St. In order to increase density on the site, the 1940s addition will be removed and replaced with the new six-storey addition.

SITE CONFIGURATION

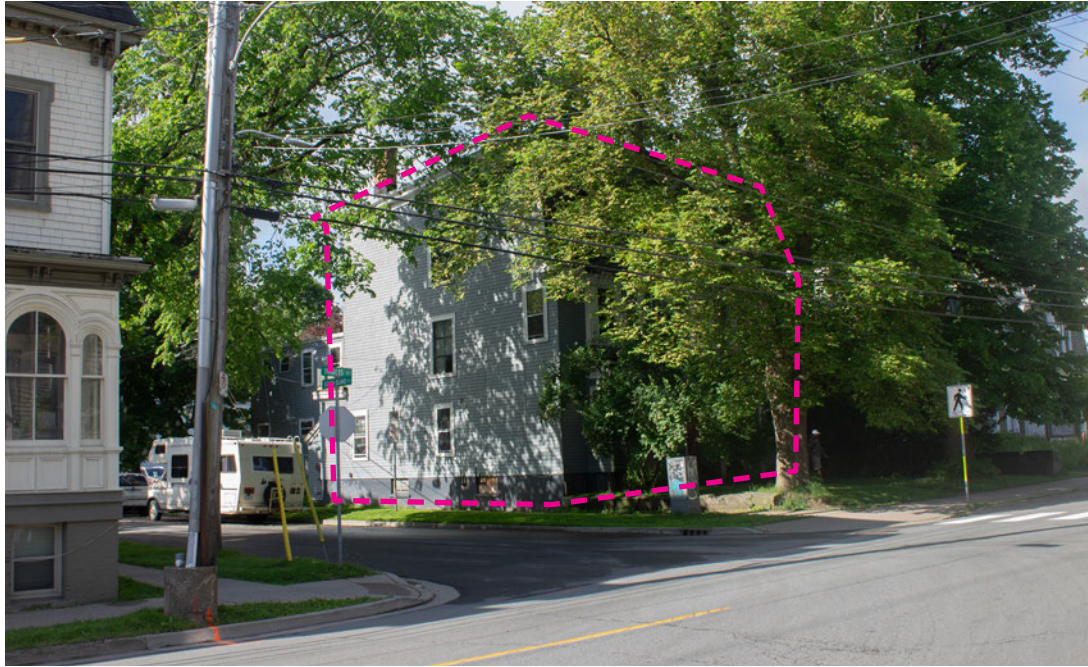
The 1940s addition is replaced by the new six-storey massing

- 6-STOREY NEW ADDITION
- 3-STOREY HERITAGE HOUSE
- 2-STOREY 1940s ADDITION



Impact on Streetscape

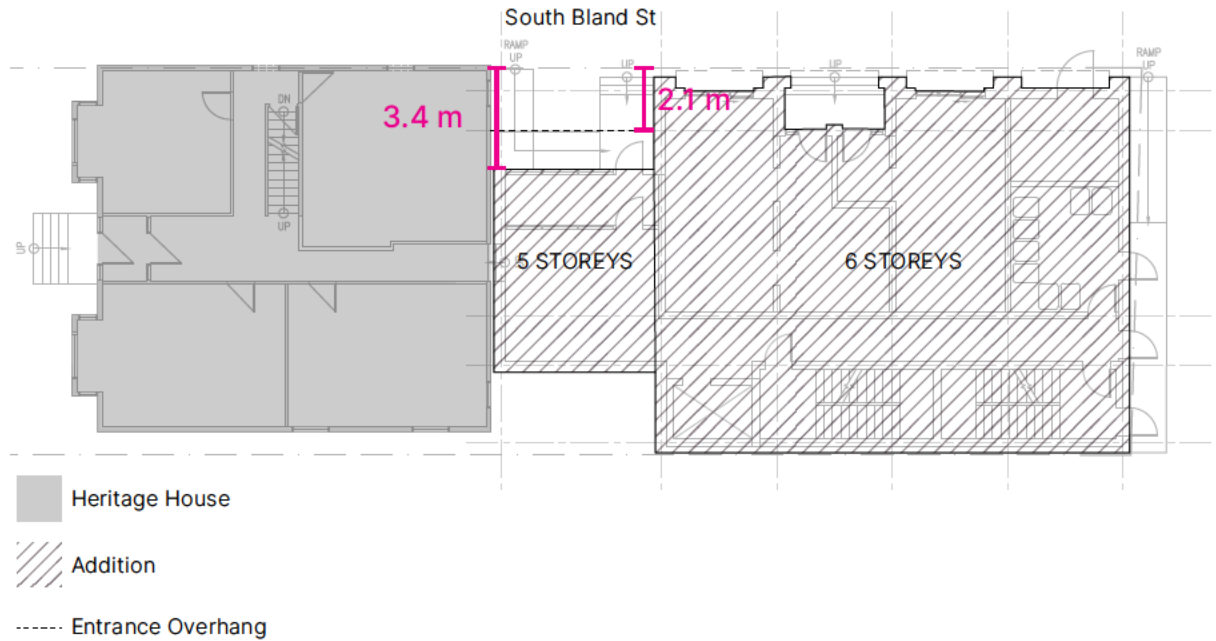
The heritage house sits at the corner of Inglis and South Bland St with an elm and a linden tree in front of the Inglis St facade. While walking along Inglis Street the development will mostly be hidden from view, with the heritage house and trees remaining as the focal point. The trees surrounding Inglis St will help conceal the proposed six-storey structure even further during the spring and summer months.



IMPACT ON STREETScape

The property's Inglis St frontage will remain the same, conserving the neighbourhood's streetscape. The top image was taken in early June.

An intermediate five-storey mass eases the transition between the existing three-storey structure and the proposed six-storey addition. This mass serves as a transition from new to old. While the six-storey addition lacks stepbacks, the transitional mass steps back in plan, accentuating the entrance to the residence and adding interest to the streetwall.



INTERMEDIATE MASS

The intermediate mass steps back in plan and steps down in elevation to create a transition between the heritage house and the six-storey mass



**STEPPED MASSING
ELEVATION**

The five-storey mass helps connect the new addition to the heritage house.

Impact on Architectural Integrity

The development proposal is centered around a conservation strategy that prioritizes authenticity and minimal intervention.

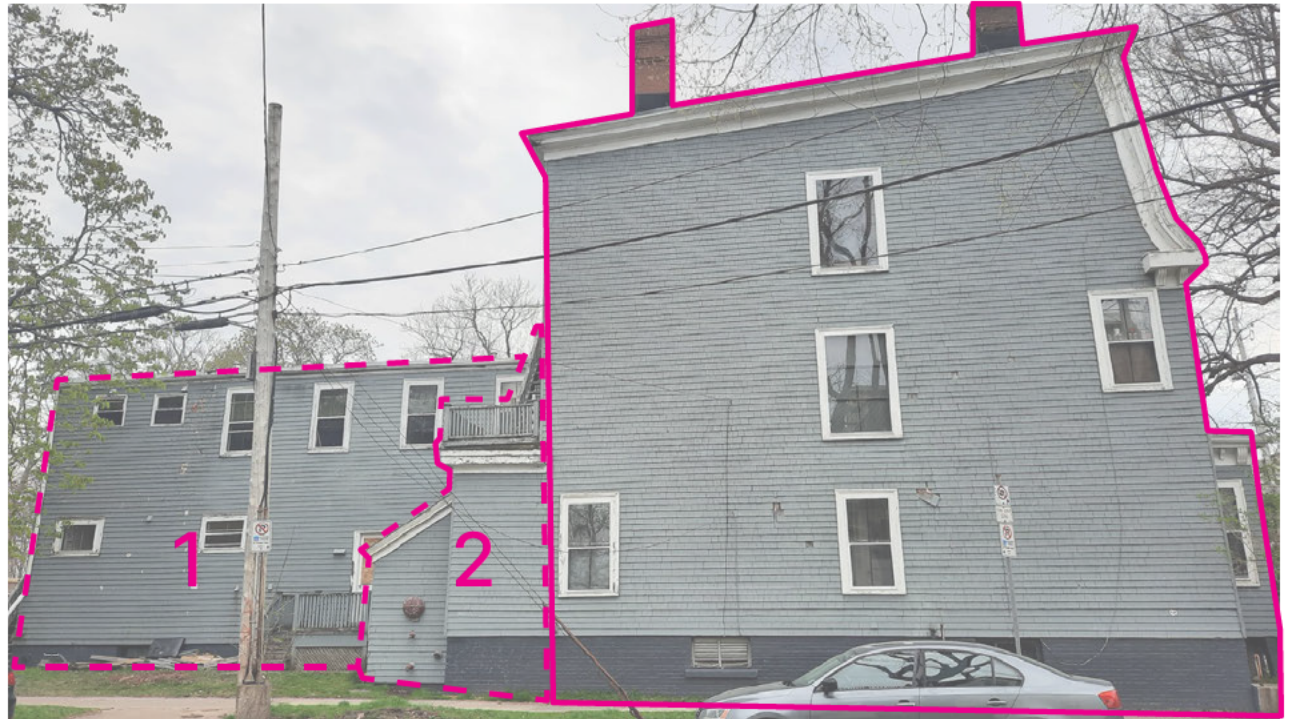
We propose that the rear addition be removed to make room for the new six-storey residential addition. This portion of the building was built c. 1943 and does not have any of the character-defining elements, as identified in the HRM Heritage report, that are found in the Second Empire heritage house built c. 1891.

Two interior stairs in the new addition will replace the existing exit stair at the rear of the heritage house. The storm porch will also be removed to accommodate the entrance to the new addition.

A cricket will be added to the existing roof to ensure drainage of water once the addition is in place. It is highly unlikely that this alteration will be visible from the street.

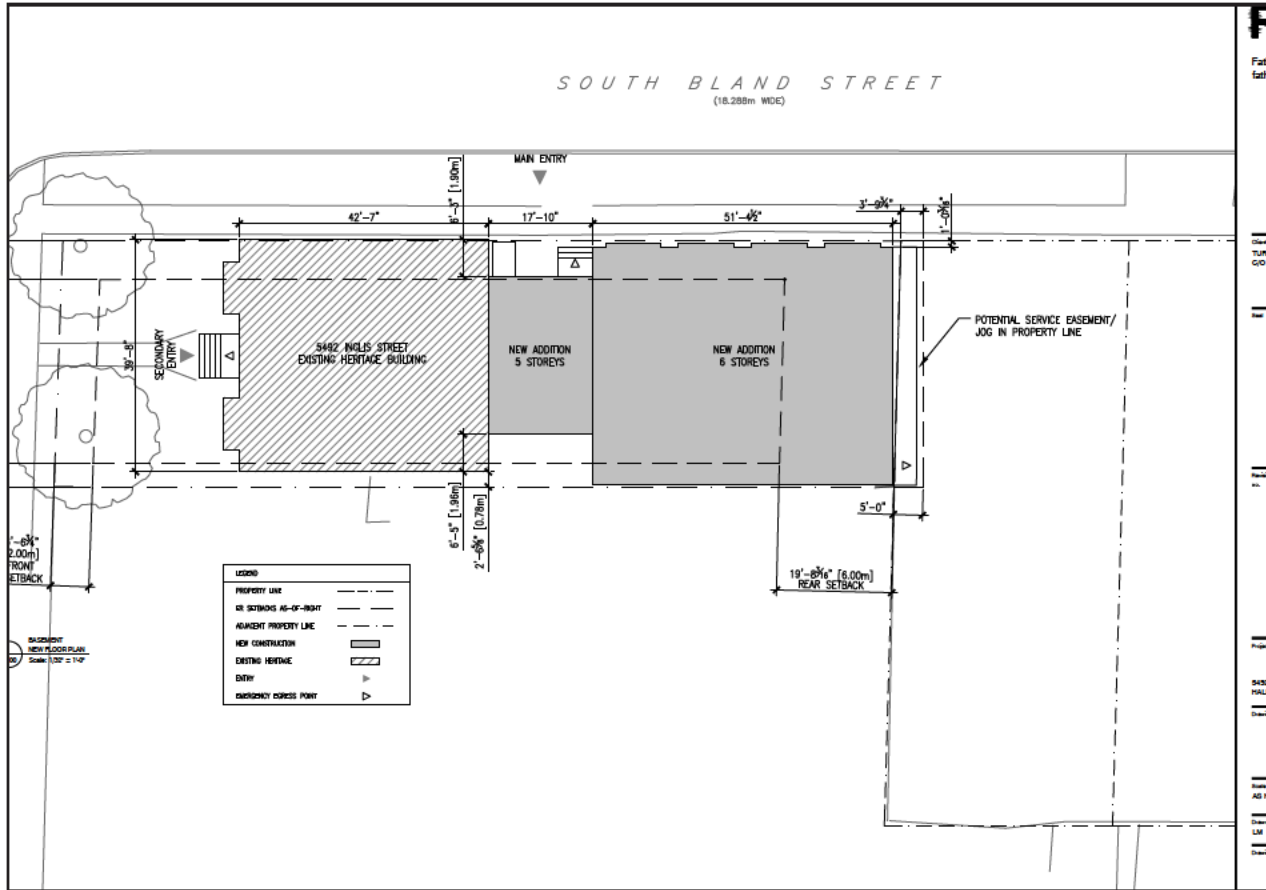
All character-defining elements will be retained and restored in accordance with Standards 8-11 in *Standards and Guidelines for the Conservation of Historic Places in Canada*.

-  RETAINED
-  REMOVED
-  ADDED (ROOF CRICKET)
- 1** 1940S-ERA ADDITION
- 2** REAR STAIR



6.0 Design rationale

6.1 — Planning and land use



The site is currently zoned ER-2 under the Regional Centre Land Use By-law (LUB) which permits multi-unit dwelling use on the lot. Note that the heritage building would not be permitted here if proposed today as it would not comply with side and flanking setbacks. The LUB stipulates a maximum building height of 8m which was changed in June 2024 with the Housing Accelerator Fund LUB amendments from 11m. Neighbouring lot zoning varies, with an adjacent HR-1 lot and an ER-2 lot. The two mid-rise apartment buildings across the street on South Bland Street that are zoned HR-1, with a maximum height of 26.0m.

The proposed development consists of a three-storey heritage mass measuring 11.75 meters tall, a five-storey intermediate mass standing at 17.75 meters, and a six-storey mass of 21.85 meters. It includes 30 residential units, two commercial units, one interior amenity space and one outdoor amenity space. The residential unit mix is approximately 80% studio, 13% one-bedroom, and 7% 2-bedroom.

The proposed building sets a five-storey mass back at the east and west elevations to create a break between the heritage building and the new addition, and providing relief for the corners of the heritage building. There is an additional five foot setback on the first level to articulate the new entrance. On the main 6-storey mass of the new addition, a slight cantilever above level 1 helps articulate the facade further.

The lot will be subdivided to prevent the creation of a stranded lot with this development. The southern part of the L-shaped lot (parcel X) will later be added to the adjacent HR-1 lot (5AX).

6.2 — Design strategy

The development proposal seeks to bring residential density to the site while being mindful of its heritage and the neighborhood's character. It incorporates materials and architectural elements that reflect the site's historical significance rather than conceal it. The design aims to seamlessly integrate into Halifax's urban environment, employing superior materials and construction methods.

The proposed new addition is strategically positioned near the rear of the property, respecting the prominence of the Second Empire heritage building. Subtle materiality and color choices harmonize with the existing structure, ensuring they complement rather than overshadow it. Articulation of the addition in a thoughtful manner will further emphasize the heritage house as the focal point of the site.

The proposed design strategy aims to retain or enhance heritage elements while contributing high-quality urban design and new dwelling spaces to South End Halifax.

Strategy:

- Celebrate the form, siting, detailing, and architectural style of the heritage building by referencing or alluding to it, while not obscuring the original.
- Maintain an architectural hierarchy that is subordinate to the heritage building, through careful choices of massing, detailing, and articulation.
- Use high quality materials that reinforce this hierarchy, and contribute positively to the urban landscape of the city.
- Acknowledge and reference the architecture and scale of other nearby buildings.

Celebrating heritage

Allowing the heritage house to remain prominent on the site is a critical gesture toward celebrating its character. To achieve this, all of the proposed massing is pushed to the rear of the site where the 1940's addition currently sits. This massing strategy maintains the original heritage house in its entirety, and maintains the small-scale character of the streetwall by keeping the new addition far from Inglis St.

The Second Empire style features of the house are critical to its heritage value: its mansard roof, symmetrical facade, two dormers with a pediment gable and square bays with wood dentils. The proposed design continues this narrative by employing a language of repeated, symmetrical, and narrow window bays, in response to those on the house.

Finally, the proposed development is designed to remain subordinate and distinguishable from the heritage building in several ways despite its mass. Floor elevations have been selected to closely match the existing floor-to-floor heights of the heritage building, referencing the existing horizontal datums of the heritage building to strengthen its composition and prevent visual clashes.

The heritage building will also remain the most finely textured and detailed portion of the new development as a whole. At the same time, this proposal seeks to introduce new moments of interest, employing a regular rhythm of "bays" on the new facade. Fluted fibre cement clads the bays of the six-storey mass, referencing the fluting seen on the heritage house. Elsewhere on the new development, detail and ornamentation is sparse and articulation is regular. The effect overall is that the heritage house should remain the focus of the site.



REFERENCES TO SECOND EMPIRE FEATURES: HERITAGE

Two box bays with dentils and fluted detailing adorn the Inglis facade of the heritage house. They are characteristic of the Second Empire style.



"BAYS" OF THE NEW ADDITION



REFERENCES TO SECOND EMPIRE FEATURES: PROPOSED

Repeated 'bays' clad in fluted high density fibre cement panels refer to the Second Empire massing and detailing of the heritage house, but are minimally detailed to ensure attention is not taken away from the heritage building.

Connecting new to old

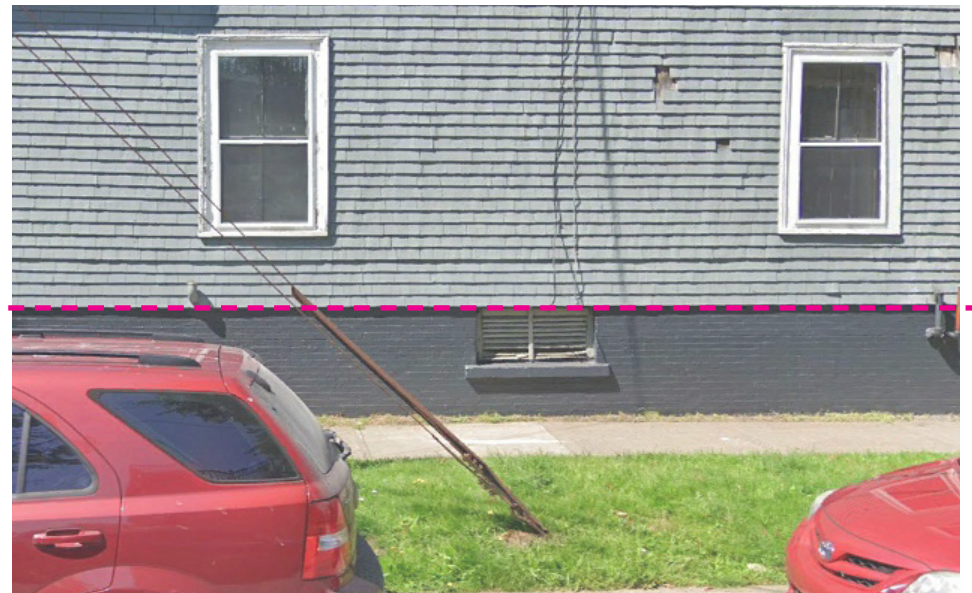
The intermediate mass acts as a transition between the heritage house and the new development. It separates the two masses while also acting as a bridge connecting them, striking a balance. It is set back from the street to create a clear separation between the new and old, allowing the heritage house to be viewed both on its own and as part of the whole.

The first level of the transitional mass is set back an additional five feet to frame the entrance. Walking through this transitional space is designed to feel like entering a tunnel, with the wood shingle materiality of the heritage house on the right and the masonry of the addition on the left. It is a space between the new and old with a bridge above connecting the two.



BRICK FOUNDATION DATUM

Carrying over the brick foundation datum from the heritage house to the new development helps establish a connection between the old and the new.



High-quality materials

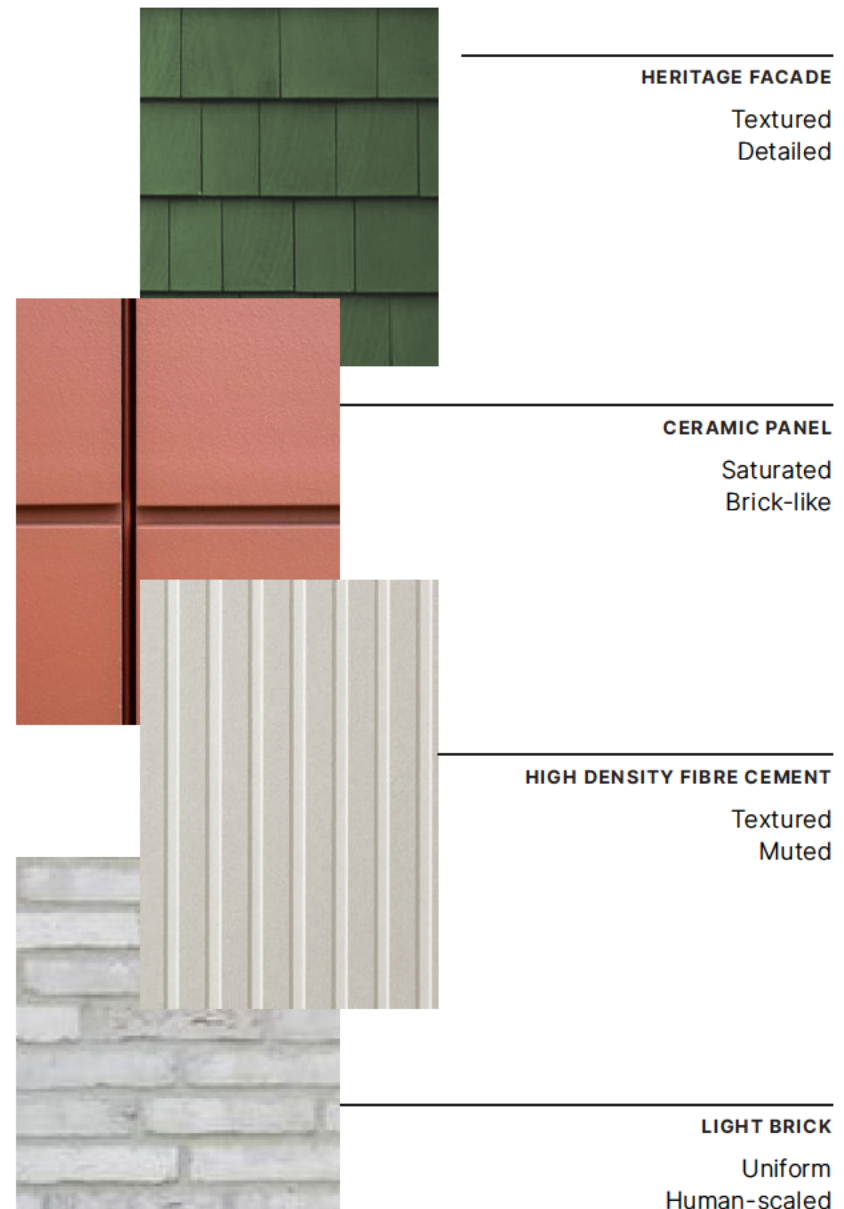
The new development is designed to contribute positively to the material landscape of the South End, while achieving the goal of highlighting the heritage house as the focus of the block.

A light brick masonry is used at the street level of the addition to ground the design and bring a human scale to the streetscape. This is a material prevalent in the neighbouring context of The Terrace Apartments and the Grainery Lofts. The new addition continues the brick foundation datum with a slight inset line.

The rest of the six-storey mass is clad in a high-density fibre cement. The “bays” are clad in a fluted variation, emphasizing their connection to the historic features and introducing texture to the new facade. A smooth, paneled variation of the high-density fibre cement serves as a subtle backdrop for these “bays.” The material exhibits a nuanced tonal and textural variety akin to wood, without mimicking it outright.

The transitional mass is clad in a terracotta-coloured ceramic panel. This choice evokes the materiality of the red-brick buildings nearby and the chimneys atop the heritage house.

Lastly, a rich green has been applied to the shingles of the heritage house to ensure it stands out. The colour and texture complement the materiality of the addition. This colour is extended to the aluminum window frames of the six-storey mass once again visually connecting the old to the new.



MATERIAL PALETTE

Examples of the proposed materials show in combination.

7.0 **Conservation strategy/
mitigation measures**

7.1 — Proposed conservation strategy

5492 Inglis St Heritage House

The proposal maintains all of the building's character-defining elements, only removing the 1940s addition, the rear storm porch and exterior stair. The following mitigation measures are recommended to ensure conservation work is done properly:

- Thorough photographic and architectural documentation should be completed prior to any alterations.
 - A conservation expert, with CAHP designation, should be engaged and consulted throughout the demolition and construction process to advise on best practices
 - Avoidance measures should be put in place and may include but are not limited to: erecting temporary fencing, establishing buffer zones, weather protection, and structural monitoring, especially during high-risk phases.
 - Salvage building materials during demolition, store safely throughout construction and, wherever possible, reuse to repair any damages that occur elsewhere on site.
 - As per Standard 9, repair and replacement work should be identifiable upon close inspection and records of all conservation work, including maintenance, should be kept to allow for easy retrieval of that information in the future.
 - As per Standard 10, repair rather than replace character-defining elements. Where there is not sufficient evidence to inform replacement, new work should be compatible with the heritage character.
 - As per Standard 11, new work should be physically and visually compatible with, subordinate to and distinguishable from the historic fabric.
- A detailed condition assessment should be prepared prior to demolition. Working with a structural engineer, this will help to inform the extent of stabilization and reinforcement required based on current conditions.

8.0 Bibliography

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