

Client  
TUROCK HOLDINGS  
C/O JOE & ZIAD LAWEN

Seal

Revisions  
no. DATE

Project

5492 INGLIS STREET  
HALIFAX, NS

Drawing Name

Scale Project number  
AS NOTED 24-058

Drawn By Checked Approved  
LM CB

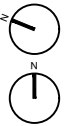
Drawing Number



## 5492 INGLIS STREET HERITAGE DA

### DRAWING LIST

- A000 COVER
- A001 DEMOLITION SITE PLAN
- A010 ARCHITECTURAL SITE PLAN
- A020 PRO FORMA
- A100 BASEMENT FLOOR PLAN
- A101 GROUND FLOOR PLAN
- A102 LEVEL 2 FLOOR PLAN
- A103 LEVEL 3 FLOOR PLAN
- A104 LEVEL 4-5 FLOOR PLAN
- A105 LEVEL 6 FLOOR PLAN
- A200 EAST BUILDING ELEVATION
- A201 NORTH BUILDING ELEVATION
- A202 WEST BUILDING ELEVATION
- A203 SOUTH BUILDING ELEVATION
- A800 RENDERING – FROM INGLIS STREET
- A801 RENDERING – SOUTH BLAND STREET



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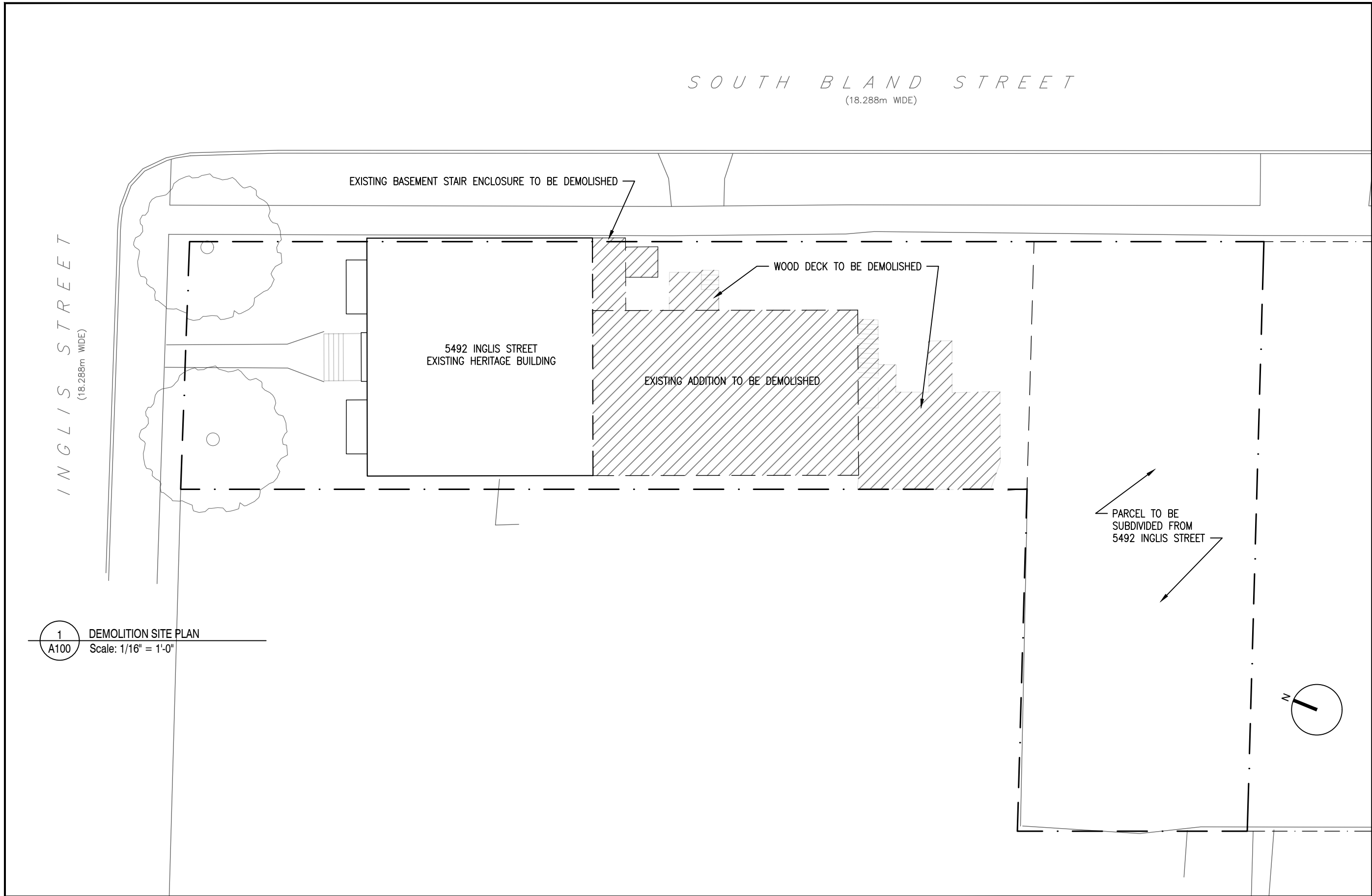
5492 INGLIS STREET  
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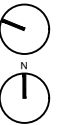
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1 DEMOLITION SITE PLAN  
 A100 Scale: 1/16" = 1'-0"



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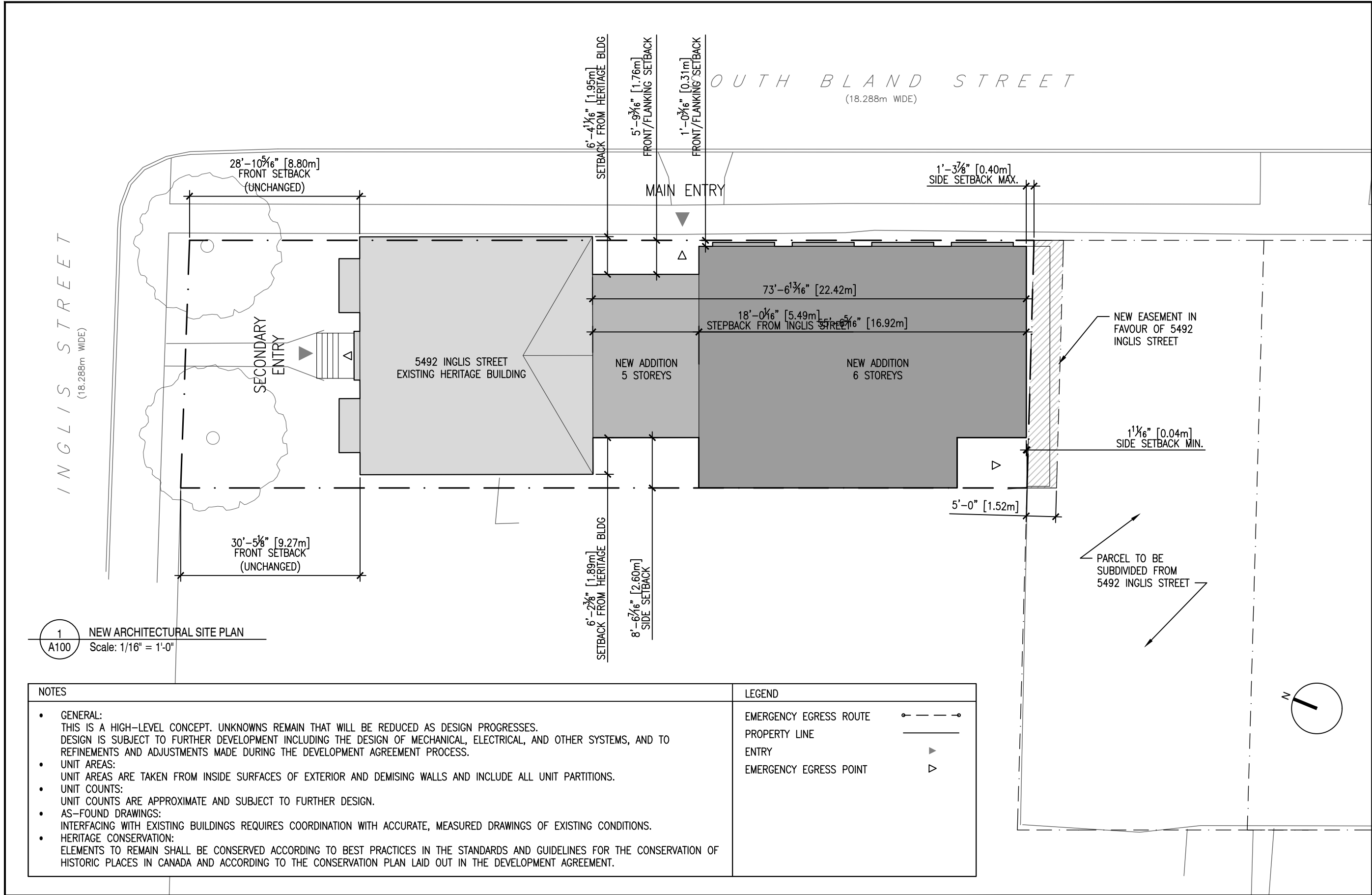
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1 NEW ARCHITECTURAL SITE PLAN  
A100 Scale: 1/16" = 1'-0"

NOTES	LEGEND
<ul style="list-style-type: none"> <li><b>GENERAL:</b> THIS IS A HIGH-LEVEL CONCEPT. UNKNOWNNS REMAIN THAT WILL BE REDUCED AS DESIGN PROGRESSES. DESIGN IS SUBJECT TO FURTHER DEVELOPMENT INCLUDING THE DESIGN OF MECHANICAL, ELECTRICAL, AND OTHER SYSTEMS, AND TO REFINEMENTS AND ADJUSTMENTS MADE DURING THE DEVELOPMENT AGREEMENT PROCESS.</li> <li><b>UNIT AREAS:</b> UNIT AREAS ARE TAKEN FROM INSIDE SURFACES OF EXTERIOR AND DEMISING WALLS AND INCLUDE ALL UNIT PARTITIONS.</li> <li><b>UNIT COUNTS:</b> UNIT COUNTS ARE APPROXIMATE AND SUBJECT TO FURTHER DESIGN.</li> <li><b>AS-FOUND DRAWINGS:</b> INTERFACING WITH EXISTING BUILDINGS REQUIRES COORDINATION WITH ACCURATE, MEASURED DRAWINGS OF EXISTING CONDITIONS.</li> <li><b>HERITAGE CONSERVATION:</b> ELEMENTS TO REMAIN SHALL BE CONSERVED ACCORDING TO BEST PRACTICES IN THE STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA AND ACCORDING TO THE CONSERVATION PLAN LAID OUT IN THE DEVELOPMENT AGREEMENT.</li> </ul>	<ul style="list-style-type: none"> <li>EMERGENCY EGRESS ROUTE </li> <li>PROPERTY LINE </li> <li>ENTRY </li> <li>EMERGENCY EGRESS POINT </li> </ul>

## PRO FORMA

	Heritage			
	Studio	1br	2br	Comm (sf)
Basement	2			
Level 1	1			850
Level 2	2	1		
Level 3	2	1		
Level 4				
Level 5				
Level 6				
Subtotal	7	2	0	850
<b>Total</b>		9		

Indoor Amenity (sf)	Outdoor Amenity (sf)
640	
640	0

	New addition			
	Studio	1br	2br	Comm (sf)
Basement	2			
Level 1	3	1		
Level 2	3	1		
Level 3	3		1	
Level 4	3		1	
Level 5	3		1	
Level 6	4			
Subtotal	18	2	2	0
<b>Total</b>		22		

Indoor Amenity (sf)	Outdoor Amenity (sf)
0	420
0	420

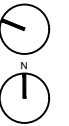
Grand Totals	Studio	1br	2br	Comm (sf)
	25	4	2	850
		31		

Indoor Amenity (sf)	Outdoor Amenity (sf)
640	420
<b>1060</b>	
Amenity Required (sf)	
(Centre plan rules: 5m2 per unit, 50% of which indoors)	
1667.8	

Class A Bike Parking	
Required (Centre plan rules: 0.5 Class A per unit)	Provided
<b>15.5</b>	<b>16</b>

Class B Bike Parking	
Required (Centre plan rules: 0.1 Class B per unit)	Provided
<b>3</b>	<b>4</b>

Barrier-free Units	
Required (DRAFT Nova Scotia Building Code Schedule "A", table 3.8.2.1.)	Provided
<b>1</b>	<b>1</b>



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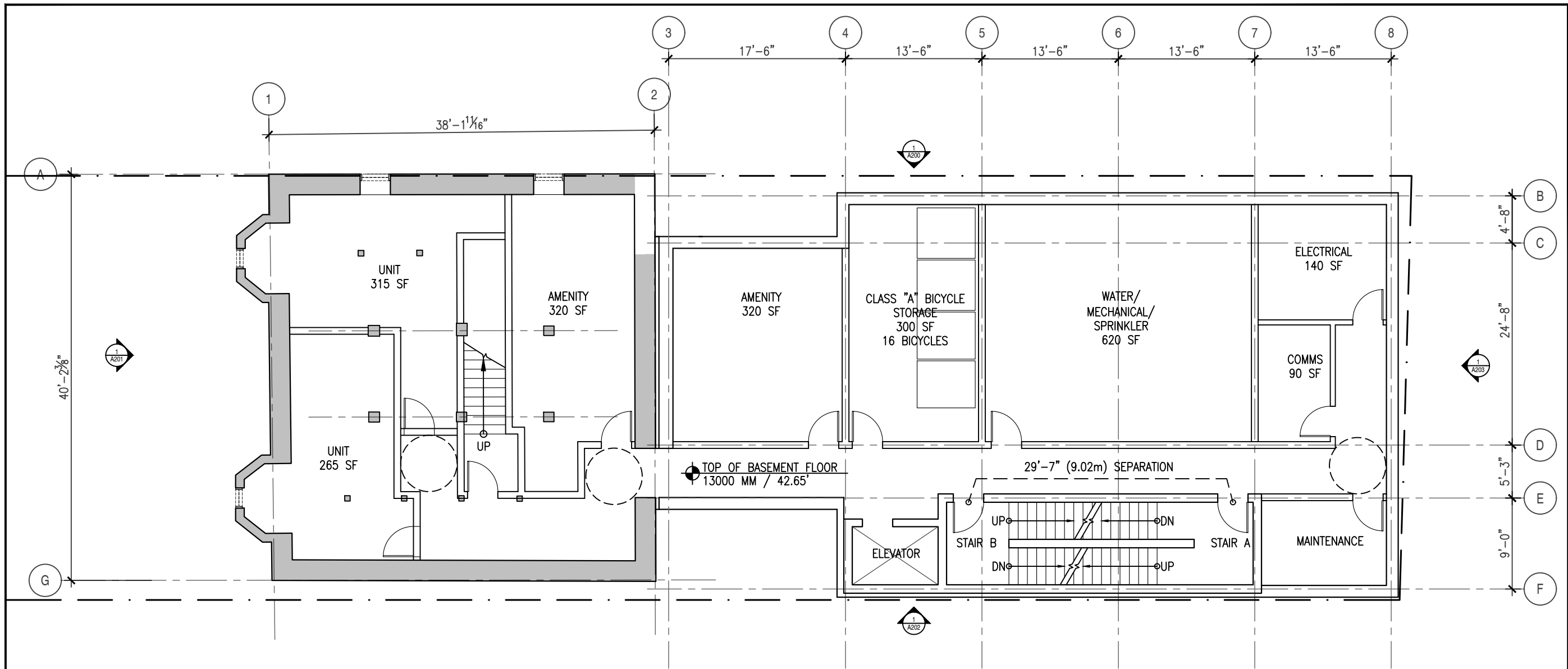
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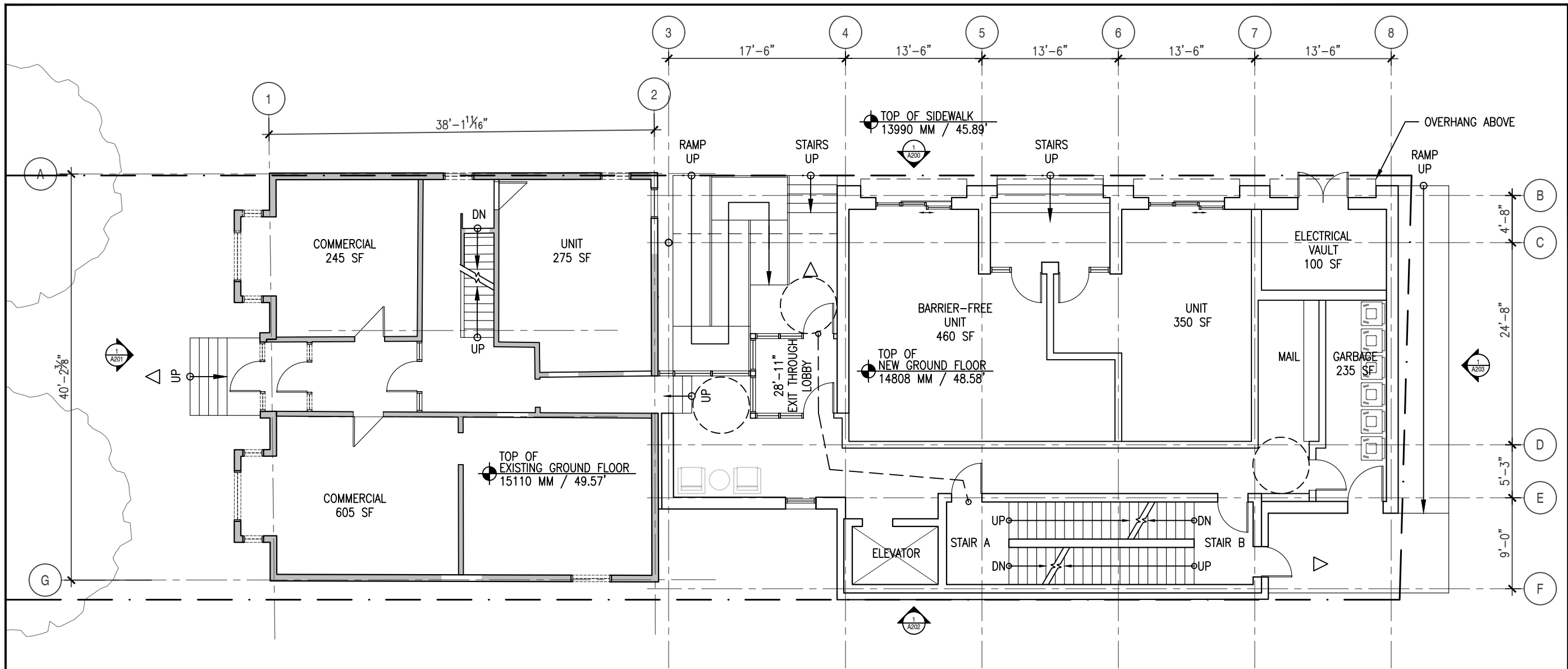
**1**  
A100  
BASEMENT  
NEW FLOOR PLAN  
Scale: 1/32" = 1'-0"

**NOTES**

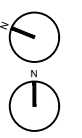
- GENERAL:**  
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**LEGEND**

EMERGENCY EGRESS ROUTE		NEW DOOR	
PROPERTY LINE		EXISTING DOOR TO REMAIN	
NEW CONSTRUCTION		ENTRY	
EXISTING WALL TO REMAIN		EMERGENCY EGRESS POINT	
NEW GLAZING		1700mm TURNING CIRCLE	
EXISTING GLAZING TO REMAIN			



1  
A100  
GROUND LEVEL  
NEW FLOOR PLAN  
Scale: 1/32" = 1'-0"



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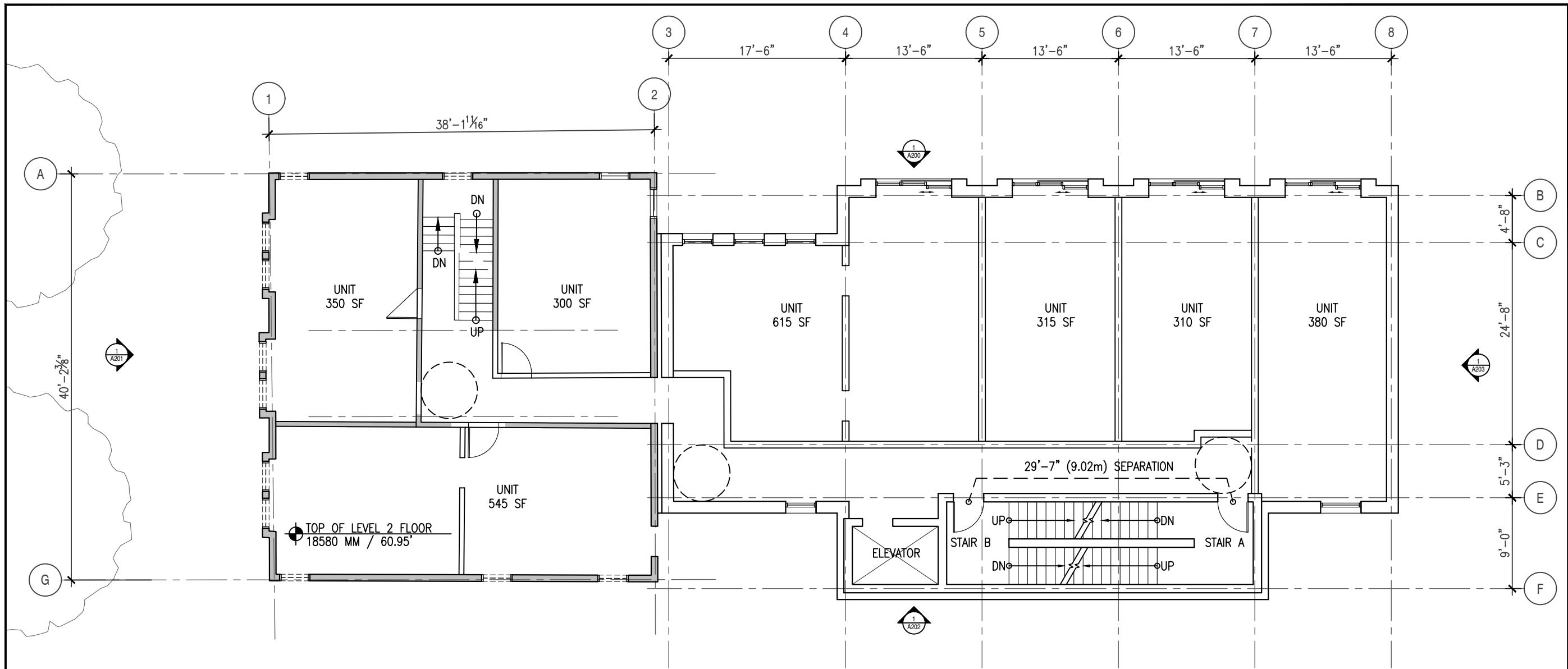
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LEGEND

EMERGENCY EGRESS ROUTE		NEW DOOR	
PROPERTY LINE		EXISTING DOOR TO REMAIN	
NEW CONSTRUCTION		ENTRY	
EXISTING WALL TO REMAIN		EMERGENCY EGRESS POINT	
NEW GLAZING		1700mm TURNING CIRCLE	
EXISTING GLAZING TO REMAIN			



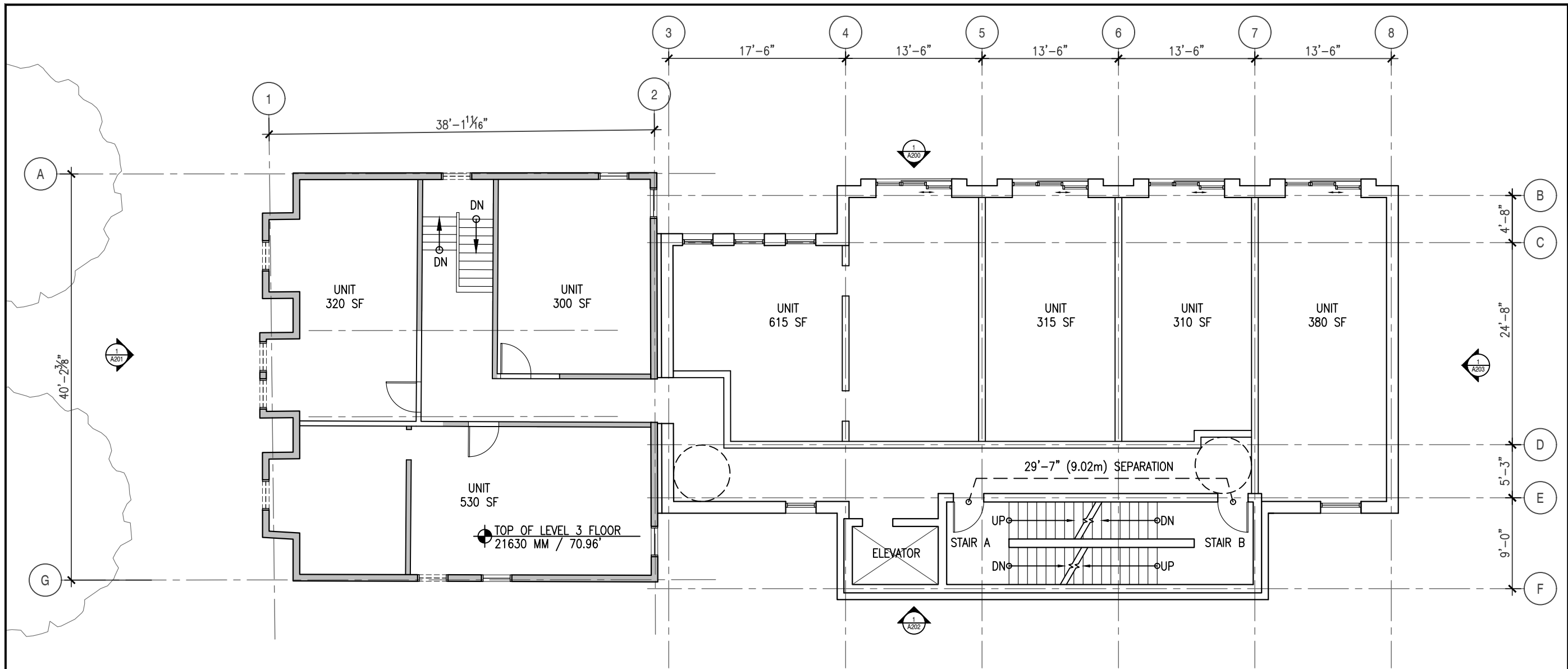
1 LEVEL 2  
A102 NEW FLOOR PLAN  
Scale: 1/32" = 1'-0"

NOTES

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LEGEND

EMERGENCY EGRESS ROUTE		NEW DOOR	
PROPERTY LINE		EXISTING DOOR TO REMAIN	
NEW CONSTRUCTION		ENTRY	
EXISTING WALL TO REMAIN		EMERGENCY EGRESS POINT	
NEW GLAZING		1700mm TURNING CIRCLE	
EXISTING GLAZING TO REMAIN			



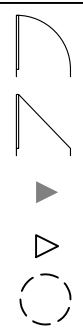
1 LEVEL 3  
 A103 NEW FLOOR PLAN  
 Scale: 1/32" = 1'-0"

NOTES

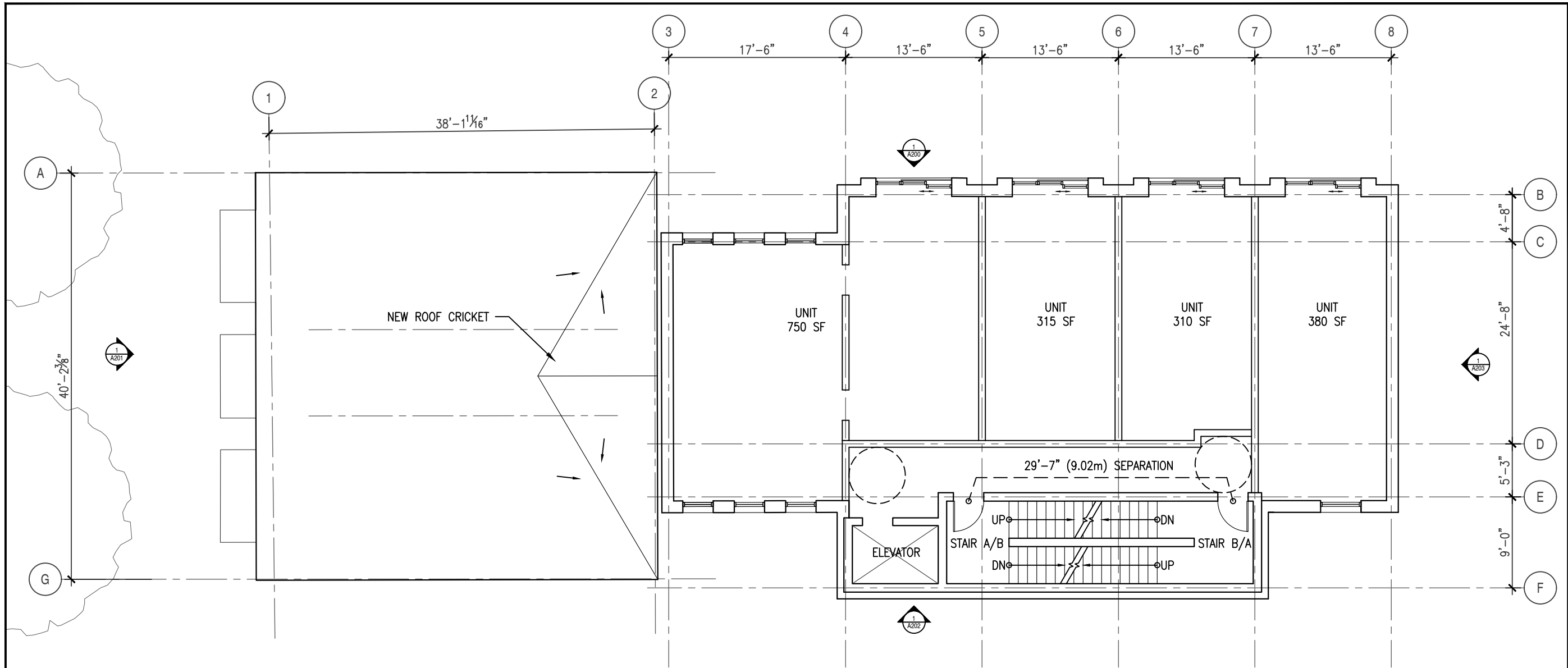
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LEGEND

EMERGENCY EGRESS ROUTE		NEW DOOR	
PROPERTY LINE		EXISTING DOOR TO REMAIN	
NEW CONSTRUCTION		ENTRY	
EXISTING WALL TO REMAIN		EMERGENCY EGRESS POINT	
NEW GLAZING		1700mm TURNING CIRCLE	
EXISTING GLAZING TO REMAIN			

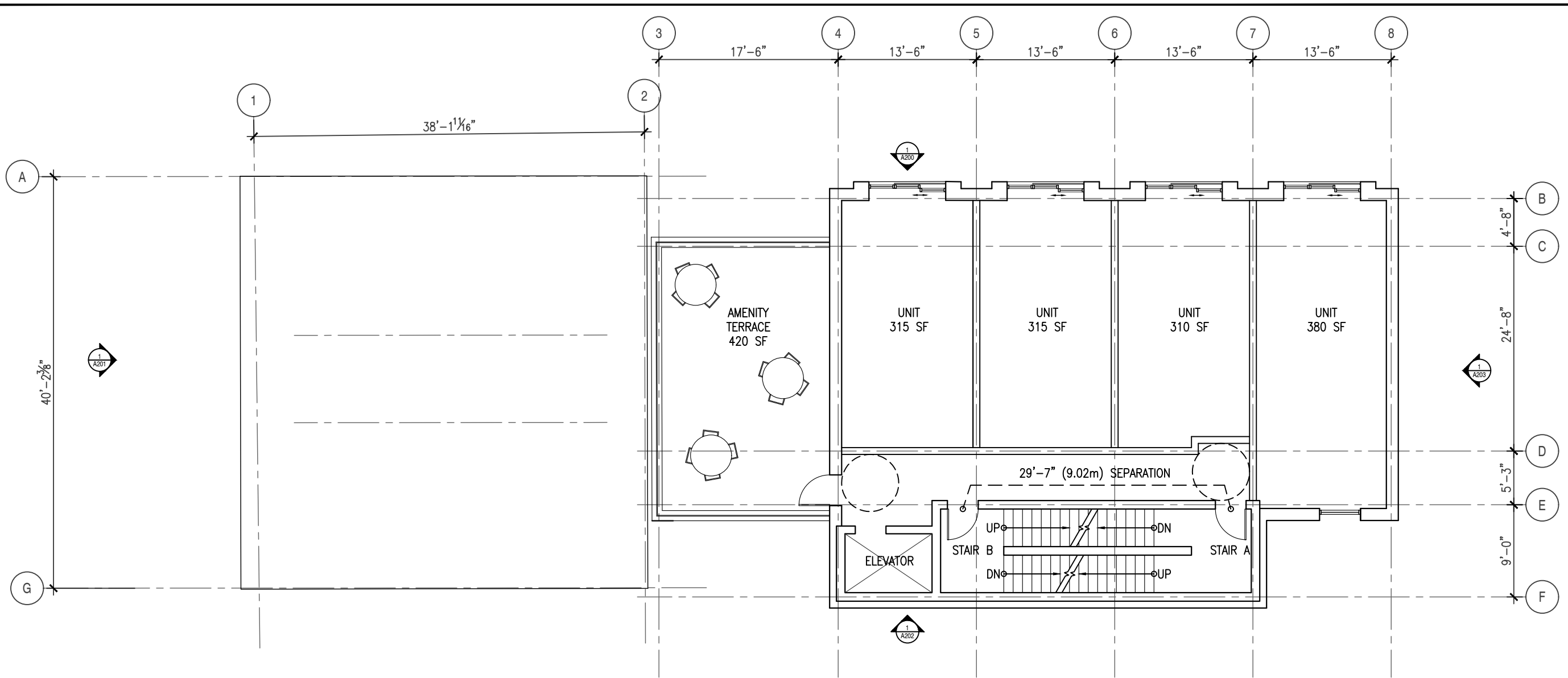






LEVEL 4-5  
1 NEW FLOOR PLAN  
A104 Scale: 1/32" = 1'-0"

NOTES	LEGEND	
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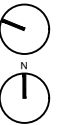
LEVEL 6  
 1 NEW FLOOR PLAN  
 A105 Scale: 1/32" = 1'-0"

NOTES

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LEGEND

EMERGENCY EGRESS ROUTE		NEW DOOR	
PROPERTY LINE		EXISTING DOOR TO REMAIN	
NEW CONSTRUCTION		ENTRY	
EXISTING WALL TO REMAIN		EMERGENCY EGRESS POINT	
NEW GLAZING		1700mm TURNING CIRCLE	
EXISTING GLAZING TO REMAIN			



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 C/O JOE & ZIAD LAWEN

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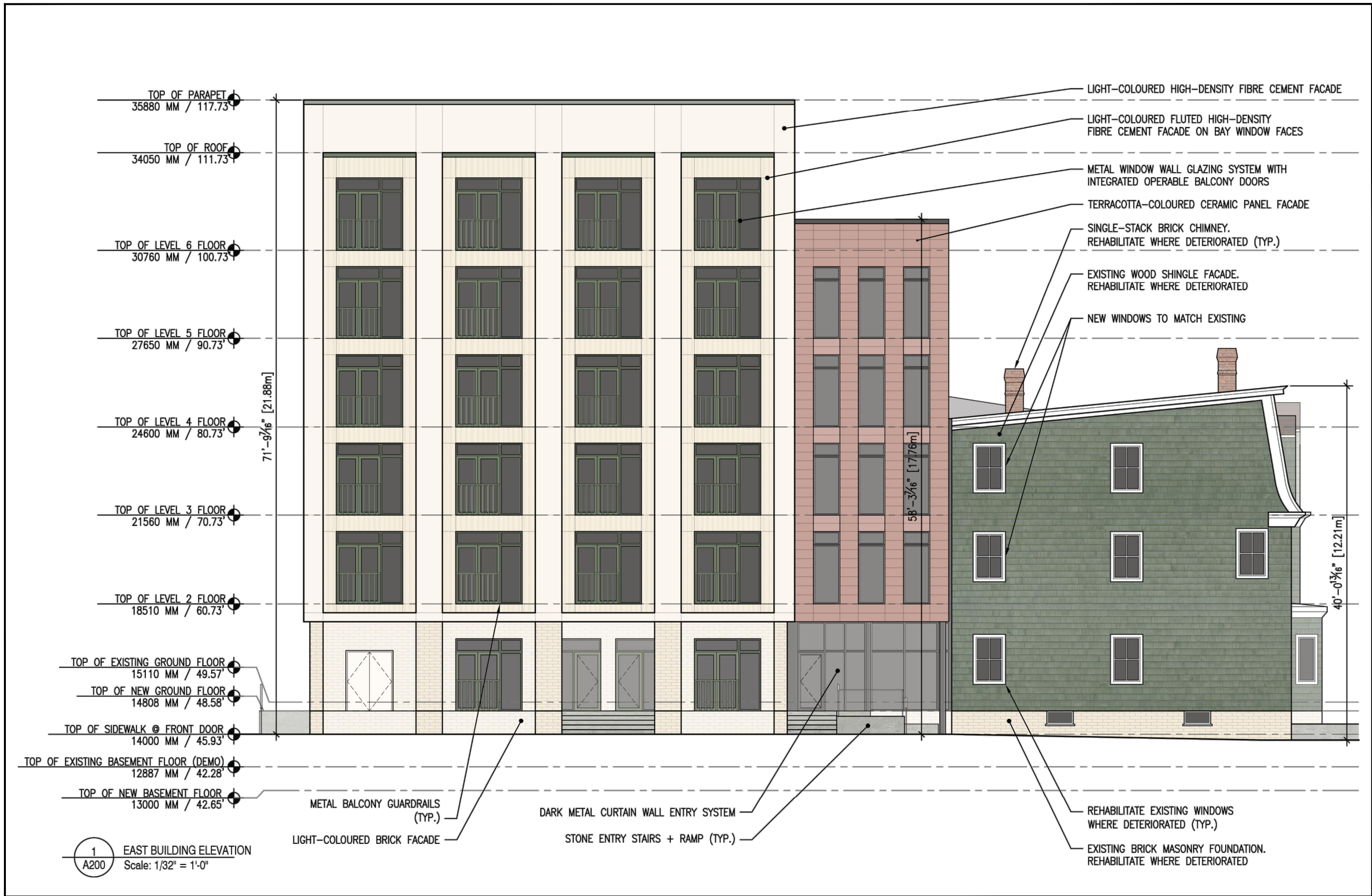
5492 INGLIS STREET  
 HALIFAX, NS

Drawing Name

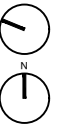
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1 EAST BUILDING ELEVATION  
 A200 Scale: 1/32" = 1'-0"



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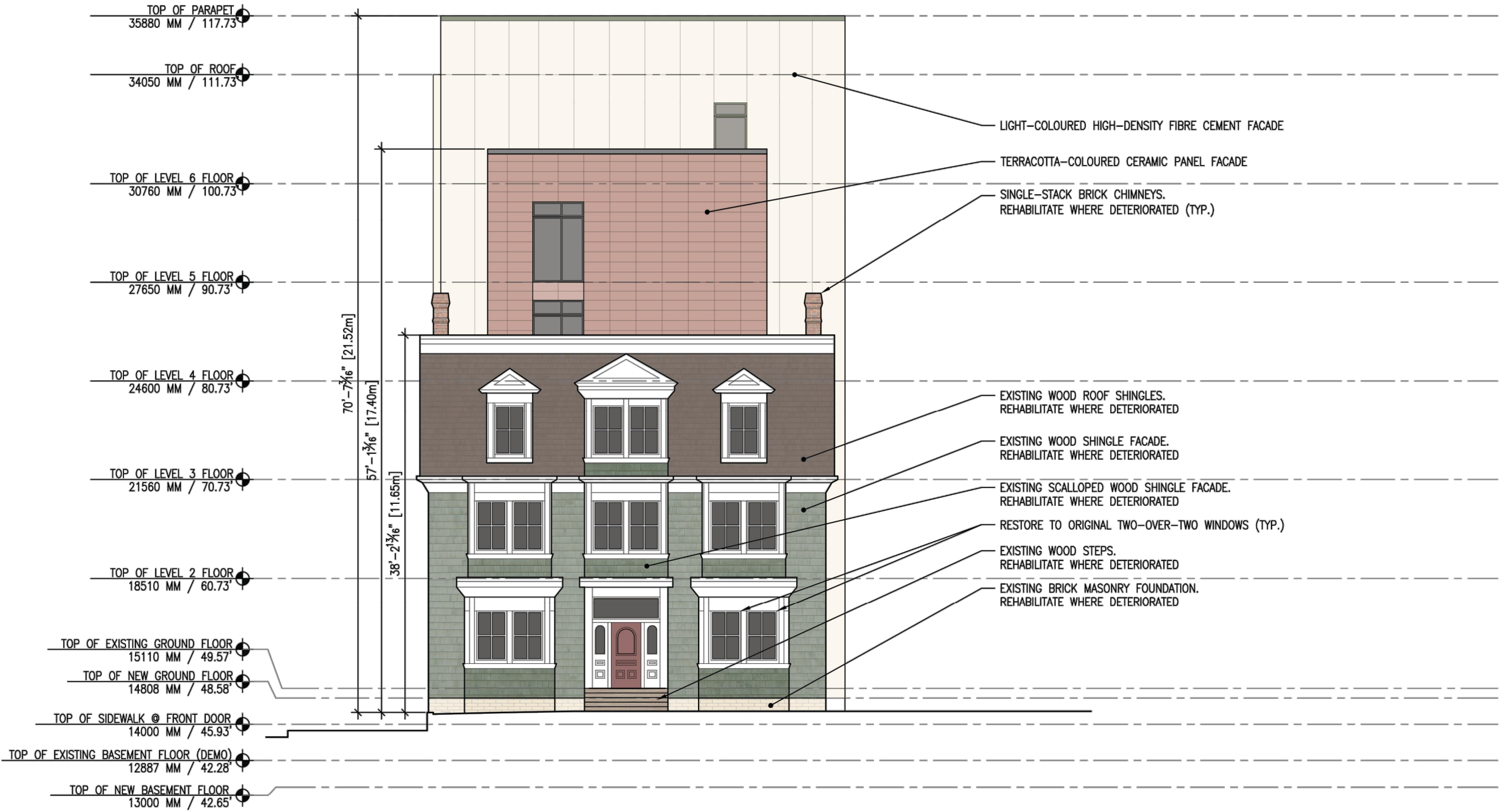
5492 INGLIS STREET  
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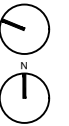
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1 NORTH BUILDING ELEVATION  
A201 Scale: 1/32" = 1'-0"





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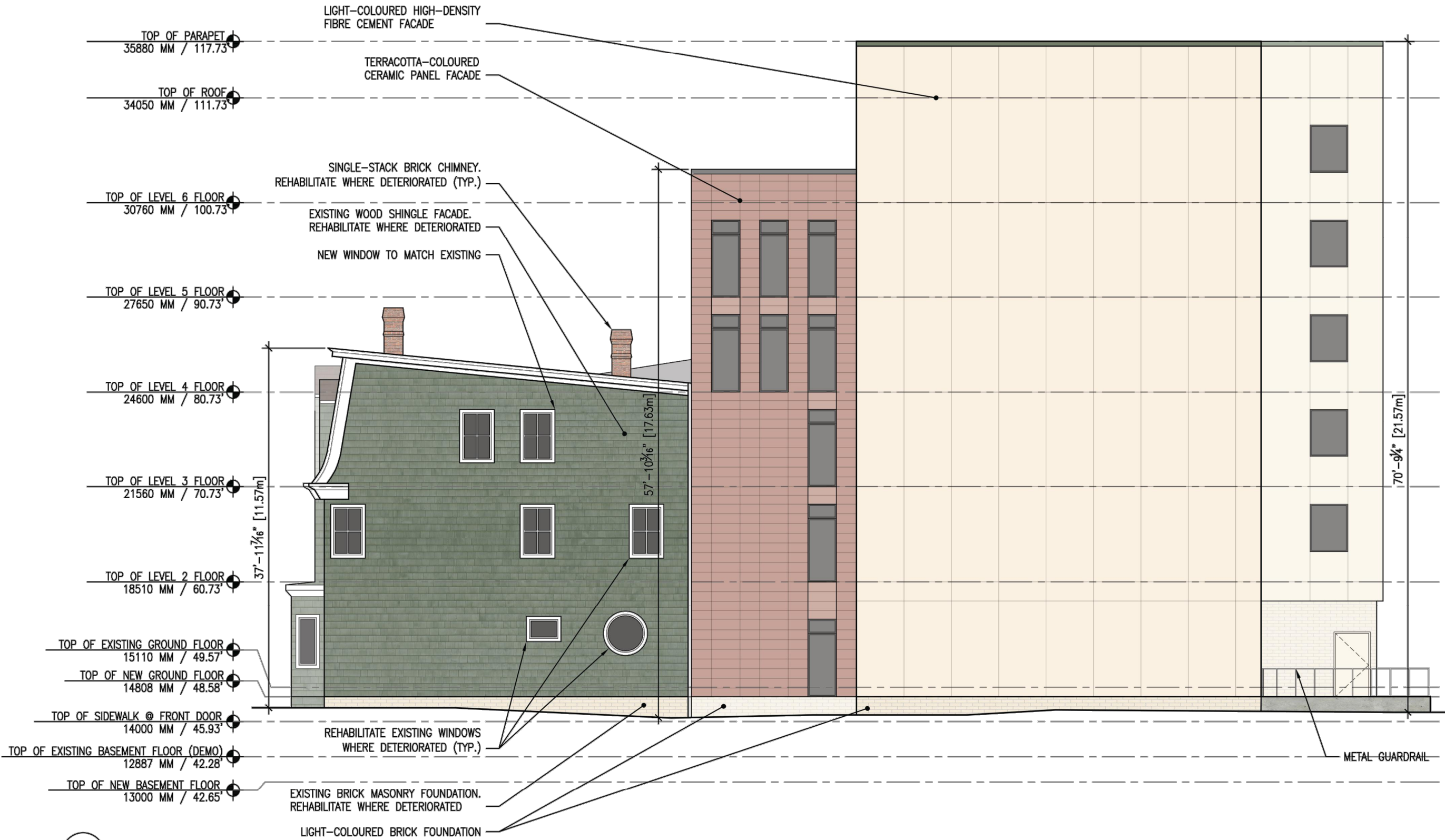
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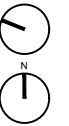
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1 WEST BUILDING ELEVATION  
 A202 Scale: 1/32" = 1'-0"



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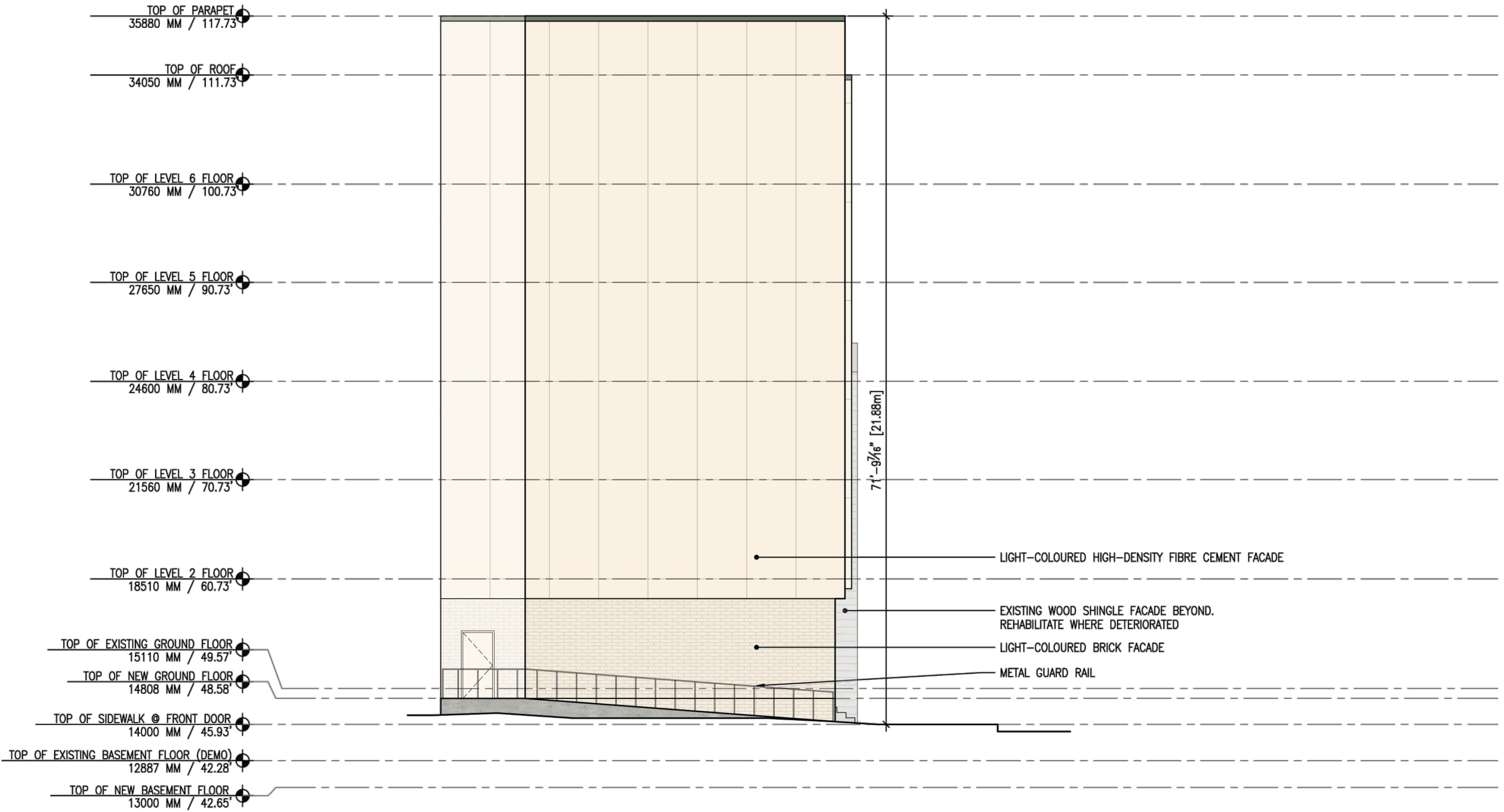
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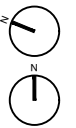
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1 SOUTH BUILDING ELEVATION  
 A203 Scale: 1/32" = 1'-0"





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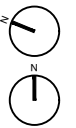
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1  
A801

RENDERING  
FROM INGLIS STREET





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1  
 A801

RENDERING  
 SOUTH BLAND STREET - NEW MAIN ENTRANCE