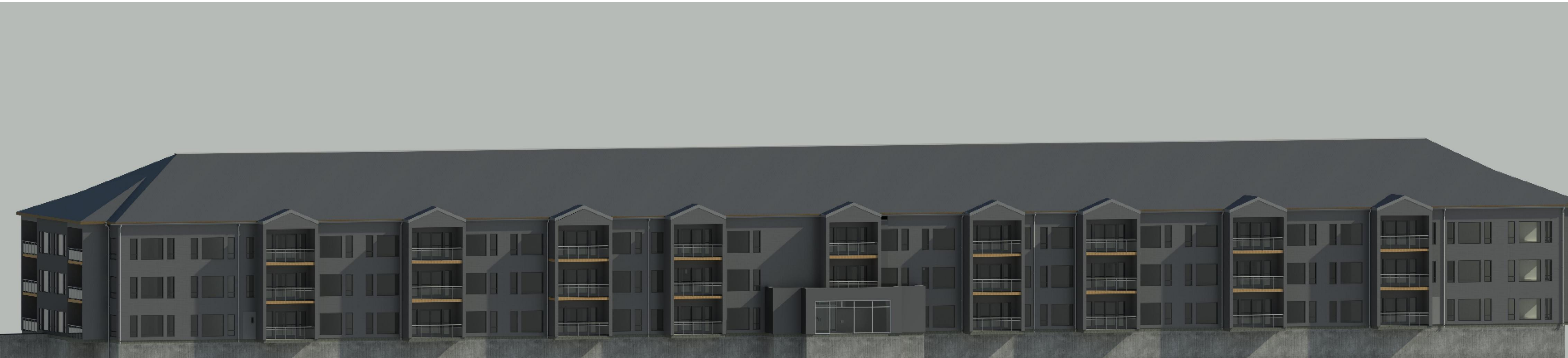


RESIDENTIAL SENIOR HOUSING

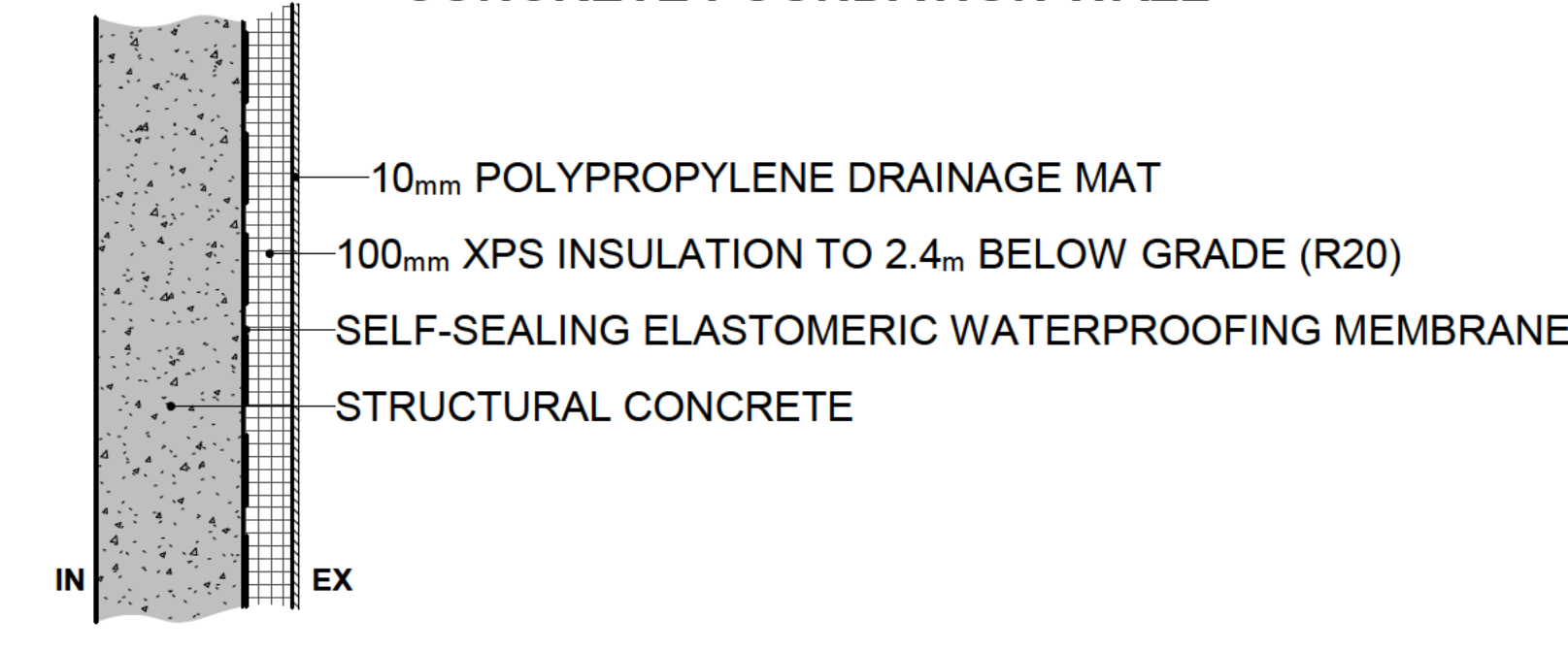
LOT RF-7, HAMMONDS PLAIN RD., NS



Suit 5 - 1350 Bedford HWY,
Bedford, NS B34 1E1
Tel: +1 (902) 402-1323
Email: mranjbar@parscoeng.com
Web: www.parscoeng.com

FOUNDATION WALL TYPES

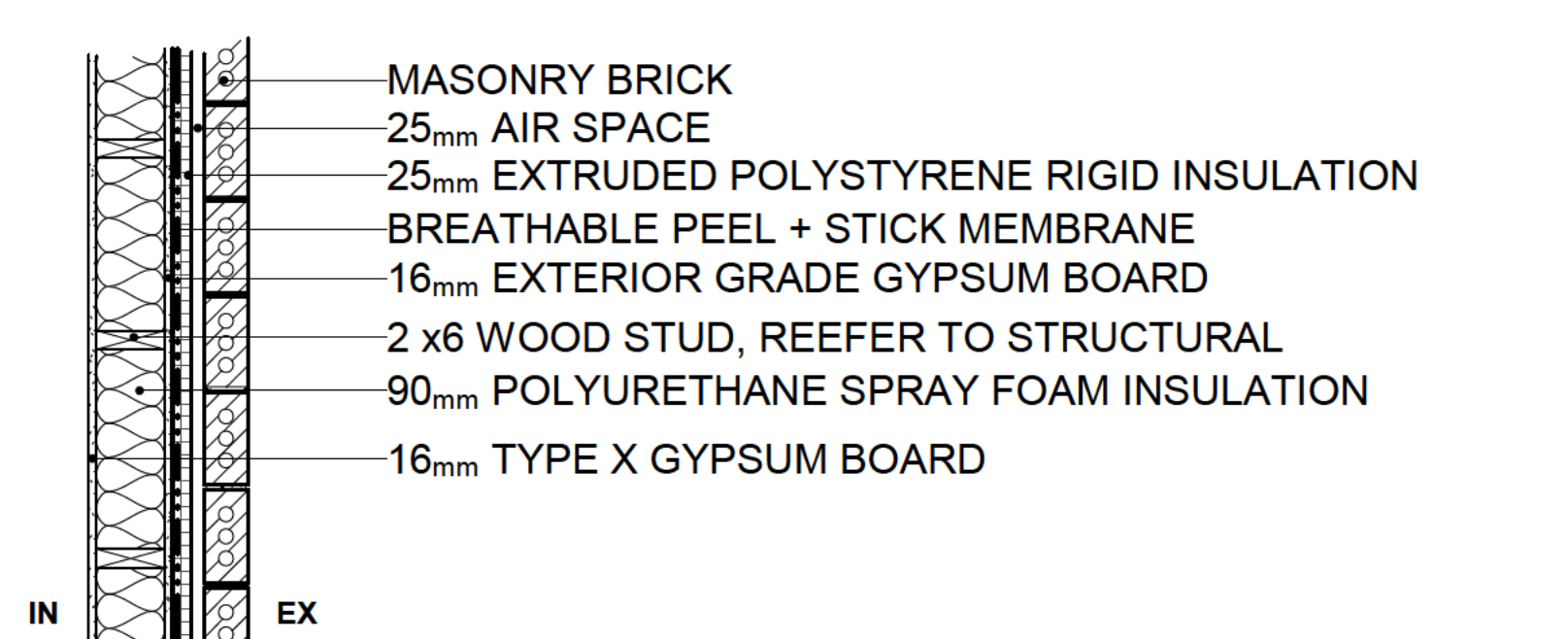
**FW1
CONCRETE FOUNDATION WALL**



*REFER TO STRUCTURAL DRAWINGS FOR SIZING

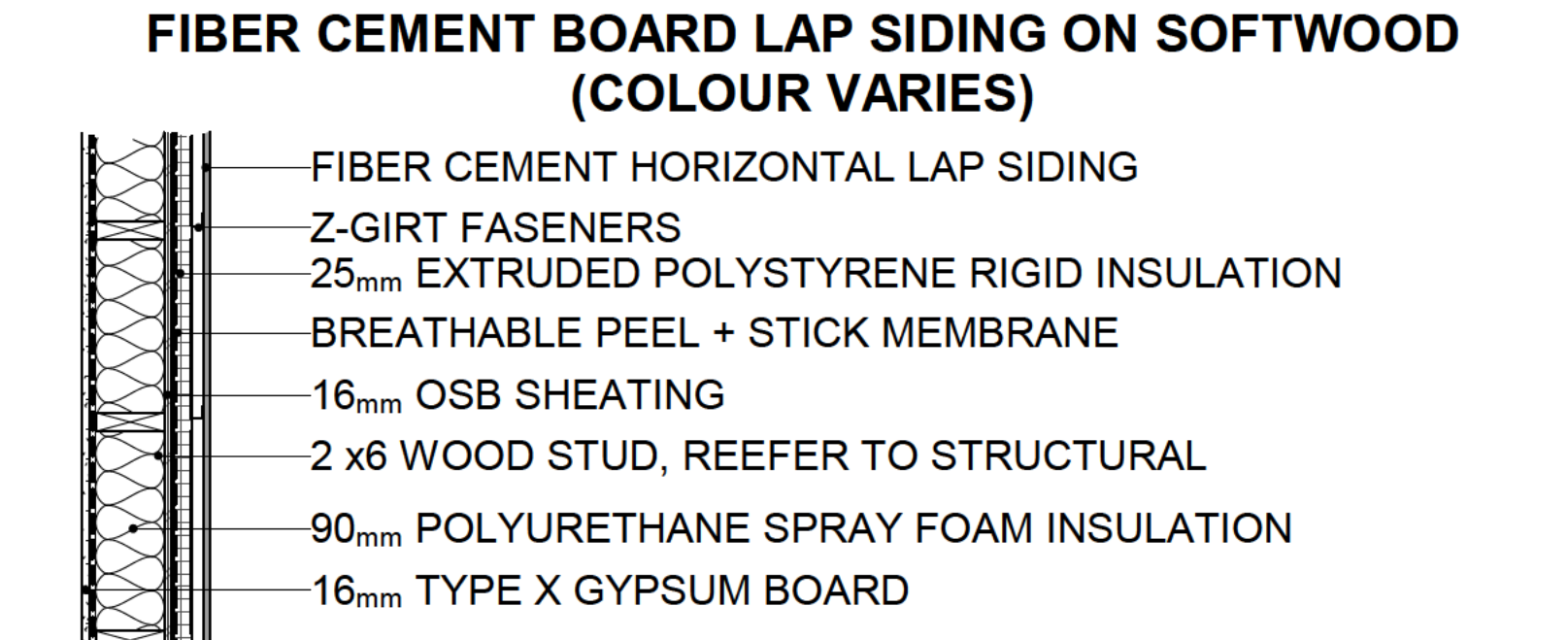
EXTERIOR WALL TYPES

**EW1.2
MASONRY BRICK ON SOFTWOOD**



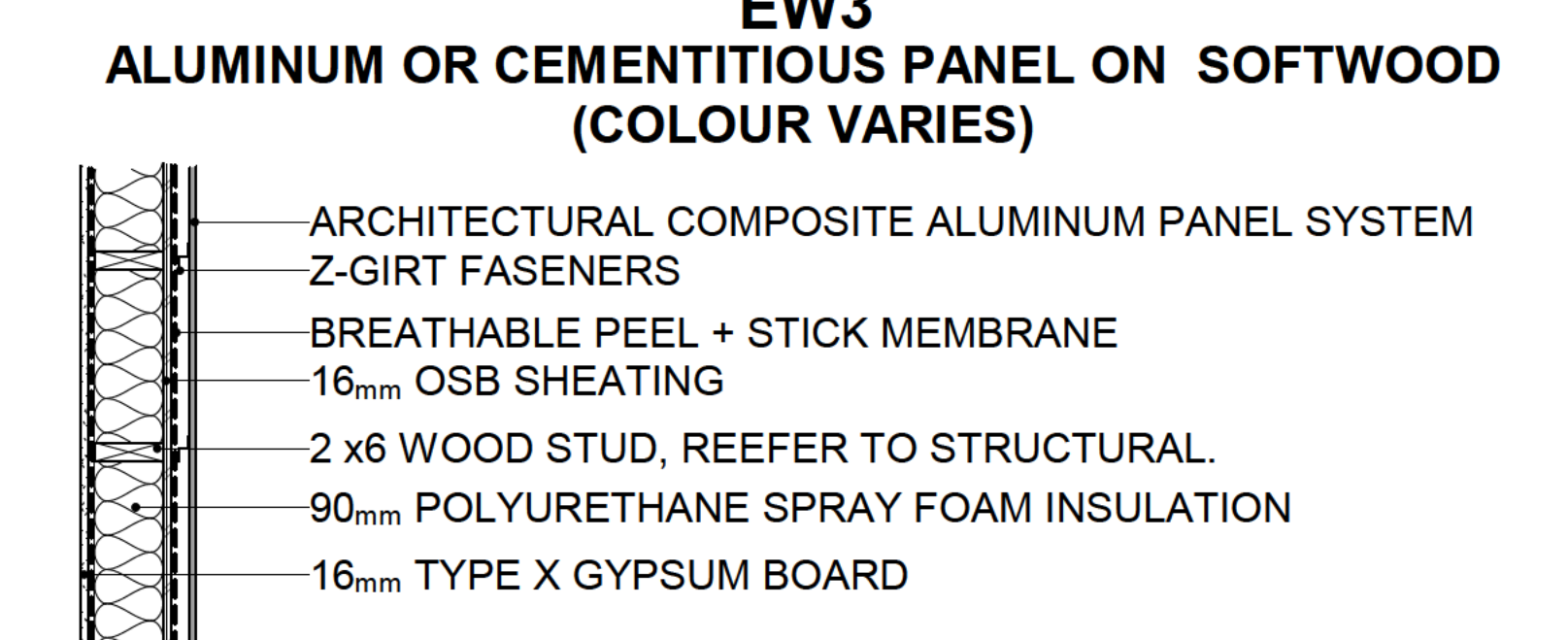
NOTE: SPRAY FOAM TO COMPLY WITH NBCC 3.1.5.14 AND 3.1.5.15 AND TO HAVE A FLAME-SPREAD RATING NO MORE THAN 25 AND BE PROTECTED BY A THERMAL BARRIER IN CONFORMANCE WITH CAN/ULC-S101

**EW9
FIBER CEMENT BOARD LAP SIDING ON SOFTWOOD (COLOUR VARIES)**



NOTE: SPRAY FOAM TO COMPLY WITH NBCC 3.1.5.14 AND 3.1.5.15 AND TO HAVE A FLAME-SPREAD RATING NO MORE THAN 25 AND BE PROTECTED BY A THERMAL BARRIER IN CONFORMANCE WITH CAN/ULC-S101

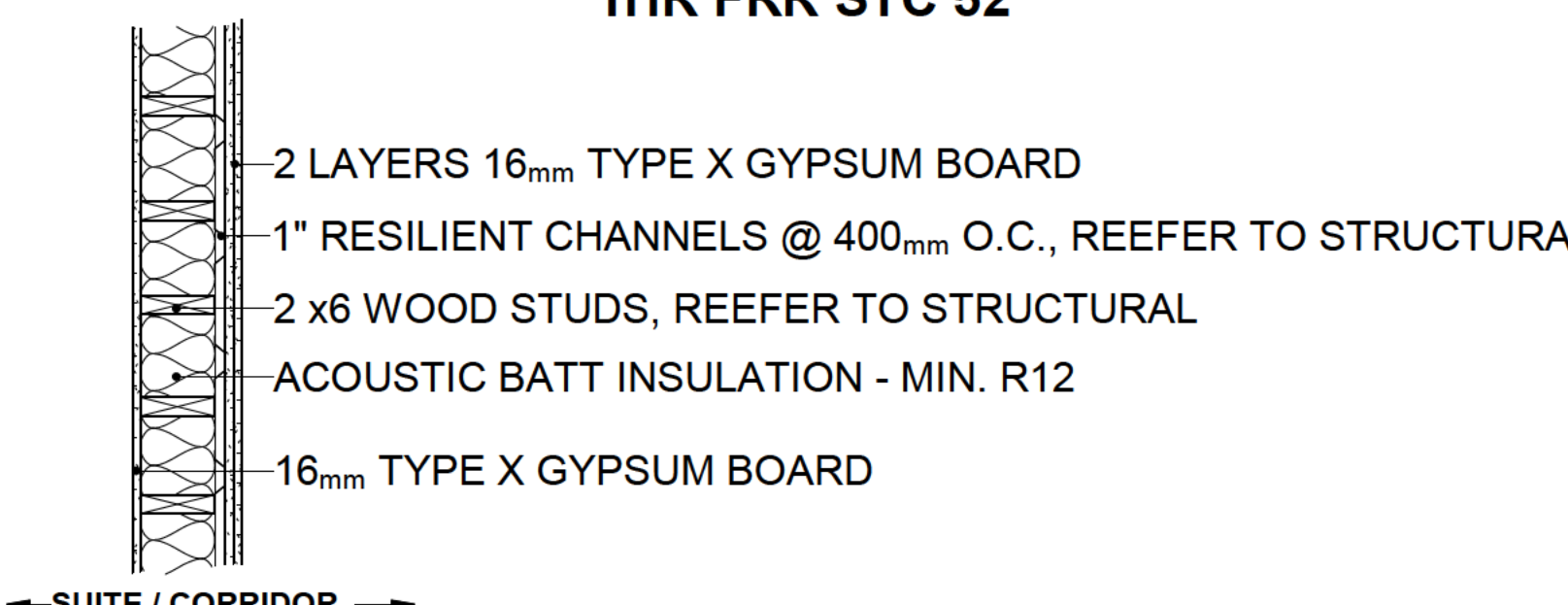
**EW3
ALUMINUM OR CEMENTITIOUS PANEL ON SOFTWOOD (COLOUR VARIES)**



NOTE: SPRAY FOAM TO COMPLY WITH NBCC 3.1.5.14 AND 3.1.5.15 AND TO HAVE A FLAME-SPREAD RATING NO MORE THAN 25 AND BE PROTECTED BY A THERMAL BARRIER IN CONFORMANCE WITH CAN/ULC-S101

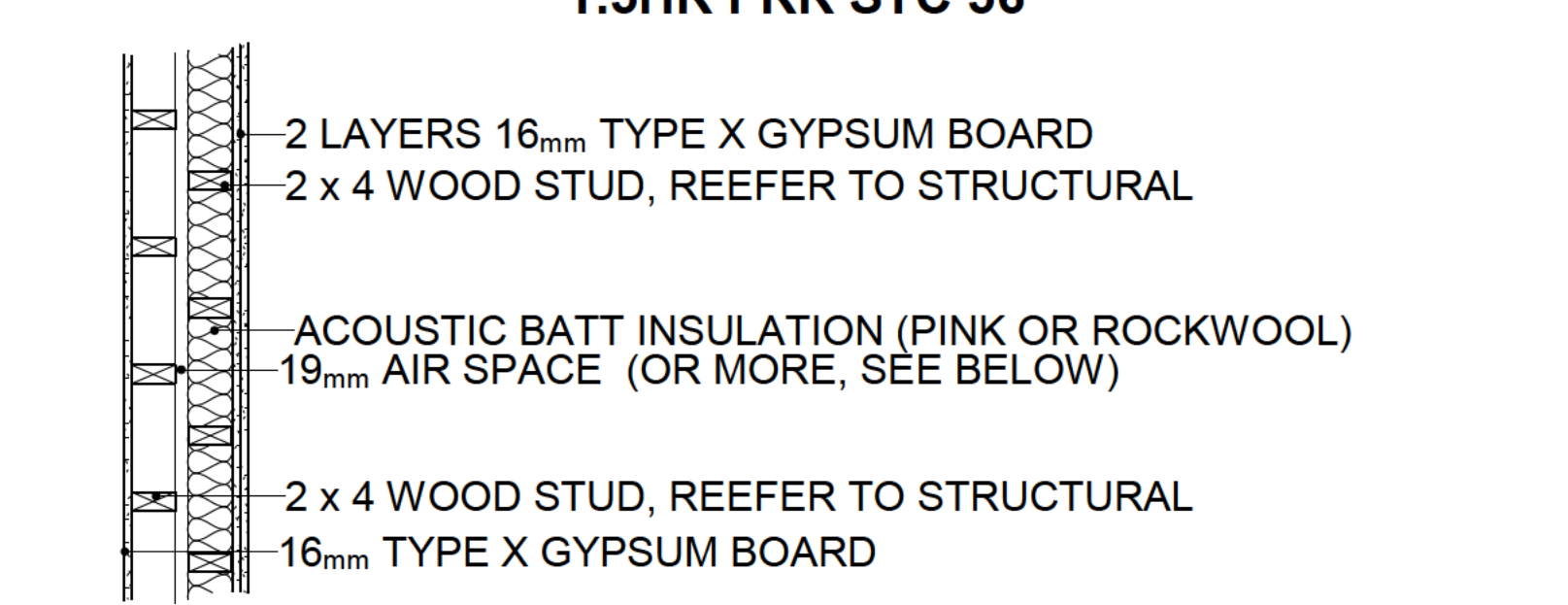
WALL/PARTITION TYPES

**P1.B
TYPICAL CORRIDOR PARTITION
1HR FRR STC 52**



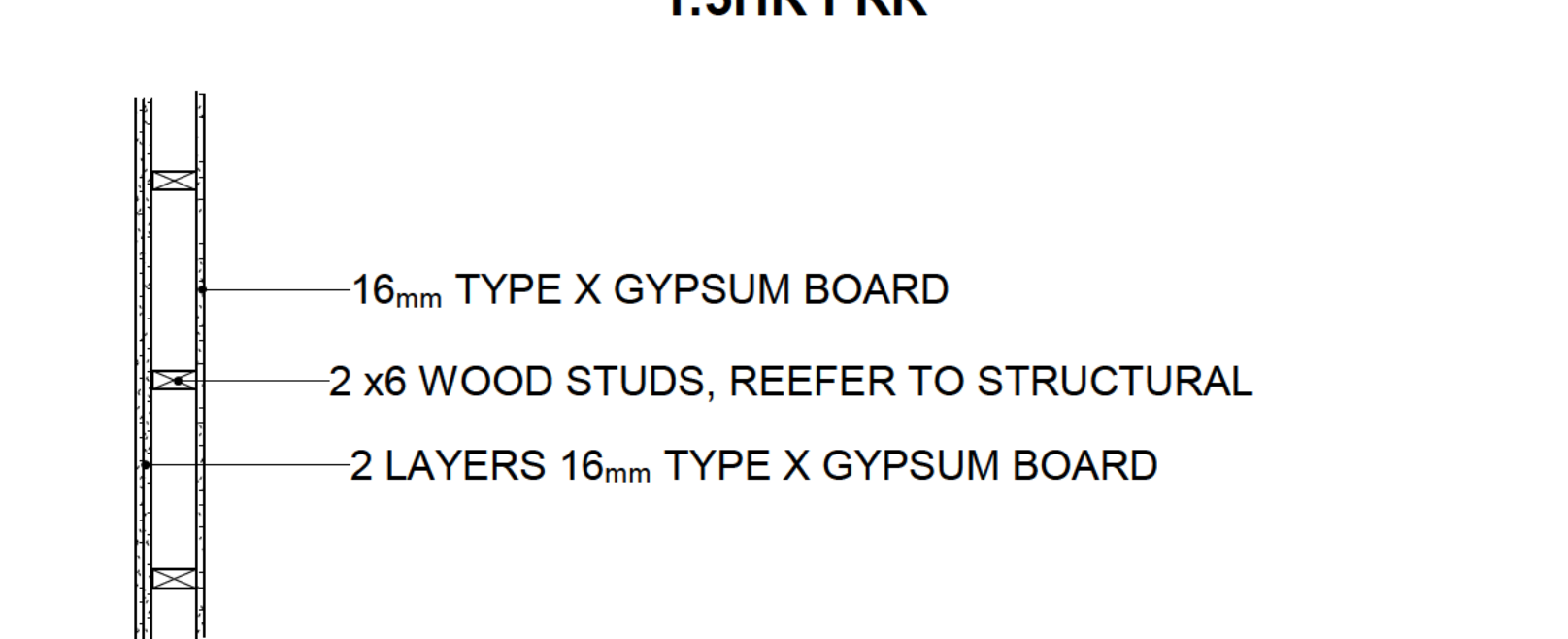
*REFER TO STRUCTURAL DRAWINGS FOR SIZING

**P2.C
TYPICAL DEMISING WALL
1.5HR FRR STC 56**



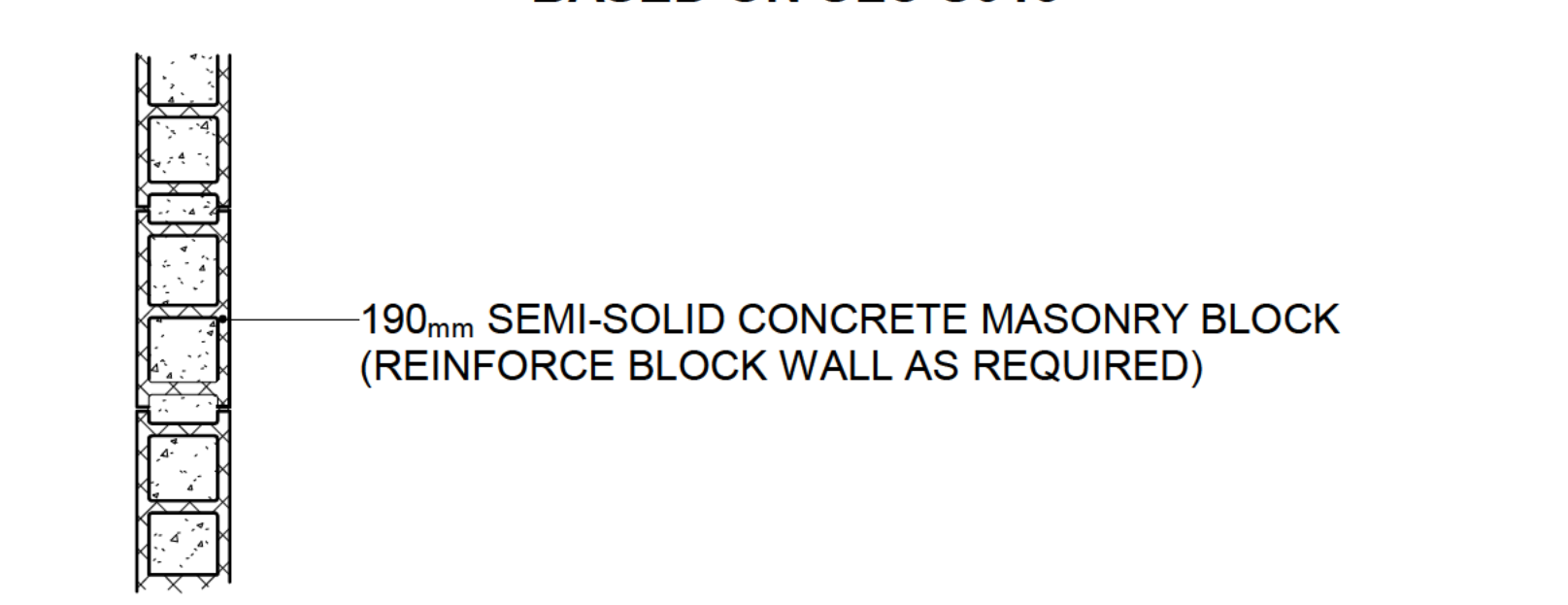
NOTE: AIR SPACE BETWEEN STUD LAYERS TO VARY IN ORDER TO ALLOW FOR FINISH TO BE FLUSH WITH ADJACENT FINISHES OR STRUCTURE

**P4.B
FRONT ELEVATOR SHAFT WALL
1.5HR FRR**



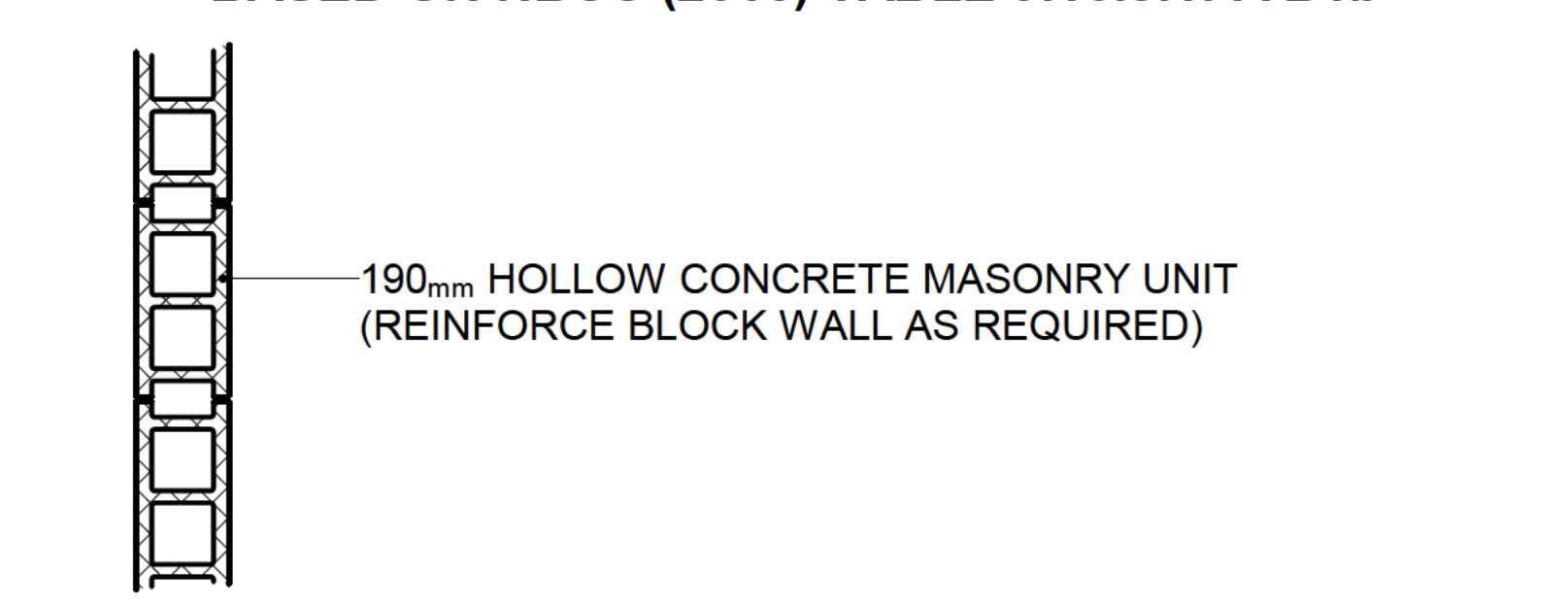
*REFER TO STRUCTURAL DRAWINGS FOR SIZING

**P8
CONCRETE MASONRY WALL
2 HR FRR
BASED ON ULC U913**



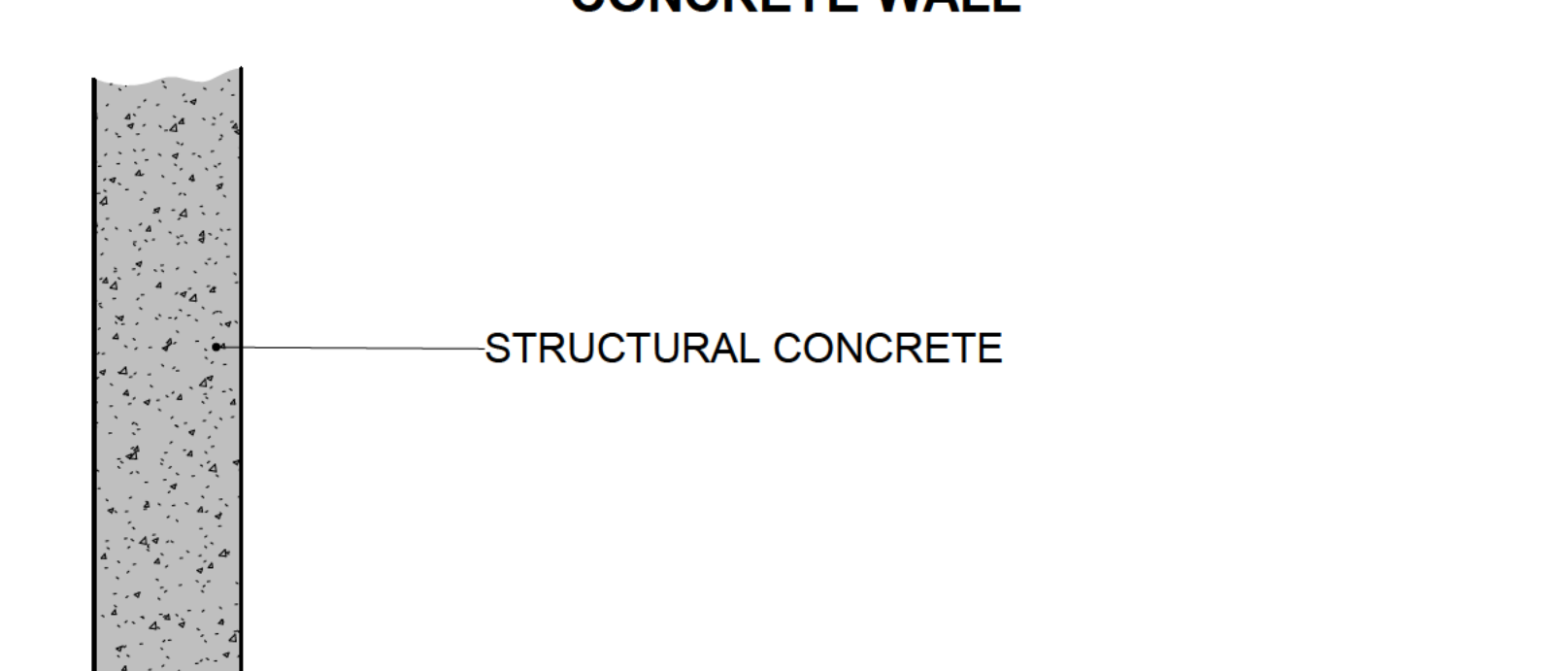
*REFER TO STRUCTURAL DRAWINGS FOR SIZING

**P8.A
CONCRETE MASONRY UNIT
1.5HR FRR
BASED ON NBCC (2015) TABLE 9.10.3.1.-A B1b**



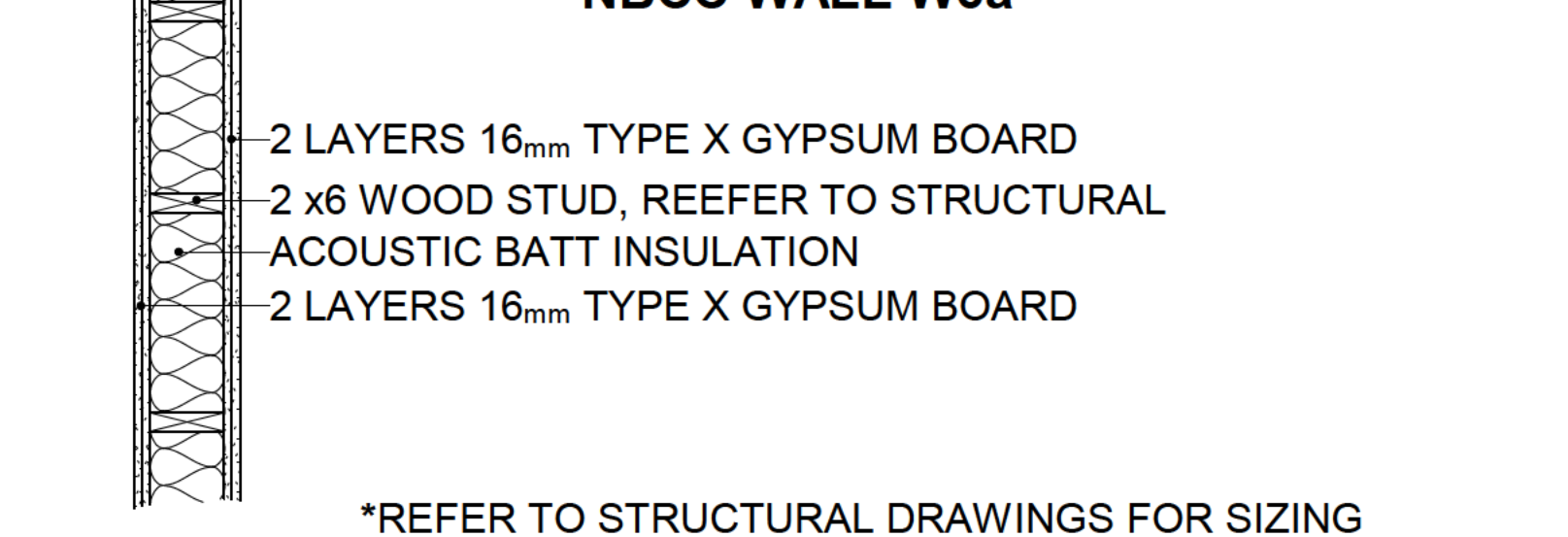
*REFER TO STRUCTURAL DRAWINGS FOR SIZING

**P9
CONCRETE WALL**



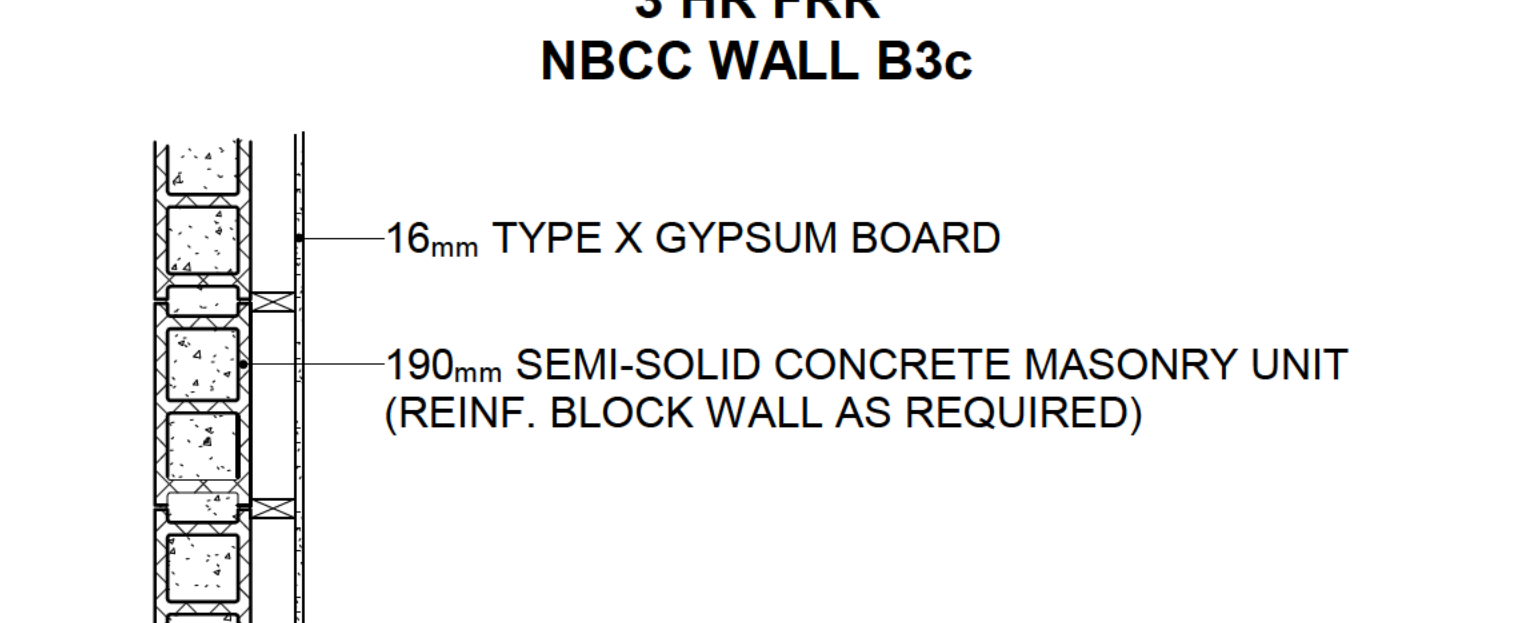
*REFER TO STRUCTURAL DRAWINGS FOR SIZING

**P10.2
TYPICAL EXIT STAIR FIRE-RATED PARTITION
2HR FRR STC 55
NBCC WALL W6a**



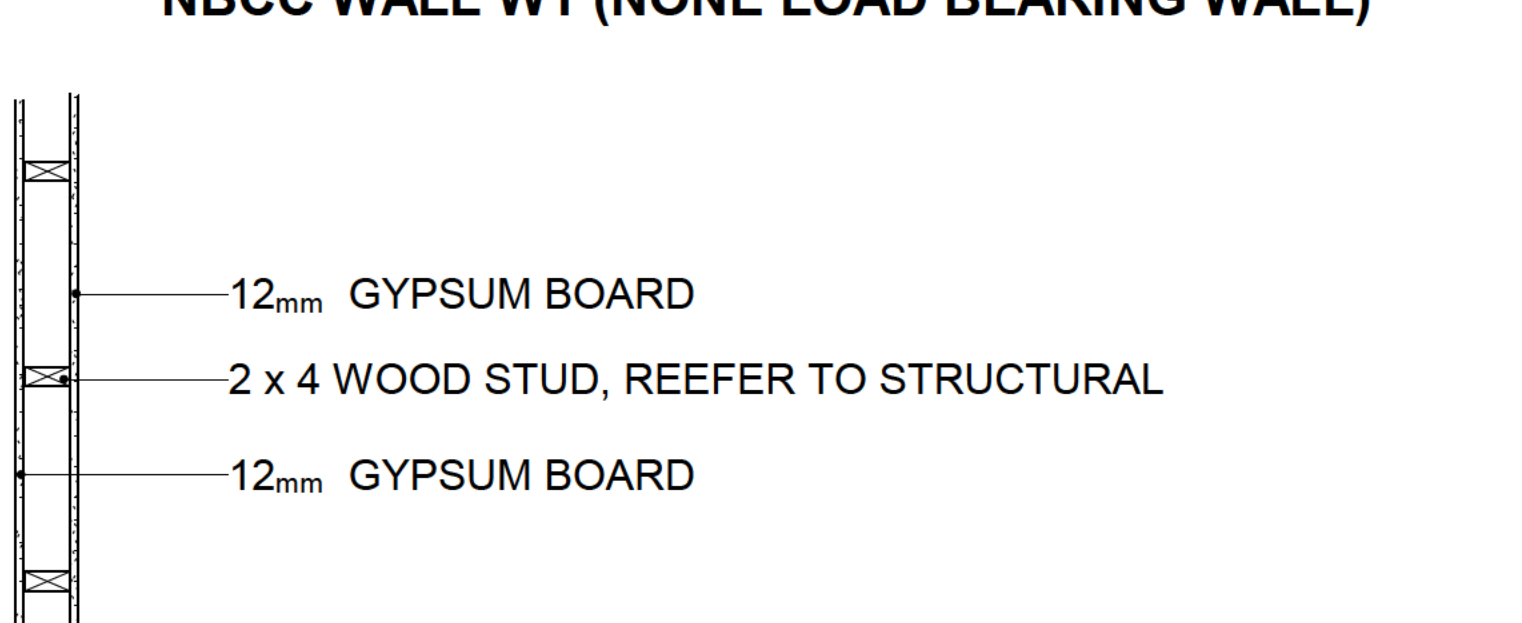
*REFER TO STRUCTURAL DRAWINGS FOR SIZING

**P11
CONCRETE BLOCK FINISHED 1 SIDE
3 HR FRR
NBCC WALL B3c**



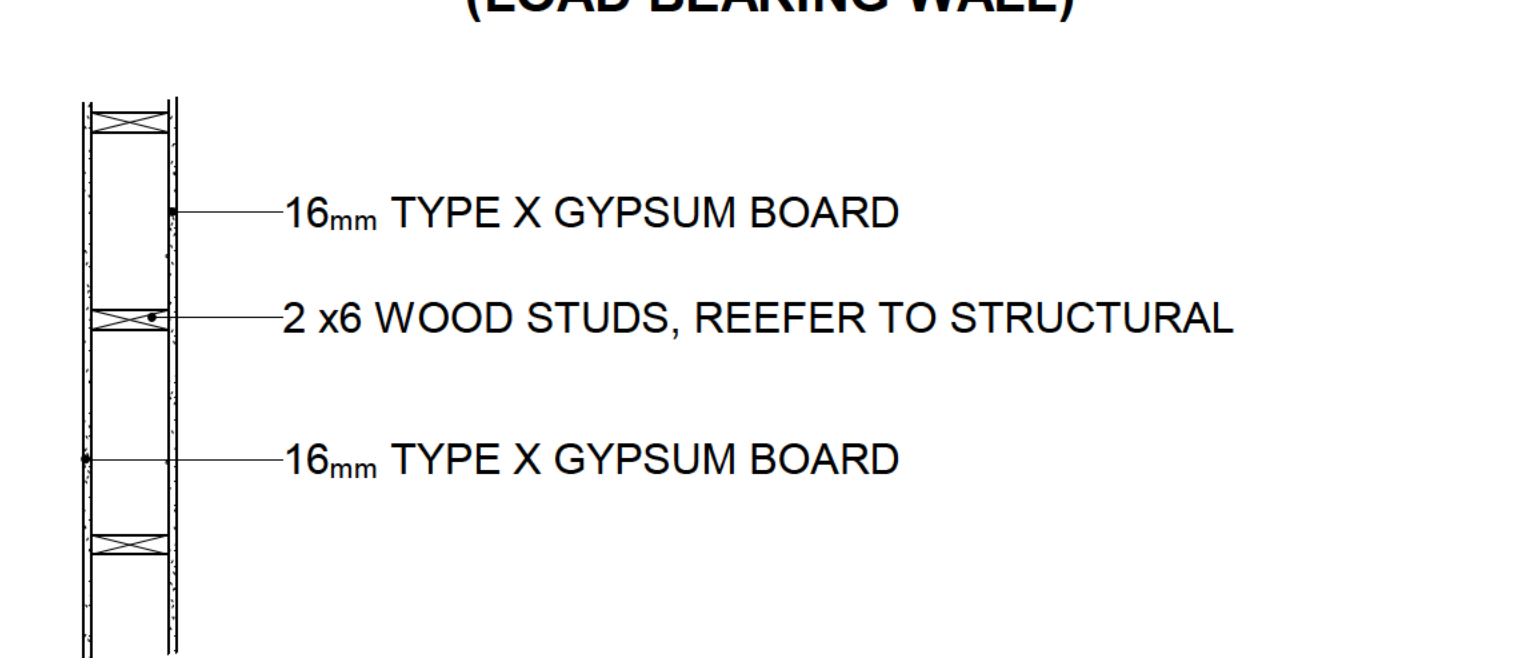
*REFER TO STRUCTURAL DRAWINGS FOR SIZING

**P13
TYPICAL SUITE INTERIOR PARTITION
NBCC WALL W1 (NONE LOAD BEARING WALL)**



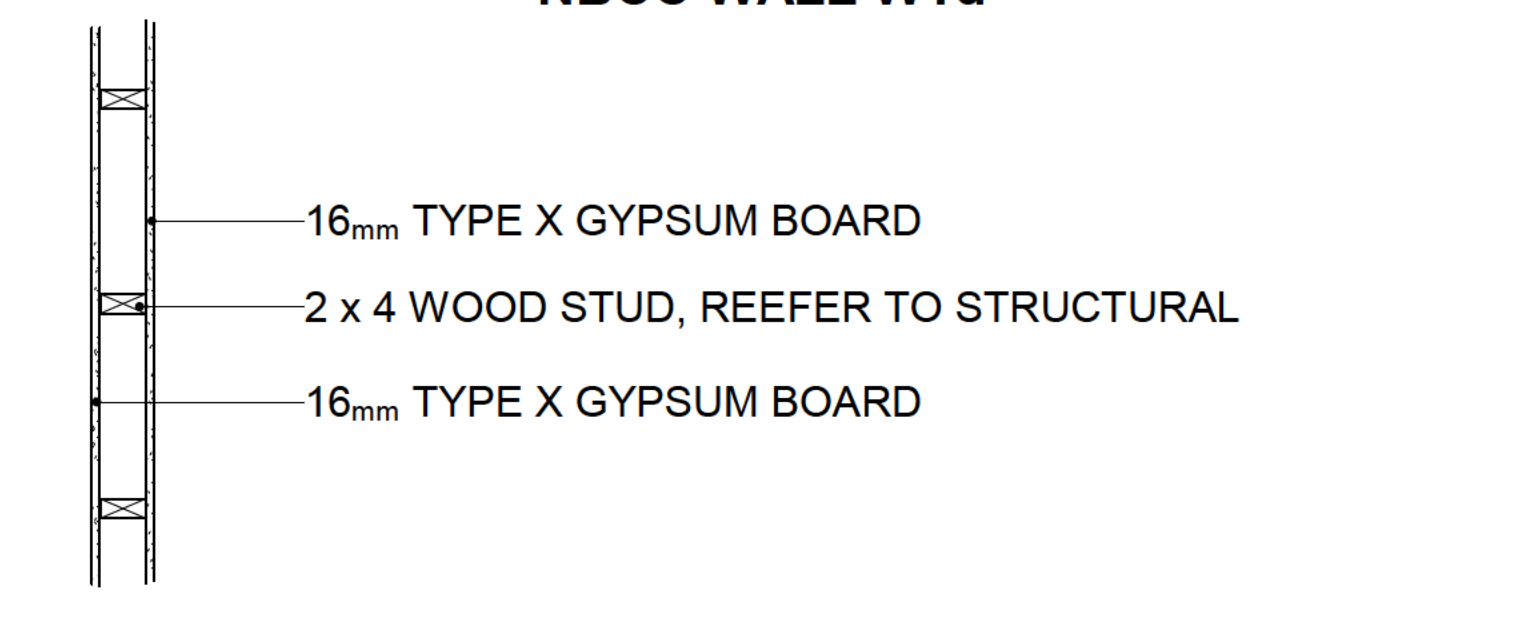
*REFER TO STRUCTURAL DRAWINGS FOR SIZING

**P14
TYPICAL SUITE INTERIOR WALL
(LOAD BEARING WALL)**



NOTE: FILL PARTITION CAVITY WITH ACOUSTIC BATT INSULATION WHEREVER PLUMBING LINES OCCUR FOR SOUND DAMPENING

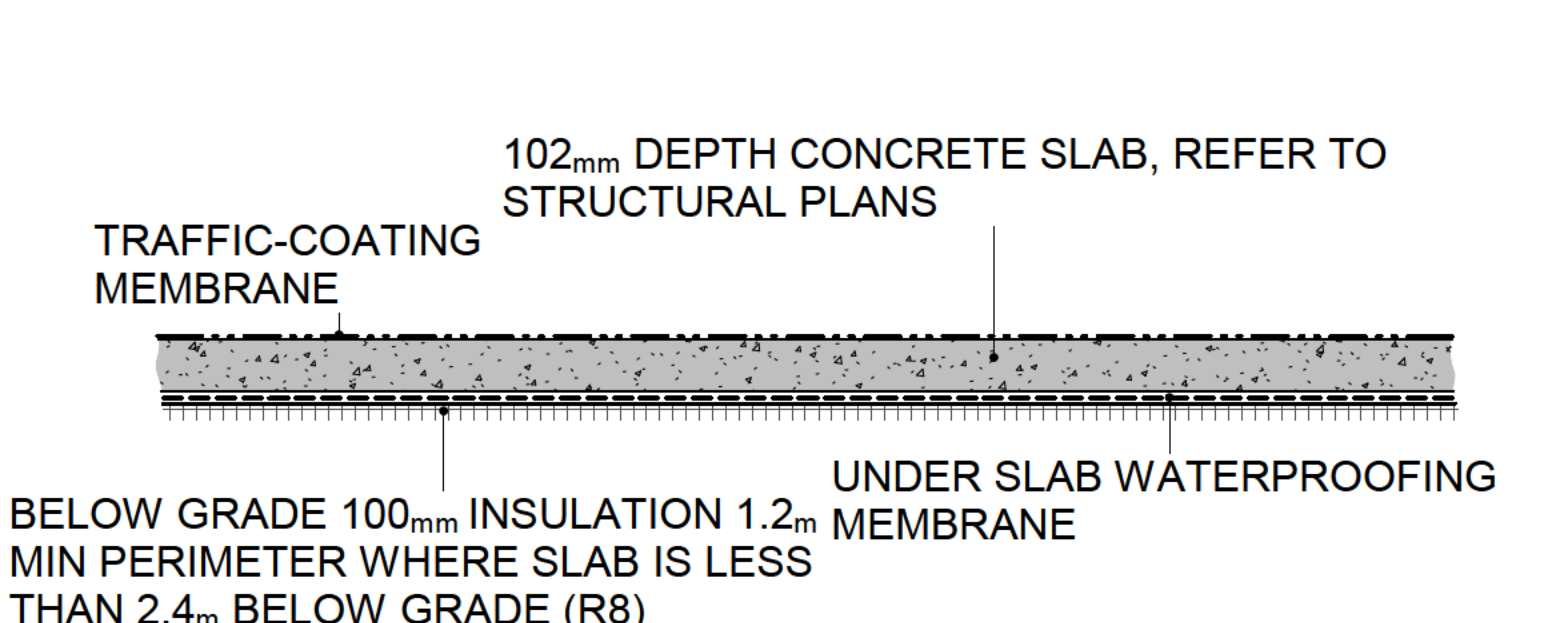
**P15
TYPICAL INTERIOR STORAGE PARTITION
1HR FRR STC 32
NBCC WALL W1d**



*REFER TO STRUCTURAL DRAWINGS FOR SIZING

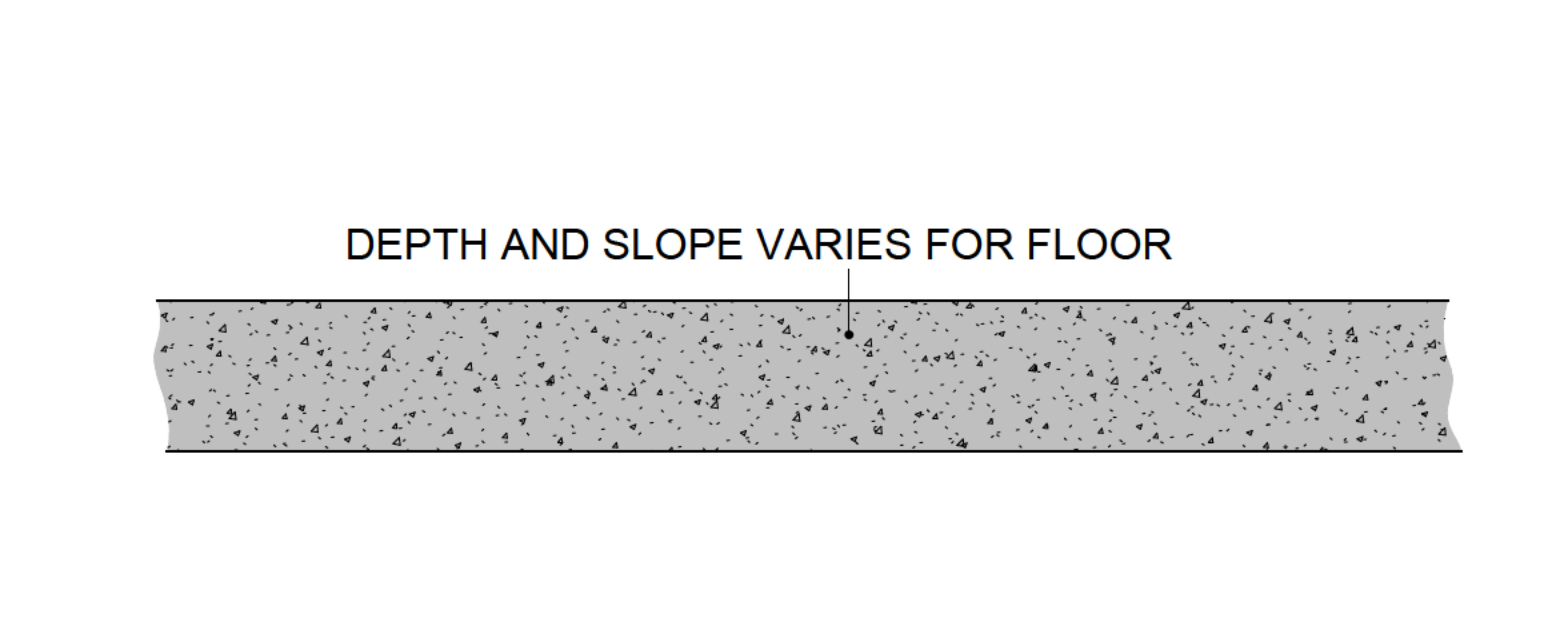
FLOOR TYPES

**FL1
STRUCTURAL SLAB ON GRADE FOR PARKING**



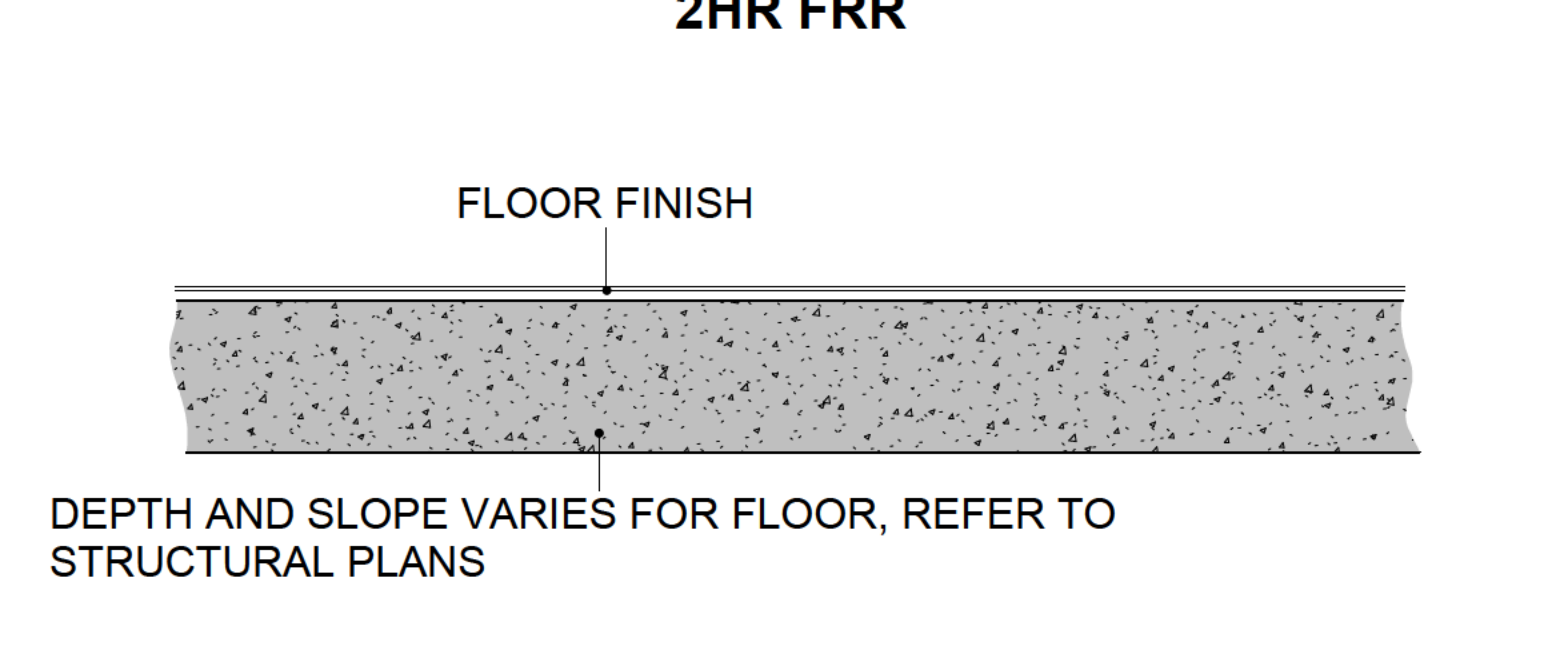
BELOW GRADE 100mm INSULATION 1.2m MEMBRANE MIN PERIMETER WHERE SLAB IS LESS THAN 2.4m BELOW GRADE (R8)

**FL2
STRUCTURAL SLAB**



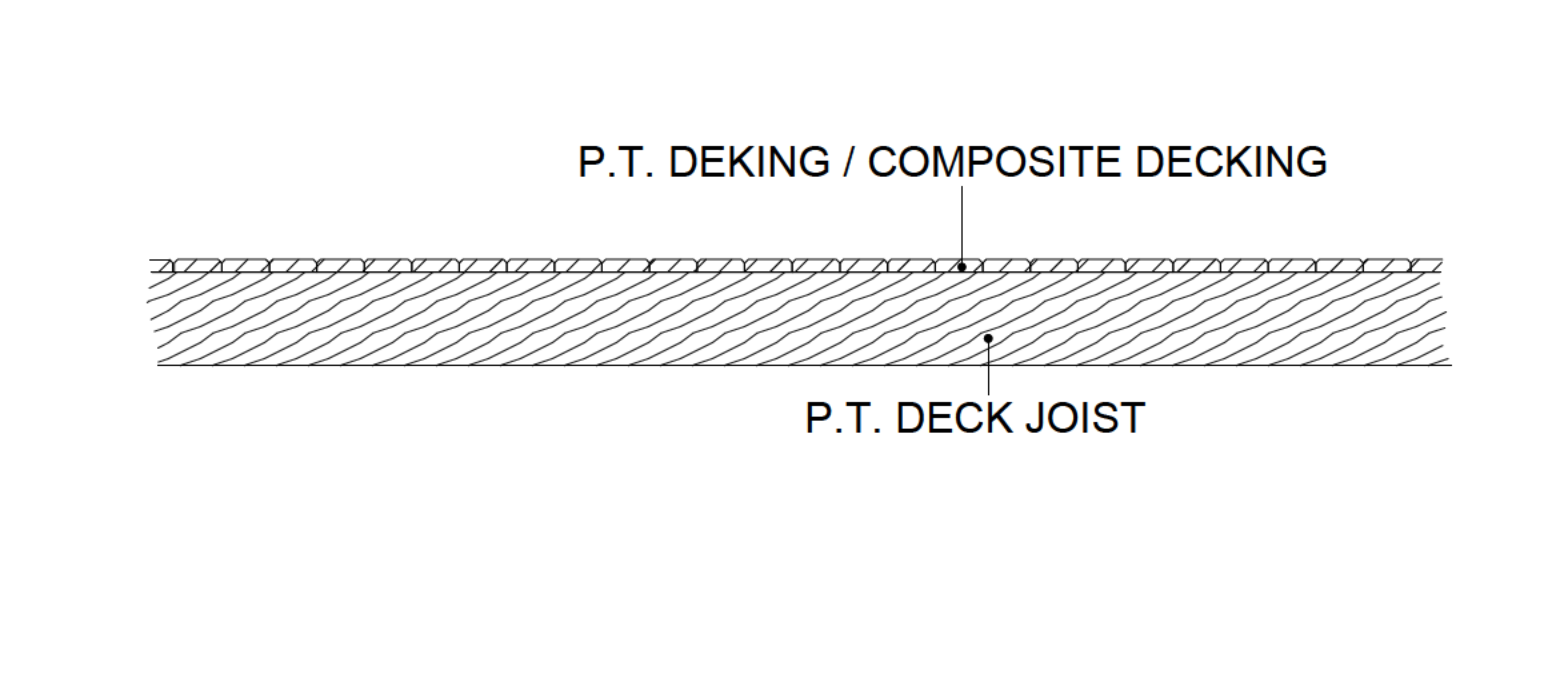
*REFER TO STRUCTURAL PLANS

**FL5
TYPICAL CONCRETE SLAB
2HR FRR**



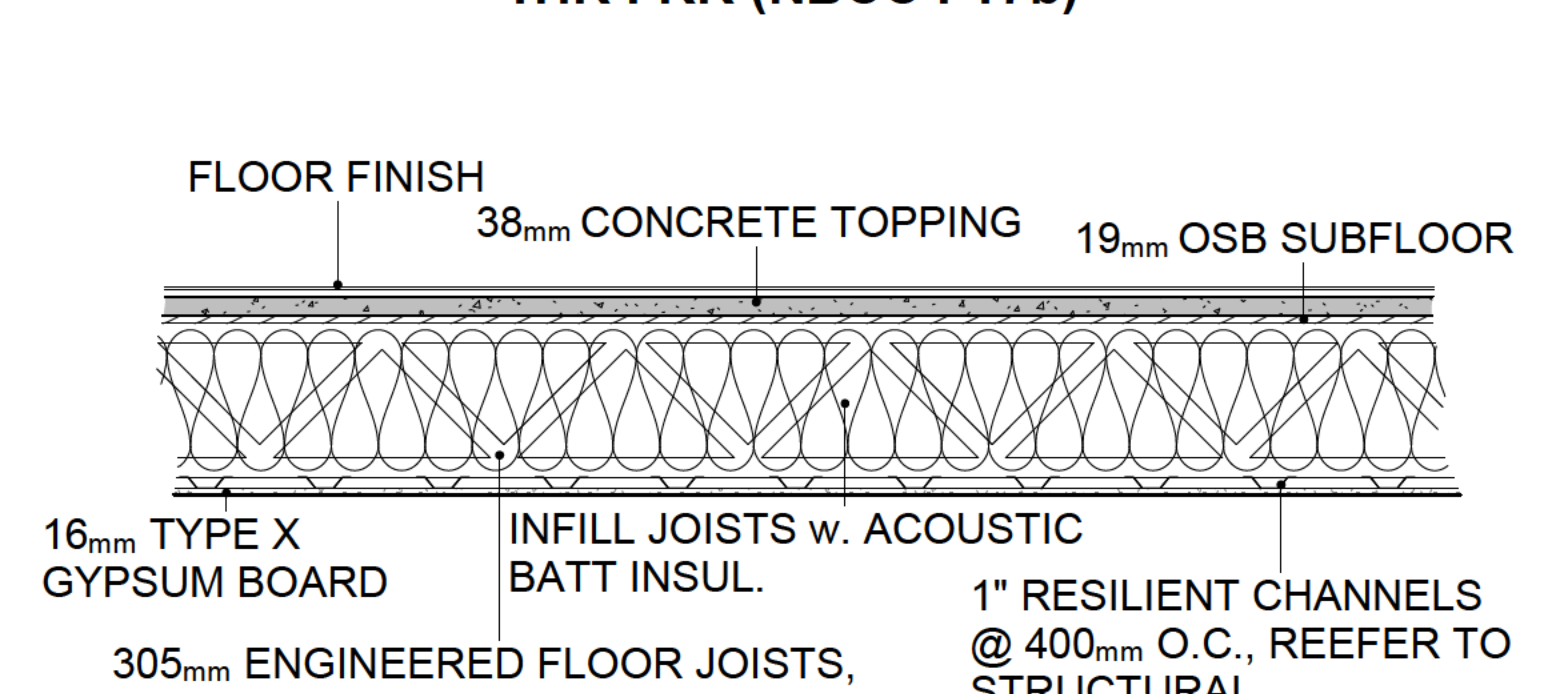
NOTE: WATERPROOF APPLICATION @ ALL GARAGE AND EXPOSED BALCONY SLABS

**FL6
STRUCTURAL BALCONY DECK**



*REFER TO STRUCTURAL PLANS

**FL7
TYPICAL WOOD FLOOR
1HR FRR (NBCC F17b)**

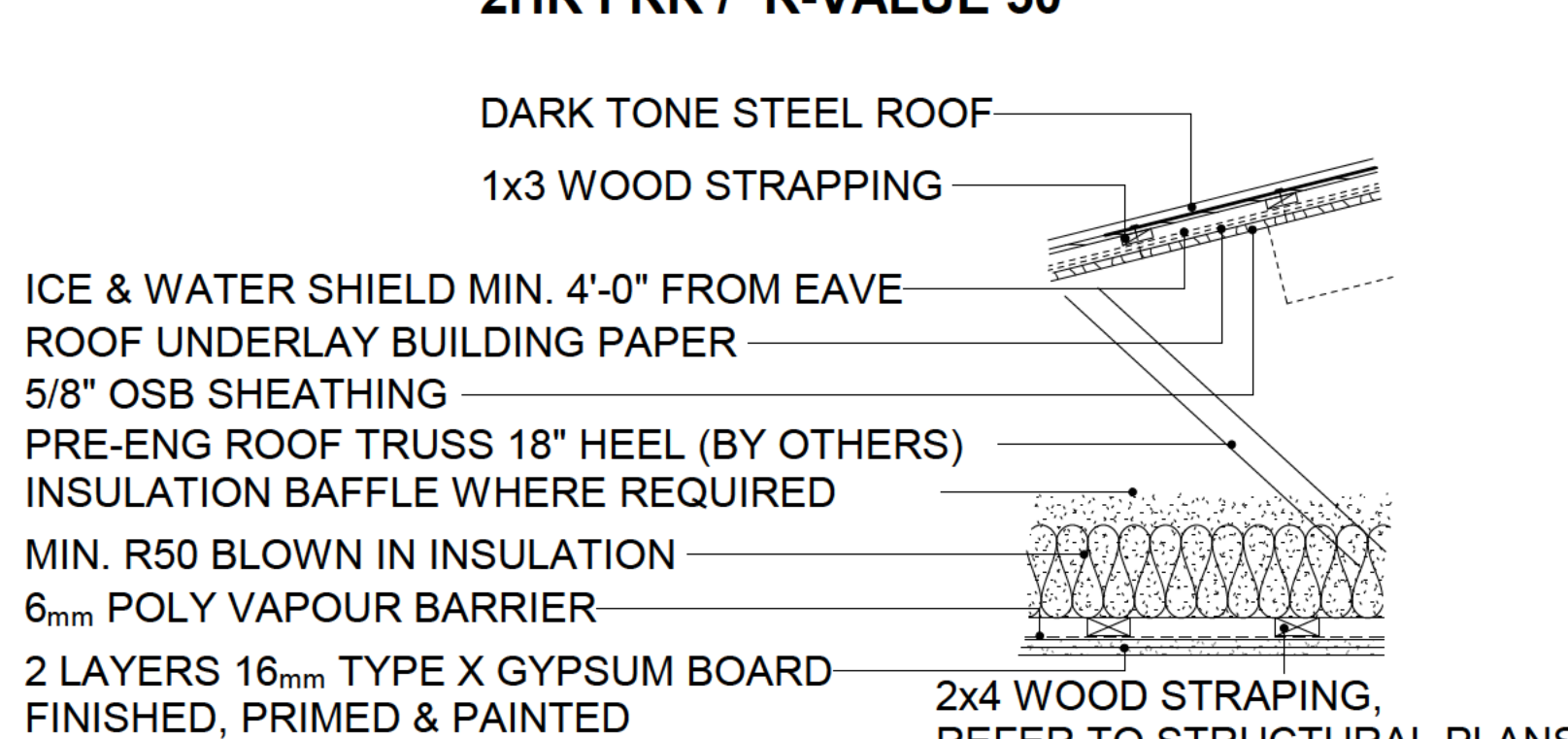


1" RESILIENT CHANNELS @ 400mm O.C. REFER TO STRUCTURAL

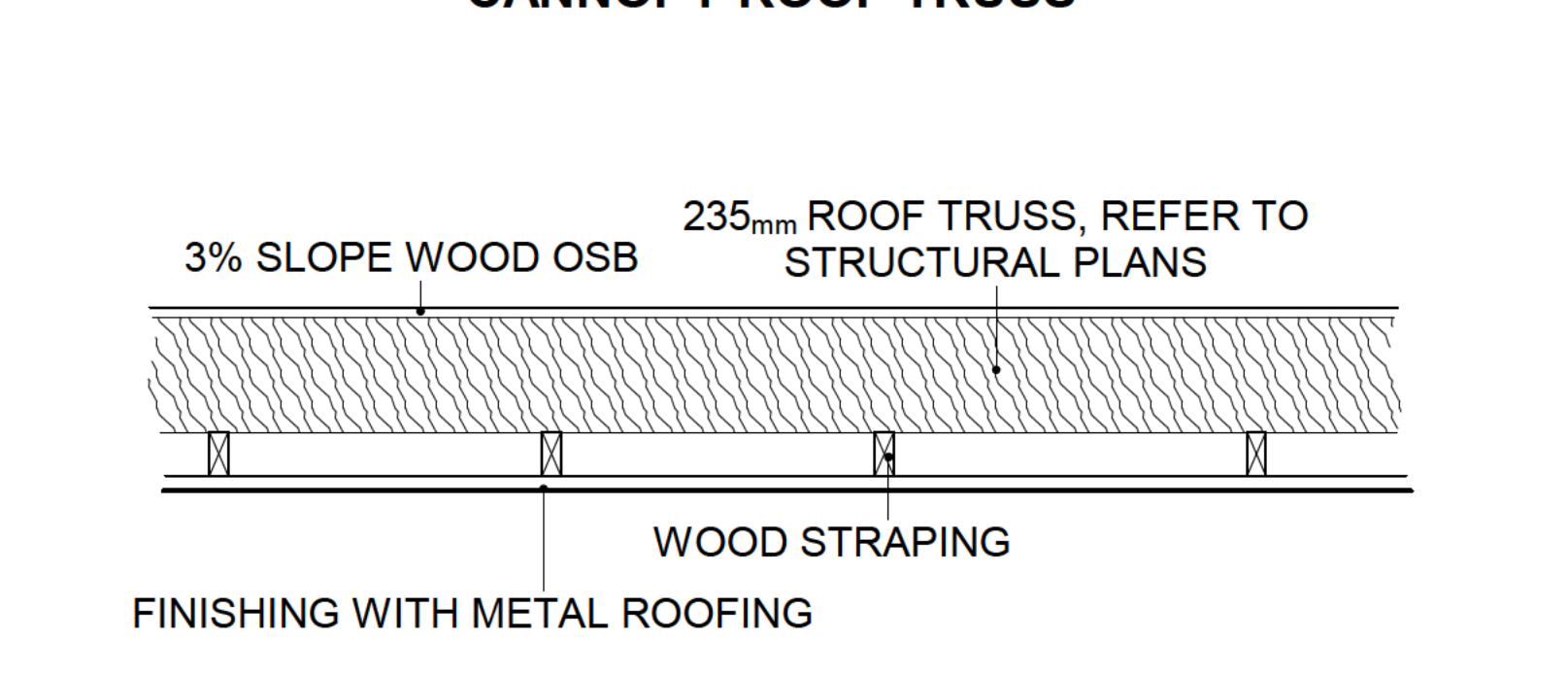
*REFER TO STRUCTURAL PLANS

ROOF TYPES

**R4
TYPICAL ROOF TRUSS
2HR FRR / R-VALUE 50**

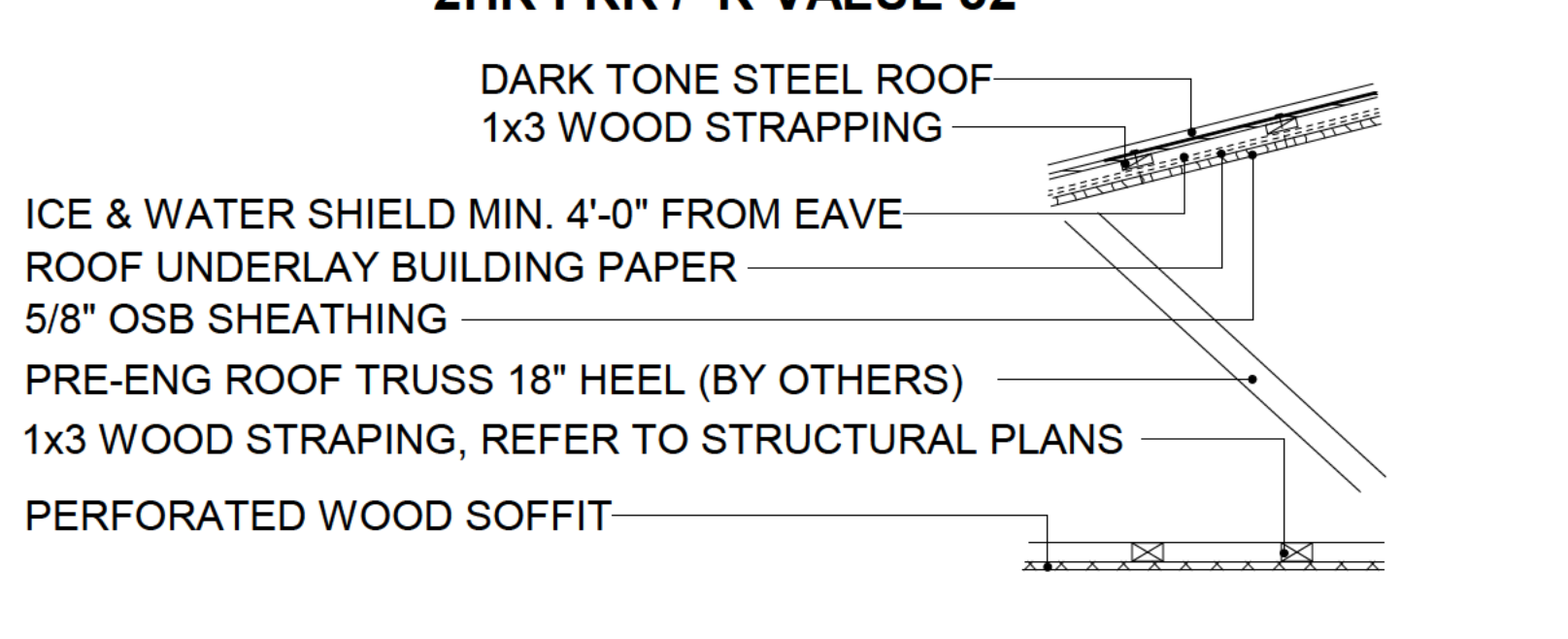


**R5
CANNOPY ROOF TRUSS**



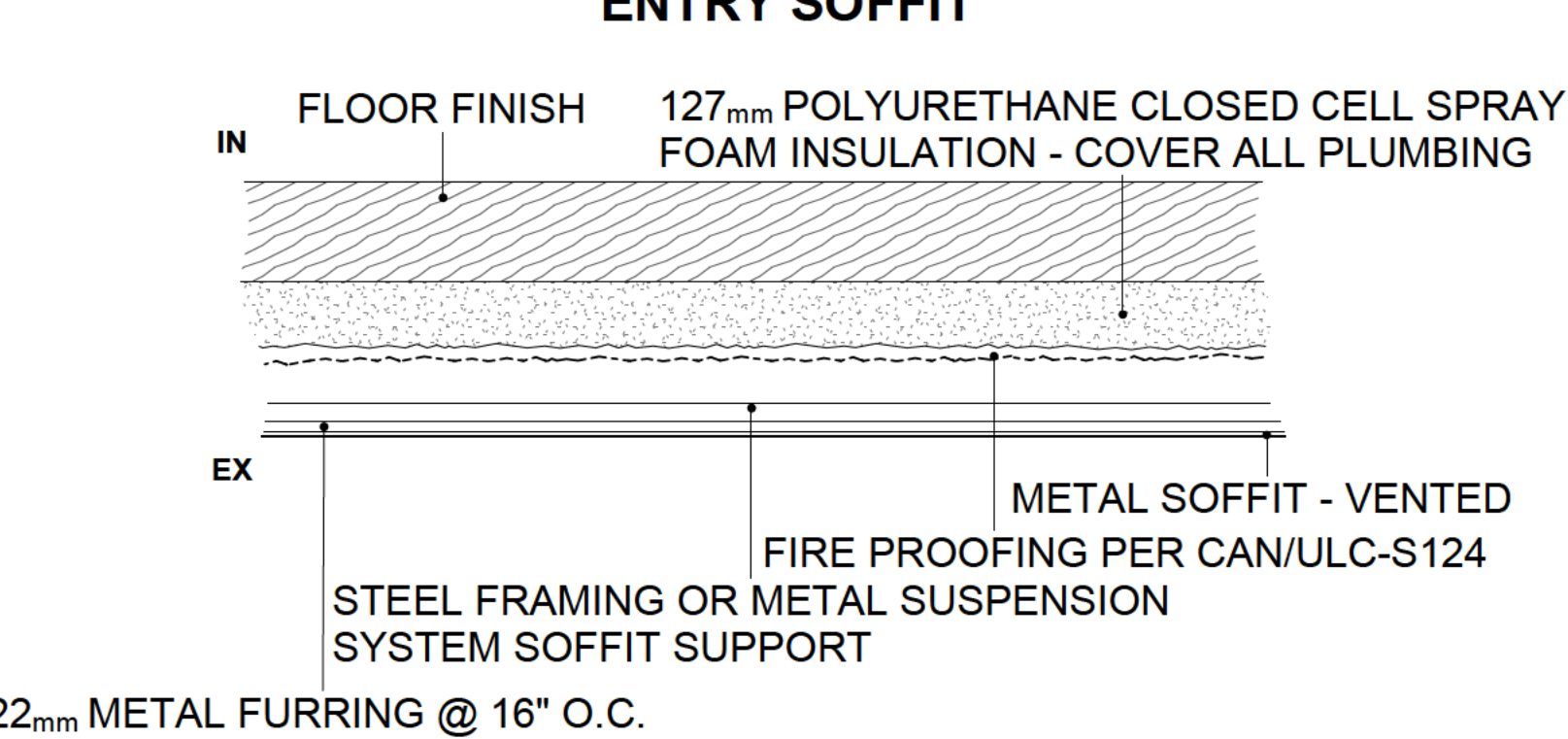
*REFER TO STRUCTURAL PLANS

**R7
PITCHED BUMP OUT ROOF
2HR FRR / R-VALUE 32**



SOFFIT TYPES

**S2
ENTRY SOFFIT**



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- ALL AREAS TO BE LEFT IN CLEAN CONDITION AT THE END OF EACH DAYS WORK.

CLIENT:

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CONSULTANT:

Optimized Engineering
Quality Construction

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Web: www.parscoeng.com

SEAL:

REVISIONS

No.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23
2	RE-ISSUED FOR PERMIT ONLY	02/07/24

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD,
HAMMONDS PLAINS, NS.

TITLE:

WALL ASSEMBLIES

Drawn by:	M.B.	Checked:	S.S.
Date:	MAY 07/23	Approved:	M.R.
Scale:	AS SHOWN	dwg #:	
Project #:	230108		A002

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CONSULTANT:



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SEAL:



REVISIONS

No.	Description	Date
1	ISSUED FOR REVIEW ONLY	06/28/23
2	RE-ISSUED FOR REVIEW ONLY	07/12/23
3	RE-ISSUED FOR REVIEW ONLY	08/23/23
4	ISSUED FOR DRIVEWAY PERMIT	09/12/23
5	RE-ISSUED FOR REVIEW ONLY	10/23/23
6	ISSUED FOR PERMIT ONLY	12/12/23

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD,
 HAMMONDS PLAINS, NS.

TITLE:

SITE PLAN

Drawn by:

M.B

Checked:

S.S

Date:

MAY 07/23

Approved:

M.R

Scale:

AS SHOWN

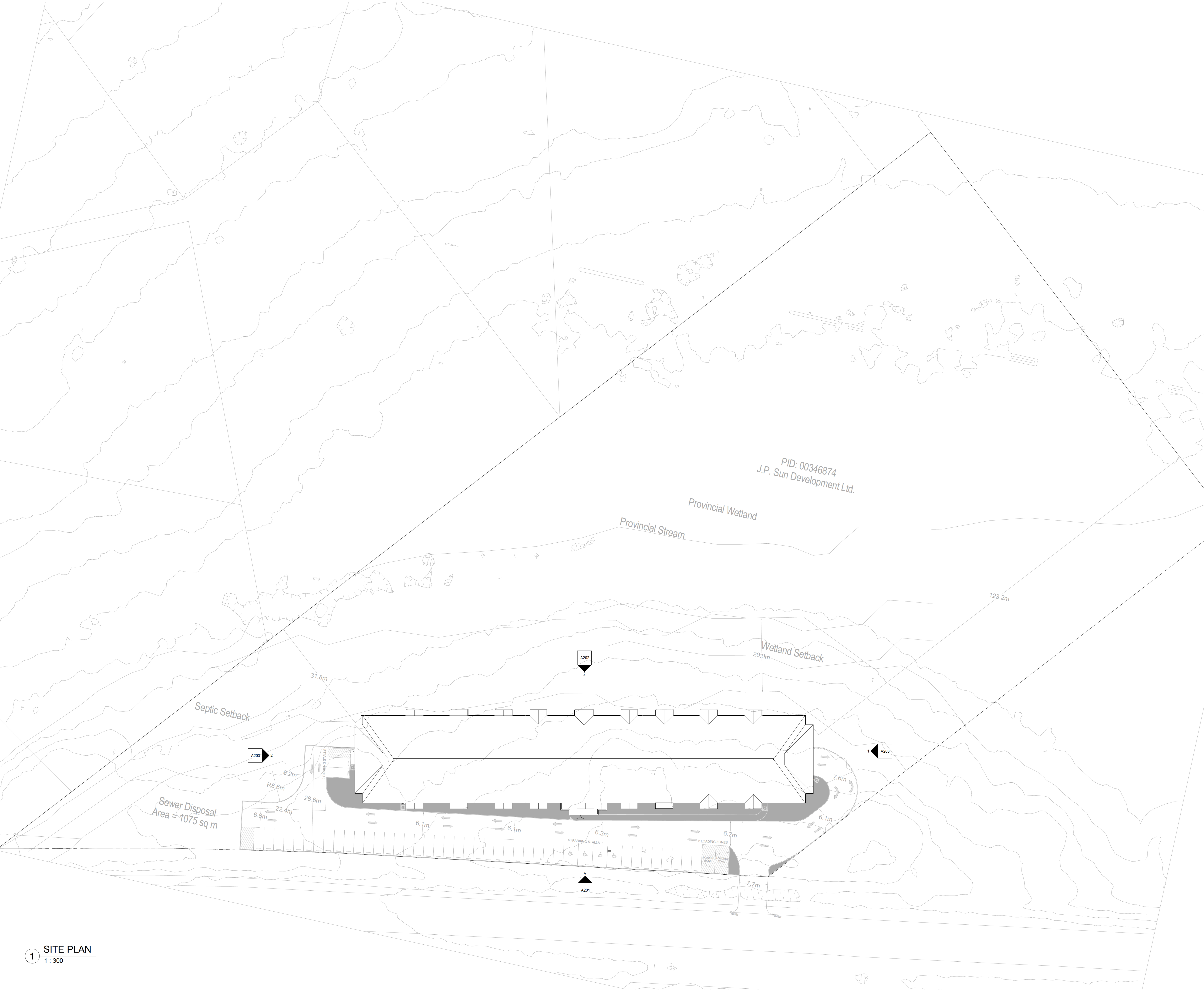
dwg #:

Project #:

230108

A101

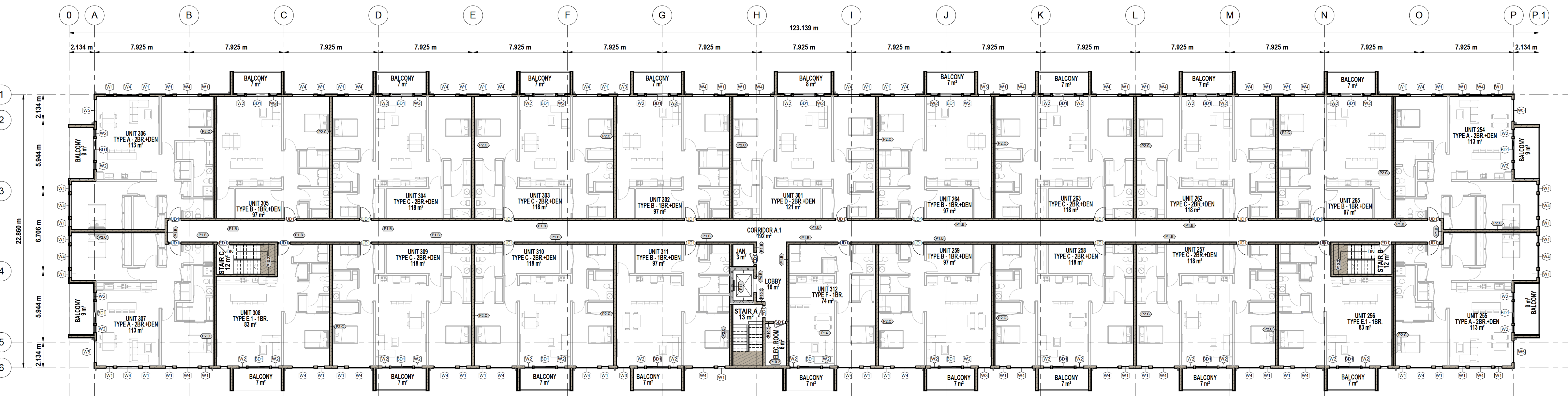
1 SITE PLAN
 1:300



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1 2nd FLOOR PLAN
1 : 125




2 3rd FLOOR PLAN
1 : 125

CLIENT:

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 Web: www.parscocan.com

SEAL:

 REG. NO. 19859
 PROFESSIONAL ENGINEER
 NOVA SCOTIA

REVISIONS

No.	Description	Date
1	ISSUED FOR REVIEW ONLY	09/22/23
2	RE-ISSUED FOR REVIEW ONLY	10/13/23
3	RE-ISSUED FOR REVIEW ONLY	10/23/23
4	ISSUED FOR PERMIT ONLY	12/12/23
5	RE-ISSUED FOR PERMIT ONLY	02/07/24

PROJECT:
APARTMENT BUILDING
 LOT RF-7, HAMMONDS PLAINS RD,
 HAMMONDS PLAINS, NS.
 TITLE:
2nd & 3rd FLOOR PLAN

Drawn by: M.B	Checked: S.S
Date: MAY 07/23	Approved: M.R
Scale: AS SHOWN	dwg #: A103
Project #: 230108	



FRONT ELEVATION - A
1:75



FRONT ELEVATION - B

MATERIAL LEGEND:

A	ALUMINUM / GLASS GUARD RAILING 42" H.
B	CURTAIN WALL
V	VINYL WINDOW
D	VINYL DOOR
E	EXIT DOOR
G	GARAGE DOOR
C.1	DARK TONE FIBER CEMENT SIDING
C.2	LIGHT TONE FIBER CEMENT SIDING
S.1	MEDIUM TONE HORIZONTAL WOOD SIDING
S.2	LIGHT TONE VERTICAL WOOD SIDING
R	DARK TONE ROOF METAL OR ASPHALT
M	CONCRETE RETAINING WALL
W	STRUCTURAL CONCRETE WALL

*ONE- QUARTER THE HEIGHT BETWEEN THE FINISHED CEILING OF THE UPPERMOST FLOOR AND THE HIGHEST POINT OF THE HIP ROOF.
(NO ROOF SPACE BE USED FOR HUMAN HABITATION)

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CONSULTANT:

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 Email: mranbar@parSCOeng.com
 Web: www.parsSCOeng.com

SEAL

REVISIONS

No.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23

PROJECT:
APARTMENT BUILDING
 LOT RF-7, HAMMONDS PLAINS RD,
 HAMMONDS PLAINS, NS.
 TITLE:
FRONT ELEVATION

Drawn by: M.R. Checked by: S.S.
 Date: MAY 07/23 Approved: M.R.
 Scale: AS SHOWN dwg #:



1 REAR ELEVATION - A



2 REAR ELEVATION - B

MATERIAL LEGEND:

A	ALUMINUM / GLASS GUARD RAILING 42" H.
B	CURTAIN WALL
V	VINYL WINDOW
D	VINYL DOOR
E	EXIT DOOR
G	GARAGE DOOR
C.1	DARK TONE FIBER CEMENT SIDING
C.2	LIGHT TONE FIBER CEMENT SIDING
S.1	MEDIUM TONE HORIZONTAL WOOD SIDING
S.2	LIGHT TONE VERTICAL WOOD SIDING
R	DARK TONE ROOF METAL OR ASPHALT
M	CONCRETE RETAINING WALL
W	STRUCTURAL CONCRETE WALL

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 10. ALL AREAS TO BE LEFT IN CLEAN CONDITION AT THE END OF EACH DAY'S WORK.

CLIENT:

J.P.SUN
DEVELOPMENTS LTD

Tel: +1 (902) 488-3737
Email: JPSUN@JPSUNDEVELOPMENTS.COM
Web: WWW.JPSUNDEVELOPMENTS.COM

CONSULTANT:

PARSCO
Optimized Engineering
Quality Construction

Suit 5 - 1350 Bedford Hwy
Bedford, NS B34 1E7
Tel: +1 (902) 402-1323
Email: mranjbar@parSCOeng.com
Web: www.parSCOeng.com



REVISIONS

No.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD,
HAMMONDS PLAINS, NS.

TITLE:

REAR ELEVATION

Drawn by: M.R. Checked: S.S.

Date: MAY 07/23 Approved: M.R.

Scale: AS SHOWN dwg #: A202

- NOTE:
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RIGHT

2
LEFT
1:75



2
LEFT
1:75

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 Web: www.JPSUNDEVELOPMENTS.COM

CONSULTANT:

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 Quality Construction
 Suite 5 1350 Bedford Highway
 Bedford, NS B3A 1E1
 Tel: +1 (902) 402-1323
 Email: mranbar@parSCOeng.com
 Web: www.parsCOeng.com

SEAL:


REVISIONS

No.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23

PROJECT:
 APARTMENT BUILDING
 LOT RF-7, HAMMONDS PLAINS RD,
 HAMMONDS PLAINS, NS.

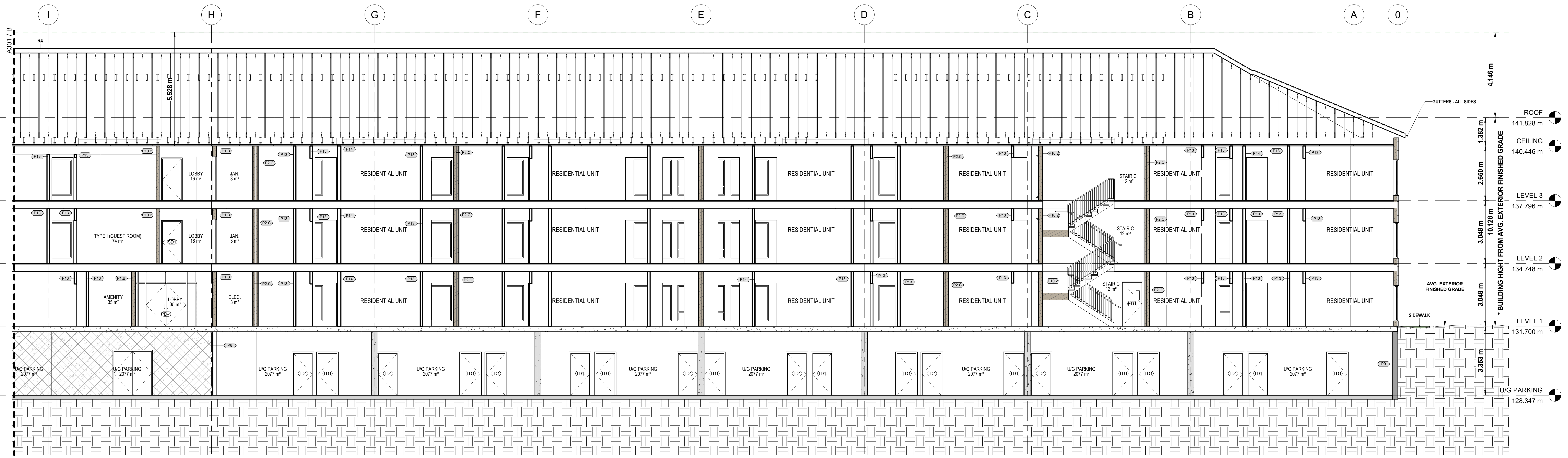
TITLE:
 LEFT & RIGHT ELEVATION

Drawn by: M.R. Checked: S.S.
 Date: MAY 07/23 Approved: M.R.
 Scale: AS SHOWN dwg #: A203

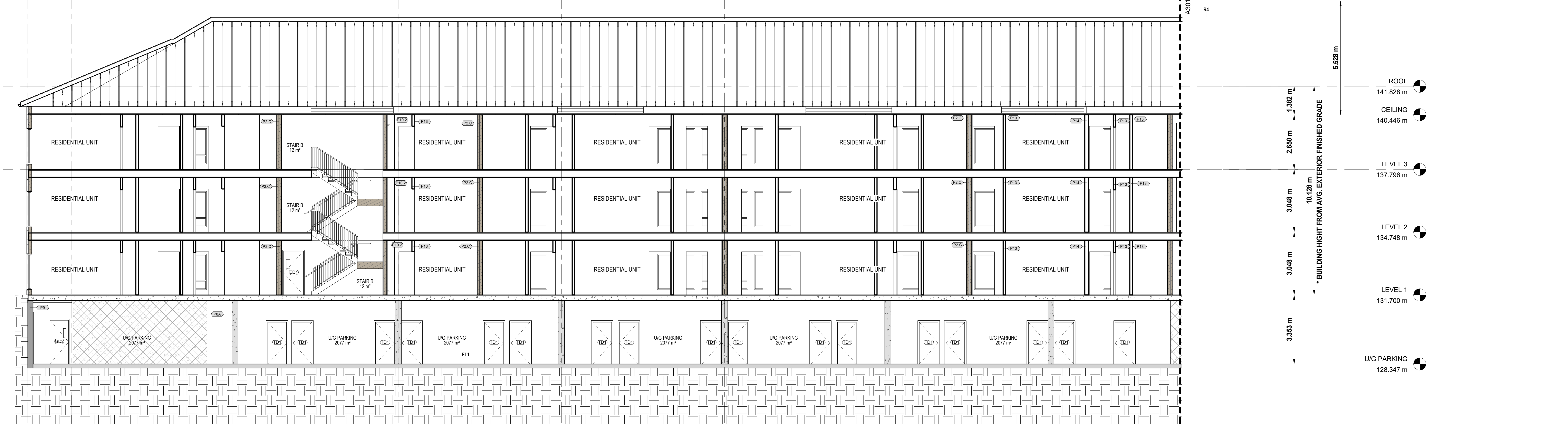
MATERIAL LEGEND:

A	ALUMINUM / GLASS GUARD RAILING 42" H.
B	CURTAIN WALL
V	VINYL WINDOW
D	VINYL DOOR
E	EXIT DOOR
G	GARAGE DOOR
C.1	DARK TONE FIBER CEMENT SIDING
C.2	LIGHT TONE FIBER CEMENT SIDING
S.1	MEDIUM TONE HORIZONTAL WOOD SIDING
S.2	LIGHT TONE VERTICAL WOOD SIDING
R	DARK TONE ROOF METAL OR ASPHALT
M	CONCRETE RETAINING WALL
W	STRUCTURAL CONCRETE WALL

*ONE- QUARTER THE HEIGHT BETWEEN THE FINISHED CEILING OF THE UPPERMOST FLOOR AND THE HIGHEST POINT OF THE HIP ROOF.
 (NO ROOF SPACE BE USED FOR HUMAN HABITATION)

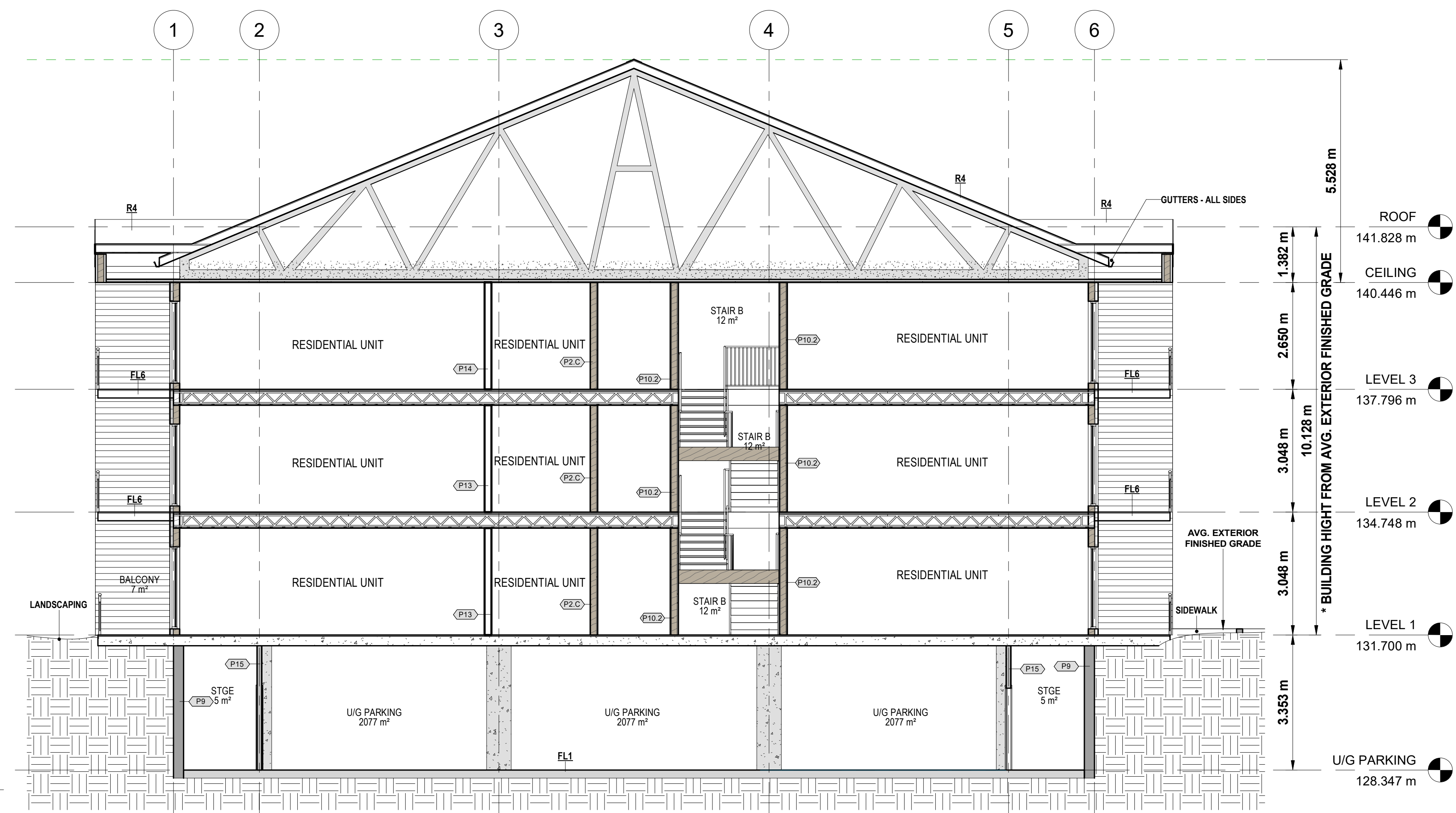


Section 1 - A
1 : 75



Section 1 - B
1 : 75

Section 2
1 : 75




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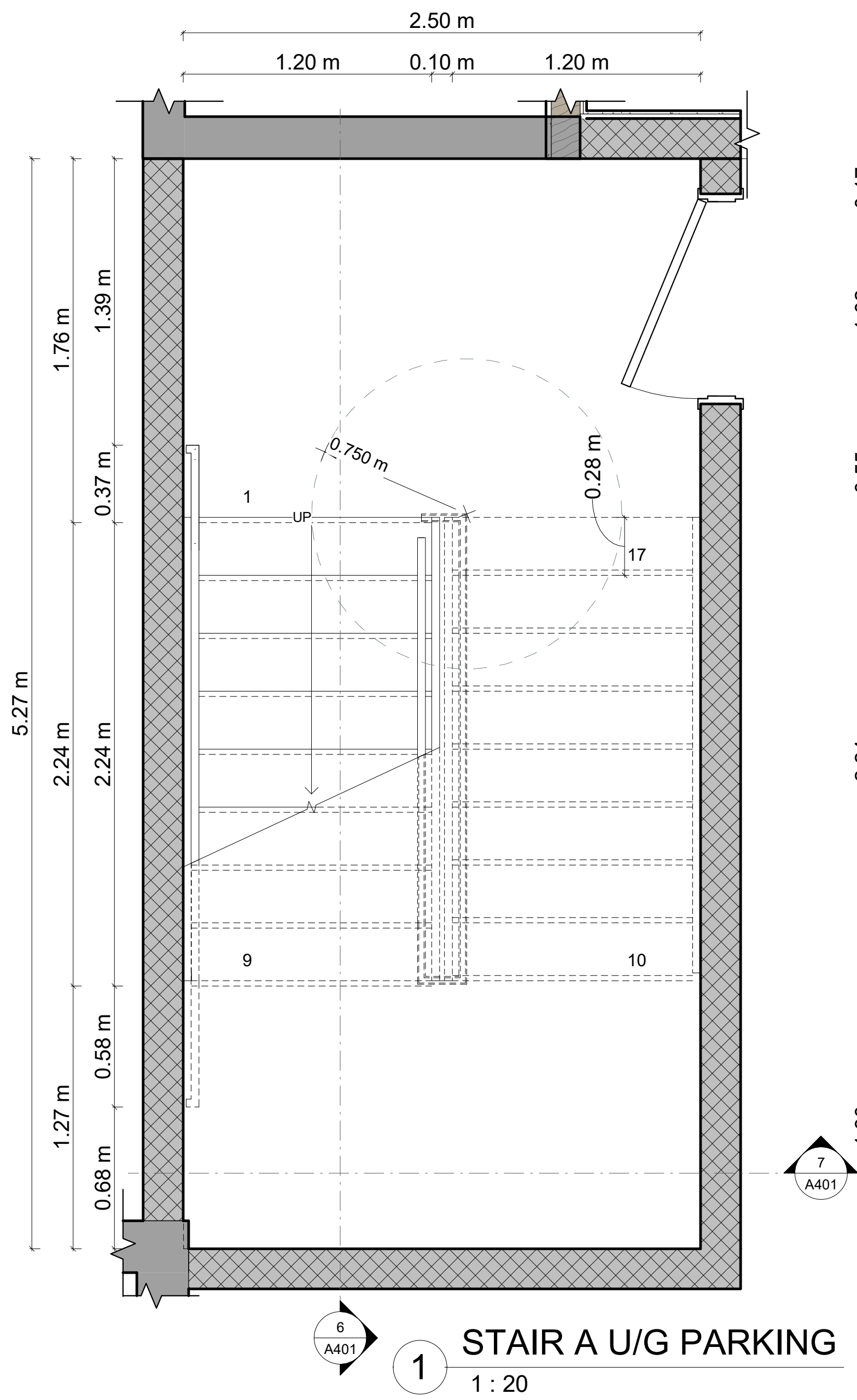
SEAL:


REVISIONS

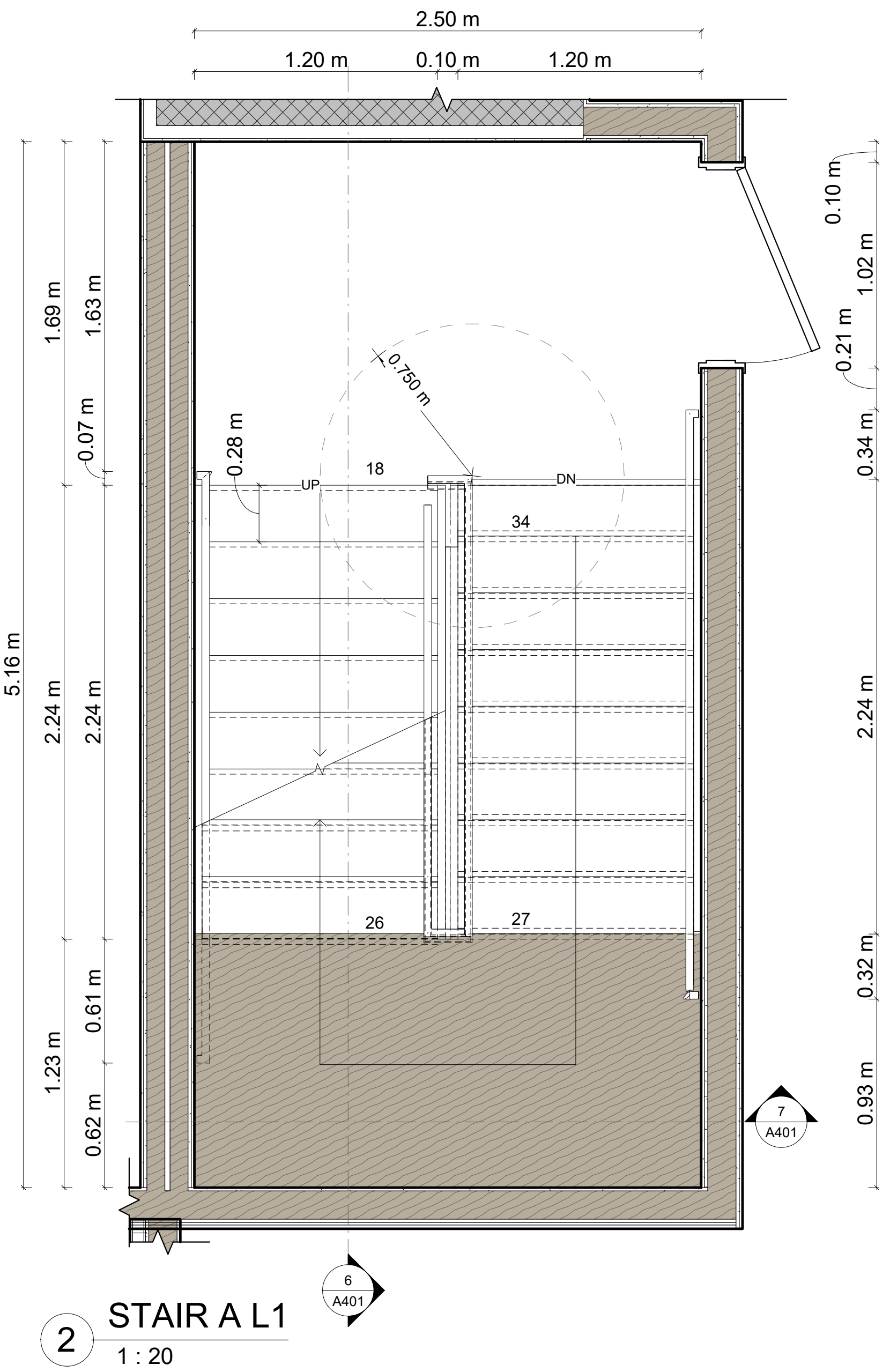
No.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23

PROJECT:
APARTMENT BUILDING
 LOT RF-7, HAMMONDS PLAINS RD,
 HAMMONDS PLAINS, NS.
TITLE:
BUILDING SECTIONS

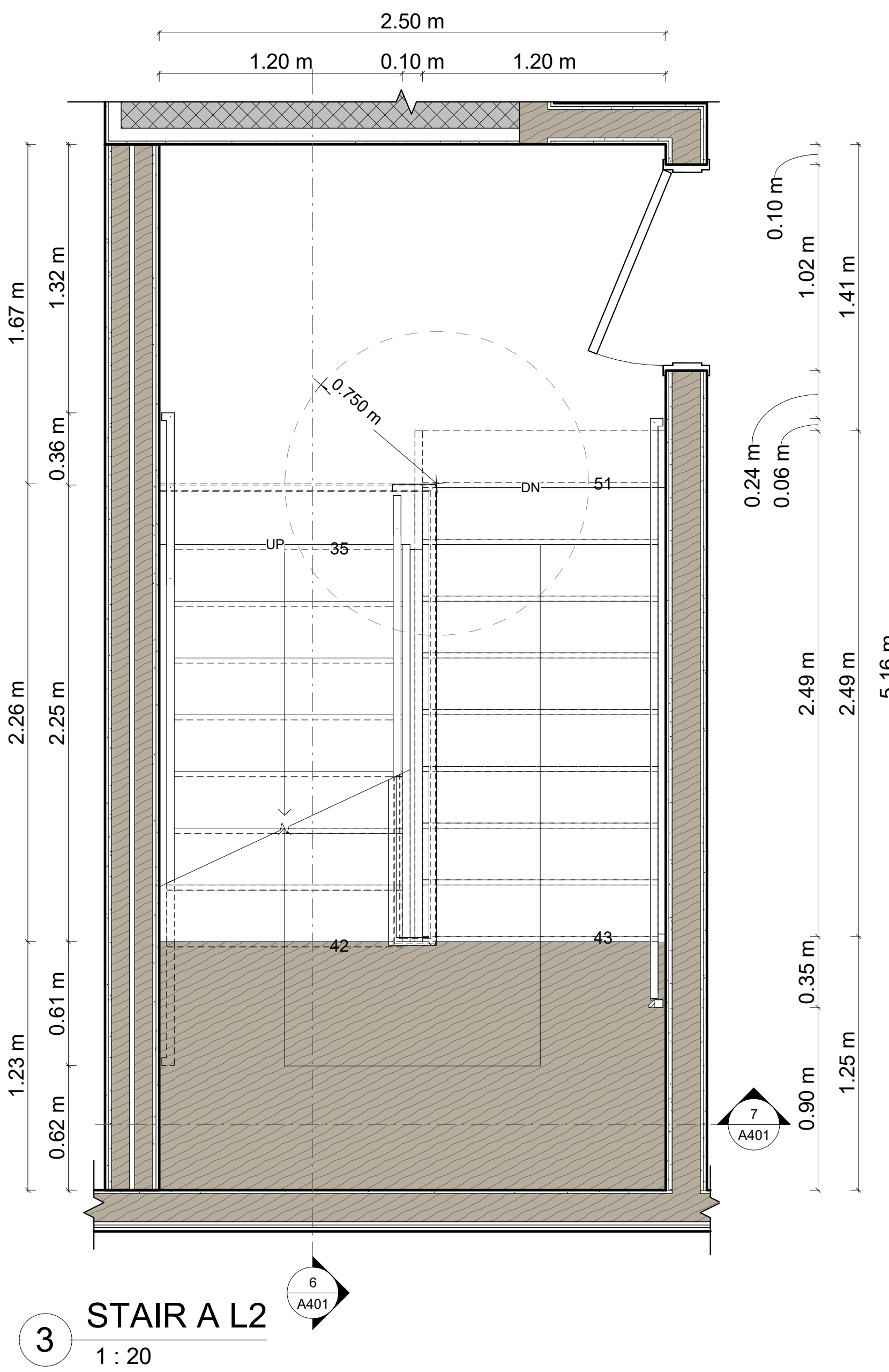
Drawn by: M.B. Checked: S.S.
 Date: MAY 07/23 Approved: M.R.
 Scale: AS SHOWN dwg #: **A301**
 Project #: 230108



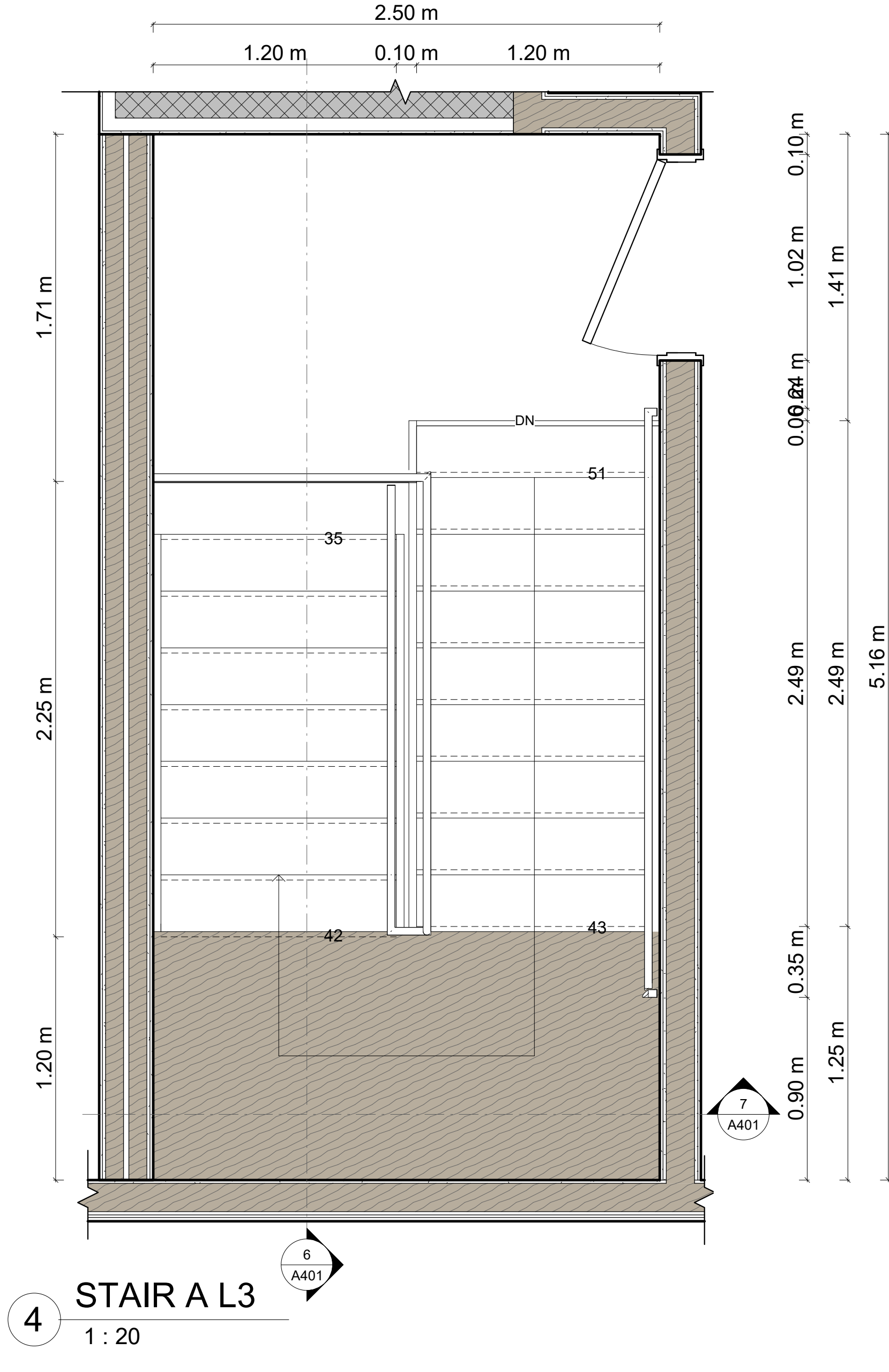
1 STAIR A U/G PARKING
1: 20



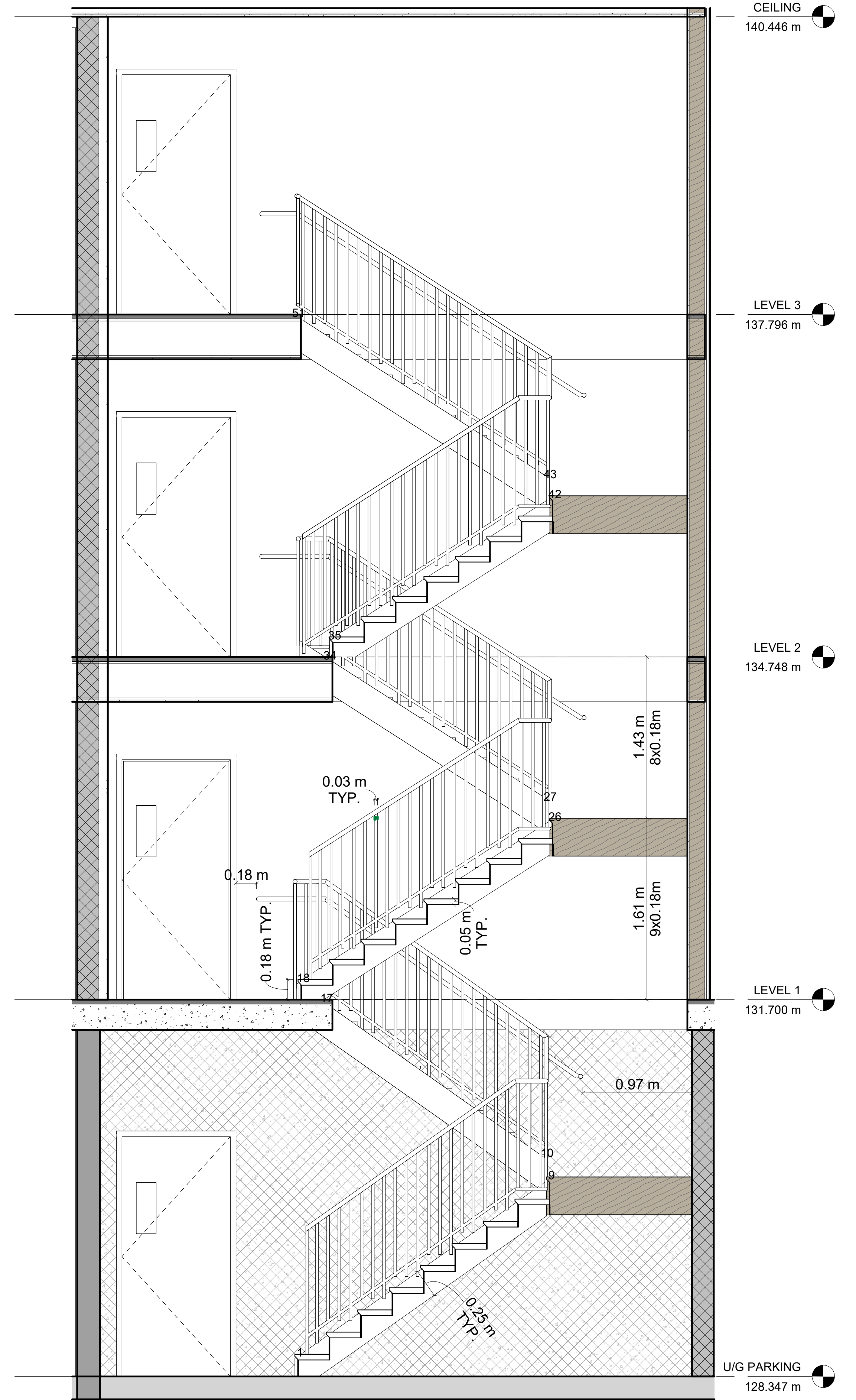
2 STAIR A L1
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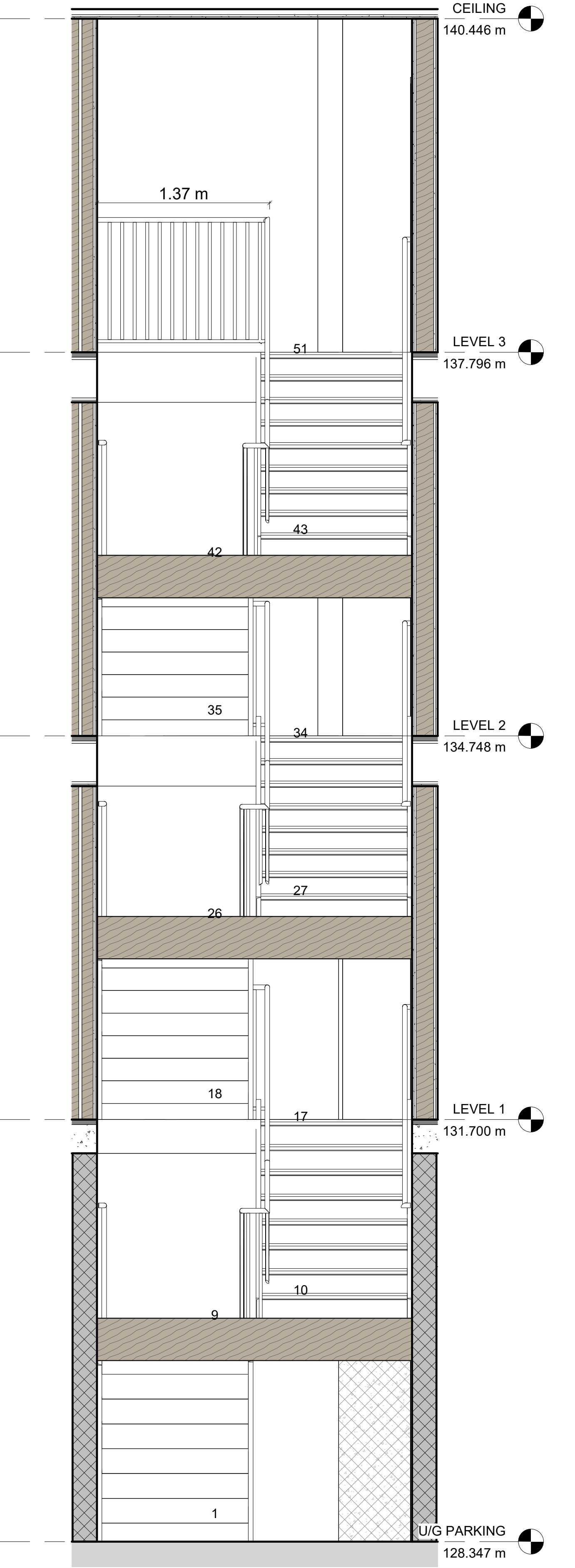
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1: 20



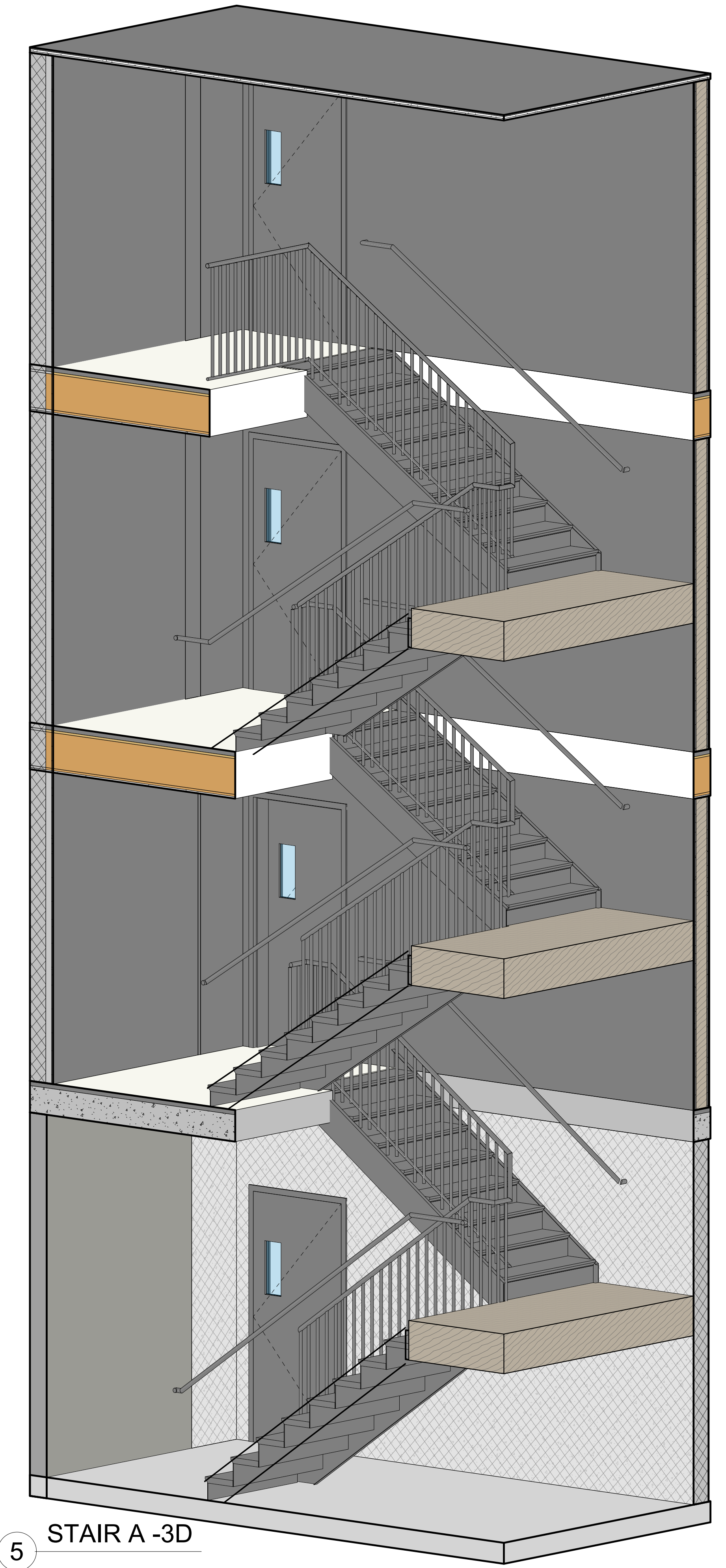
4 STAIR A L3
1: 20



6 SECTION A.1
1: 25



7 SECTION A.2
1: 25



5 STAIR A -3D

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CONSULTANT:

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Bedford, NS B34 1E1
Tel: +1 (902) 402-1323
Email: mranjan@parSCOeng.com
Web: www.parSCOeng.com

SEAL:

REVISIONS

No.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23
2	RE-ISSUED FOR PERMIT ONLY	02/07/24

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD,
HAMMONDS PLAINS, NS.

TITLE:

STAIR TYPE A

Drawn by:	M.B	Checked:	S.S
Date:	MAY 07/23	Approved:	M.R
Scale:	AS SHOWN	dwg #:	
Project #:	230108		A401

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CONSULTANT:

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 Quality Construction
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 Bedford, NS B34 1E1
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SEAL:

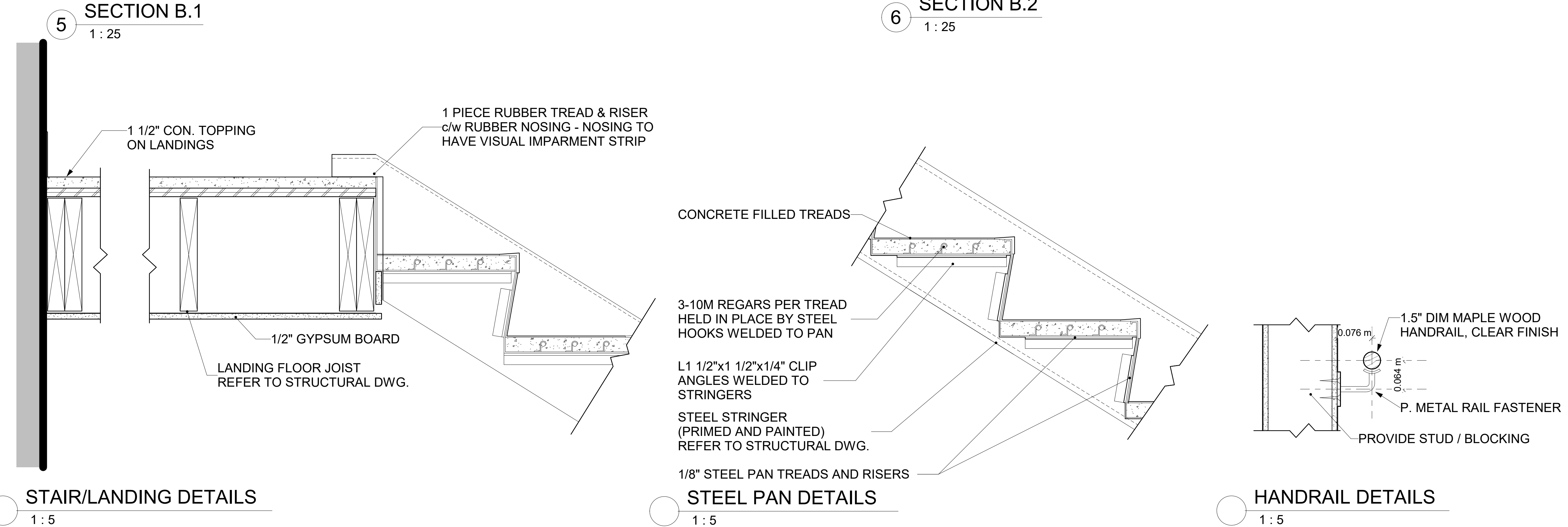
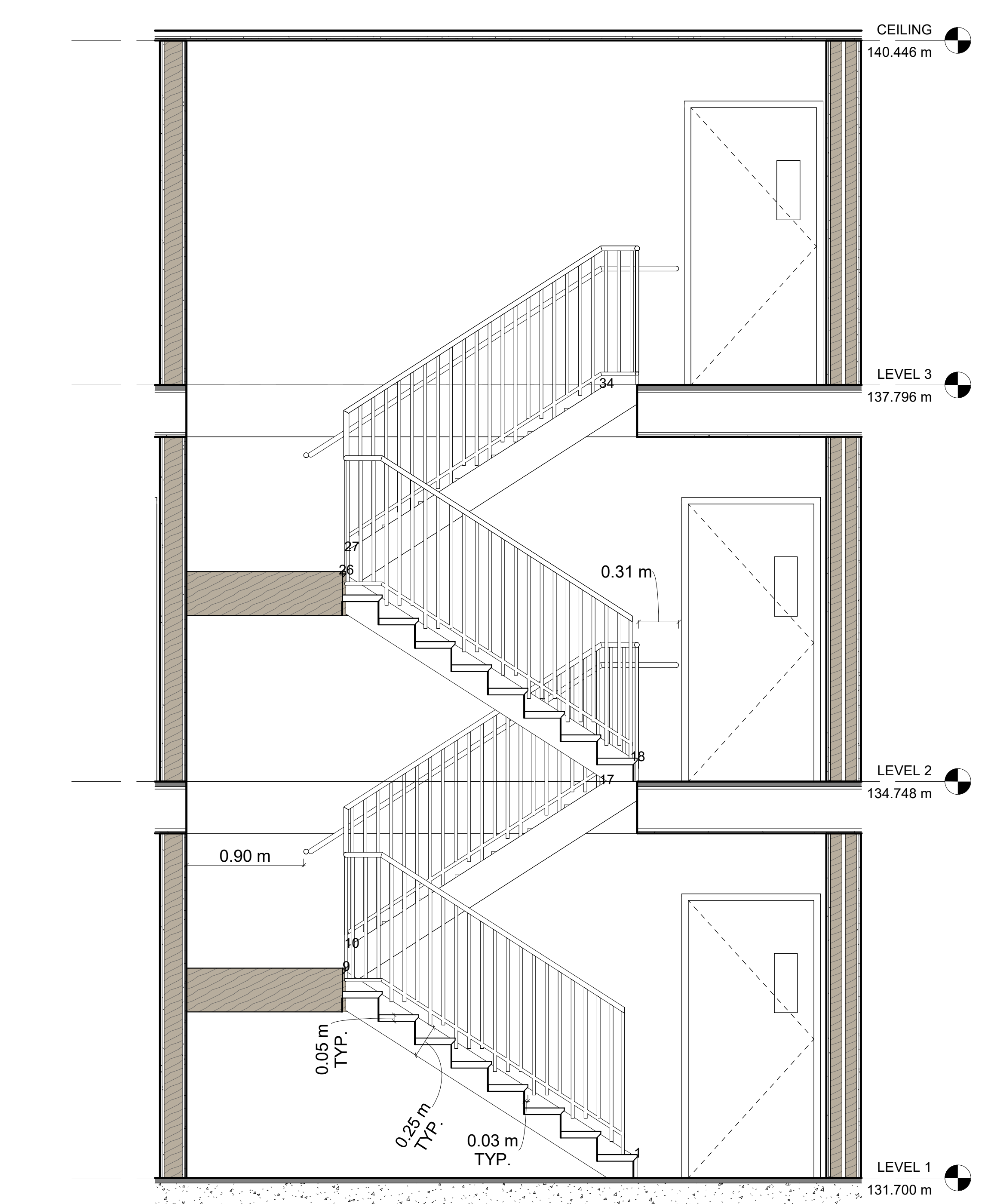
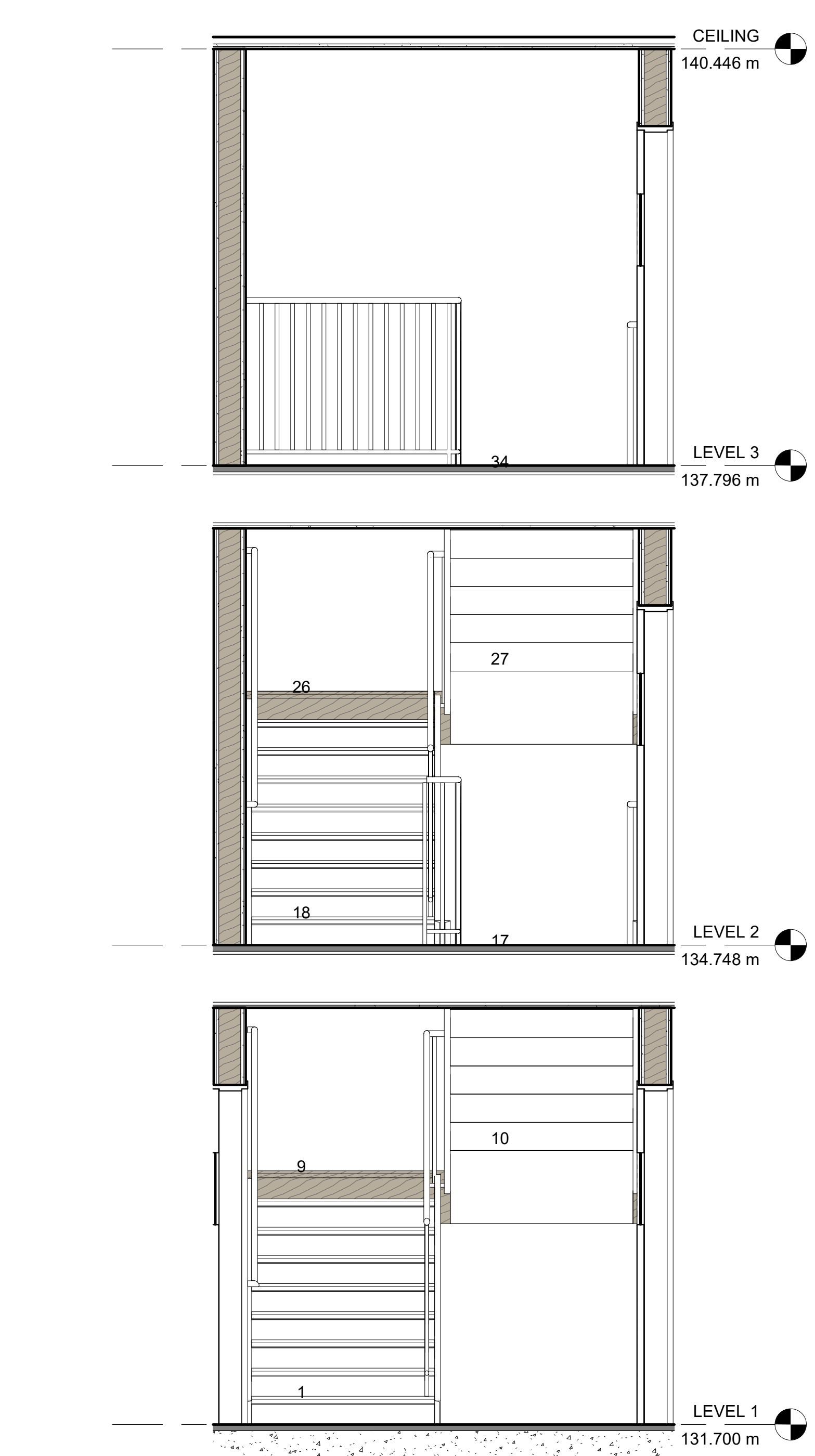
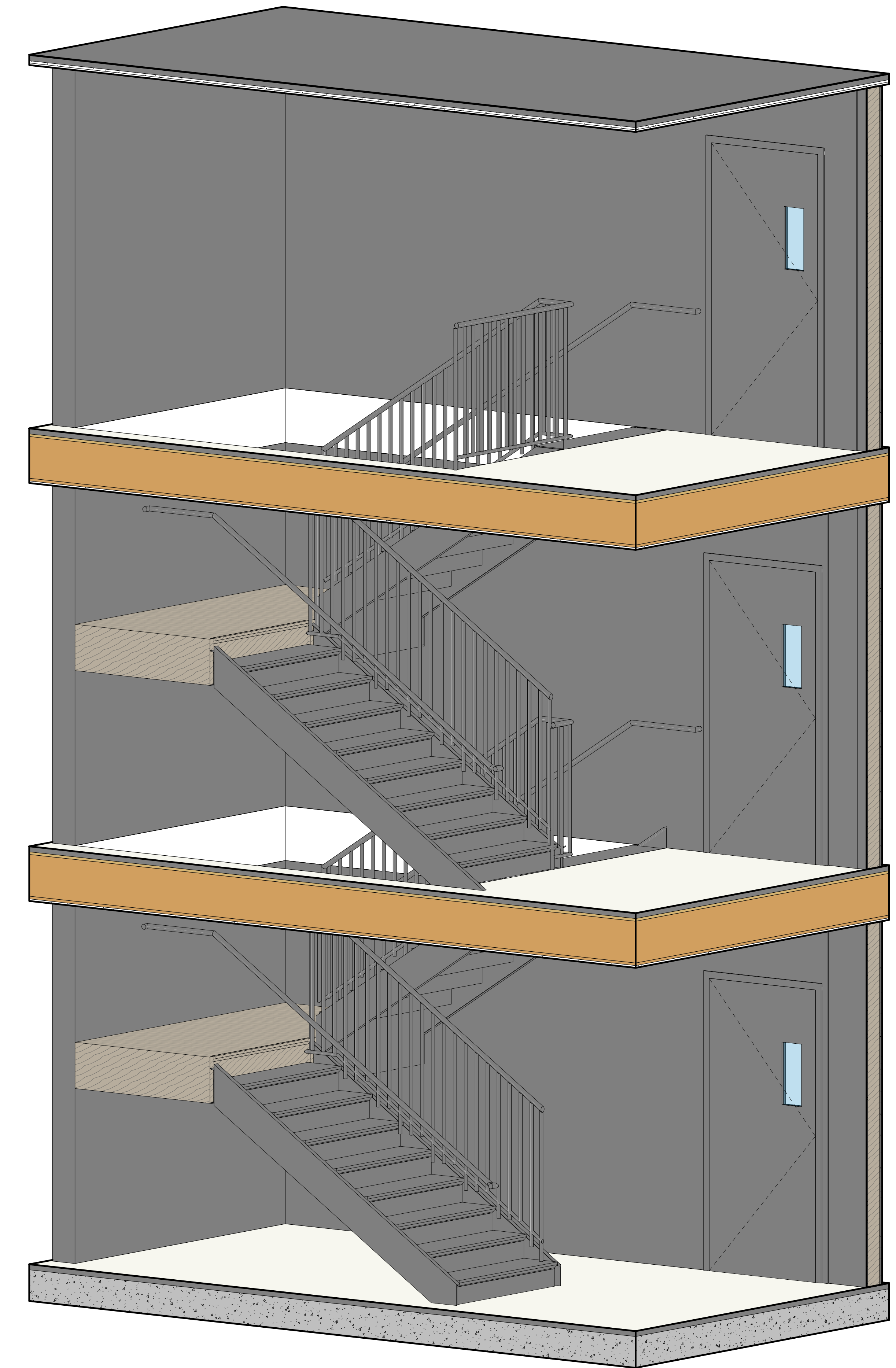
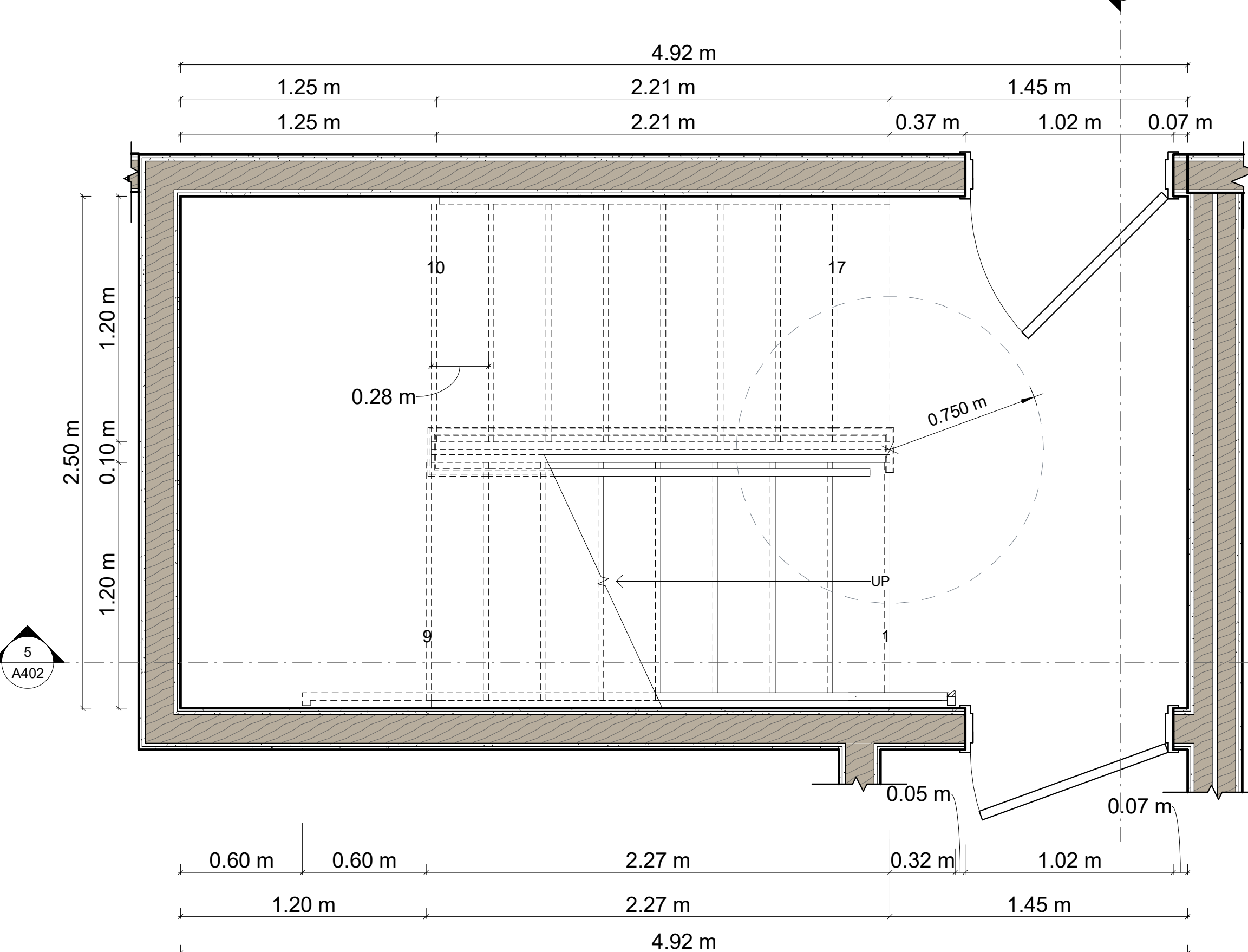
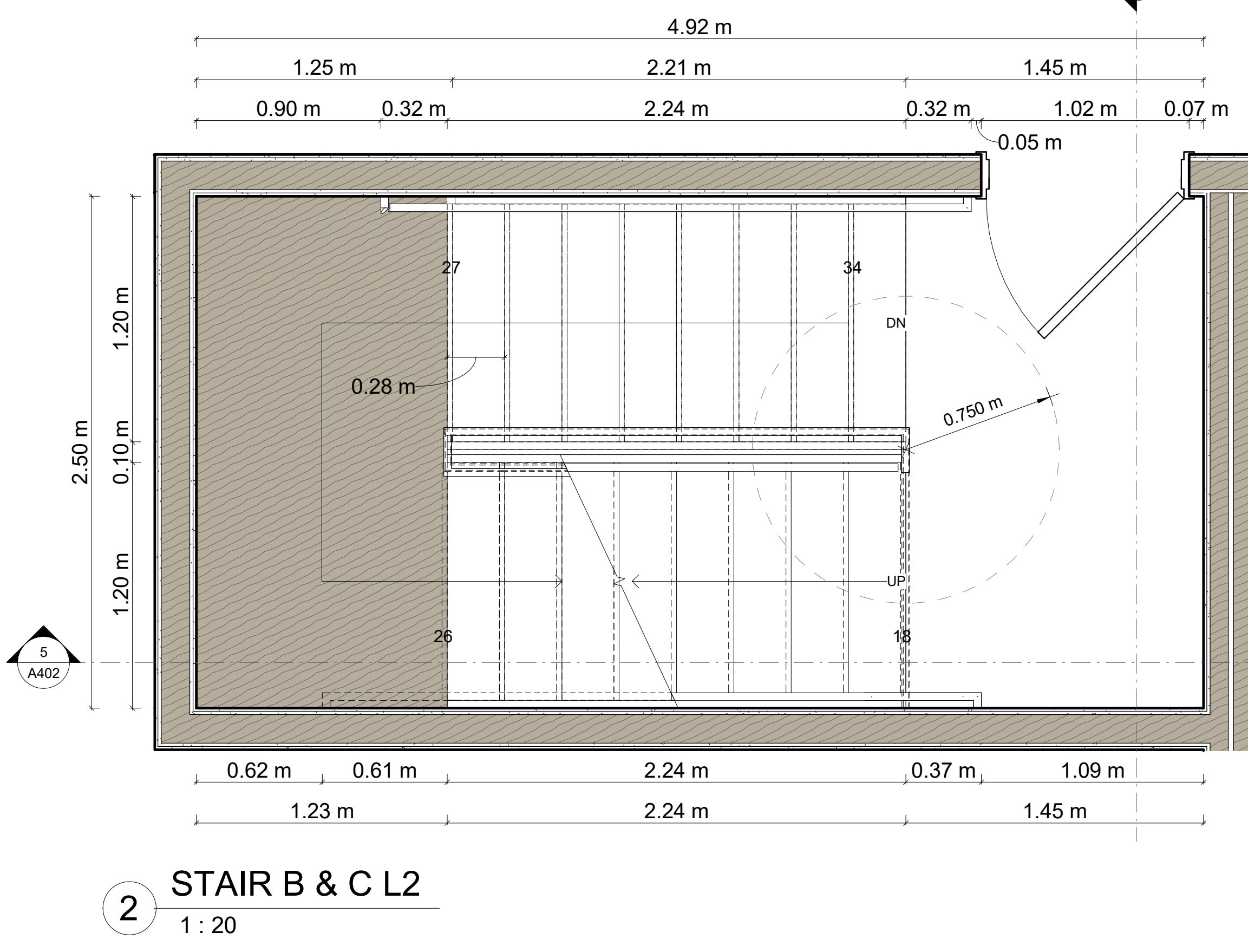
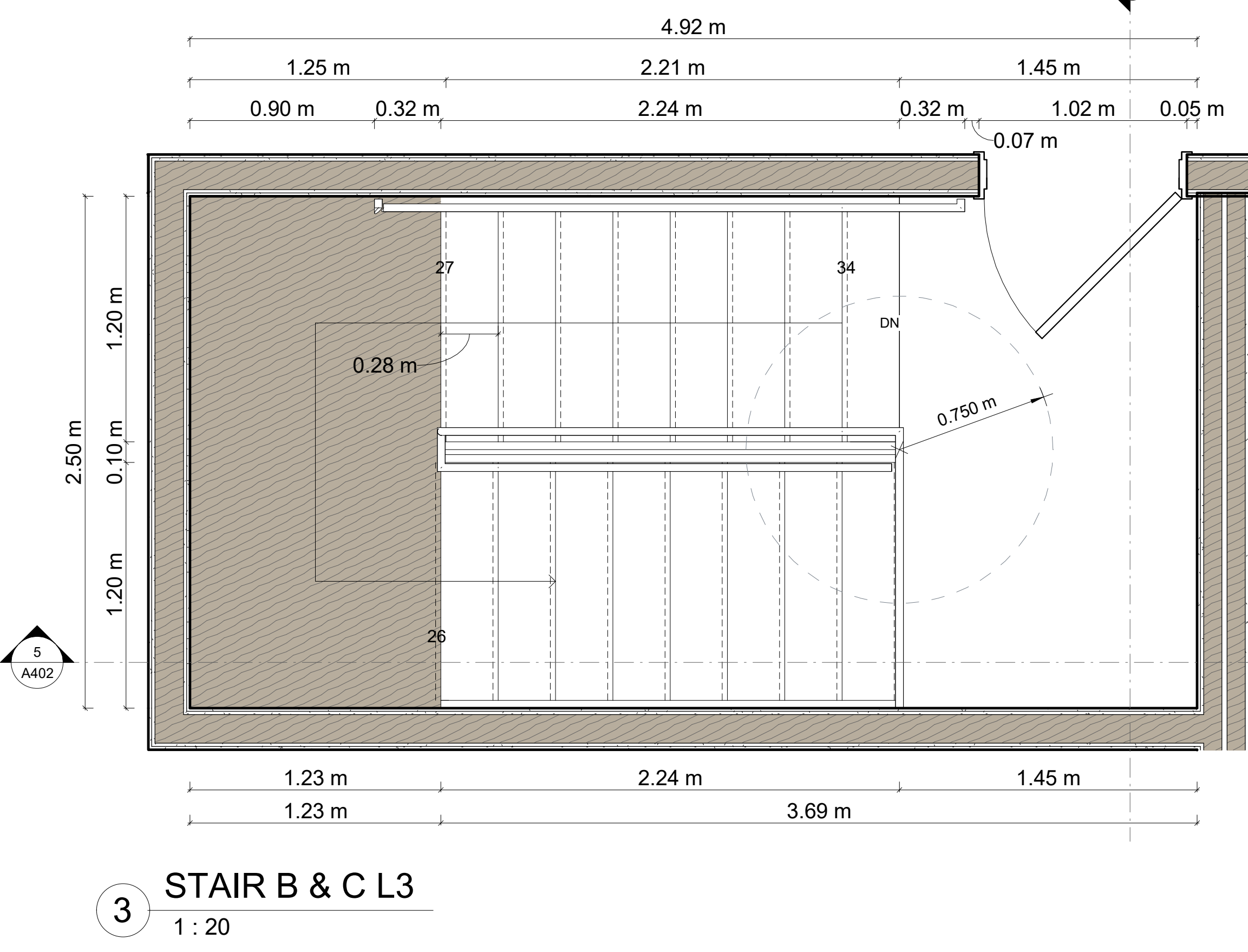
REVISIONS		
No.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23

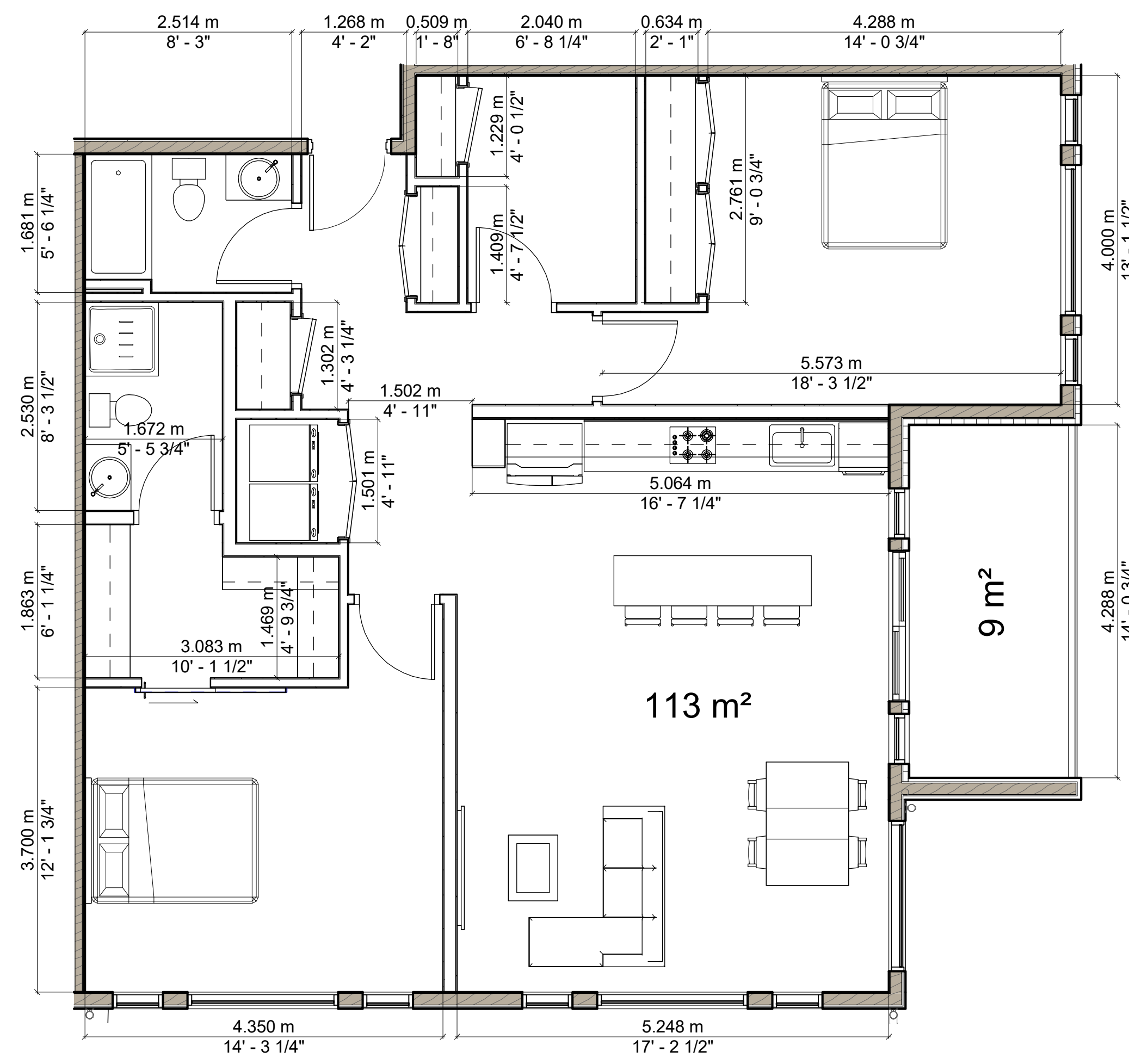
PROJECT:
 APARTMENT BUILDING

**LOT RF-7, HAMMONDS PLAINS RD,
 HAMMONDS PLAINS, NS.**

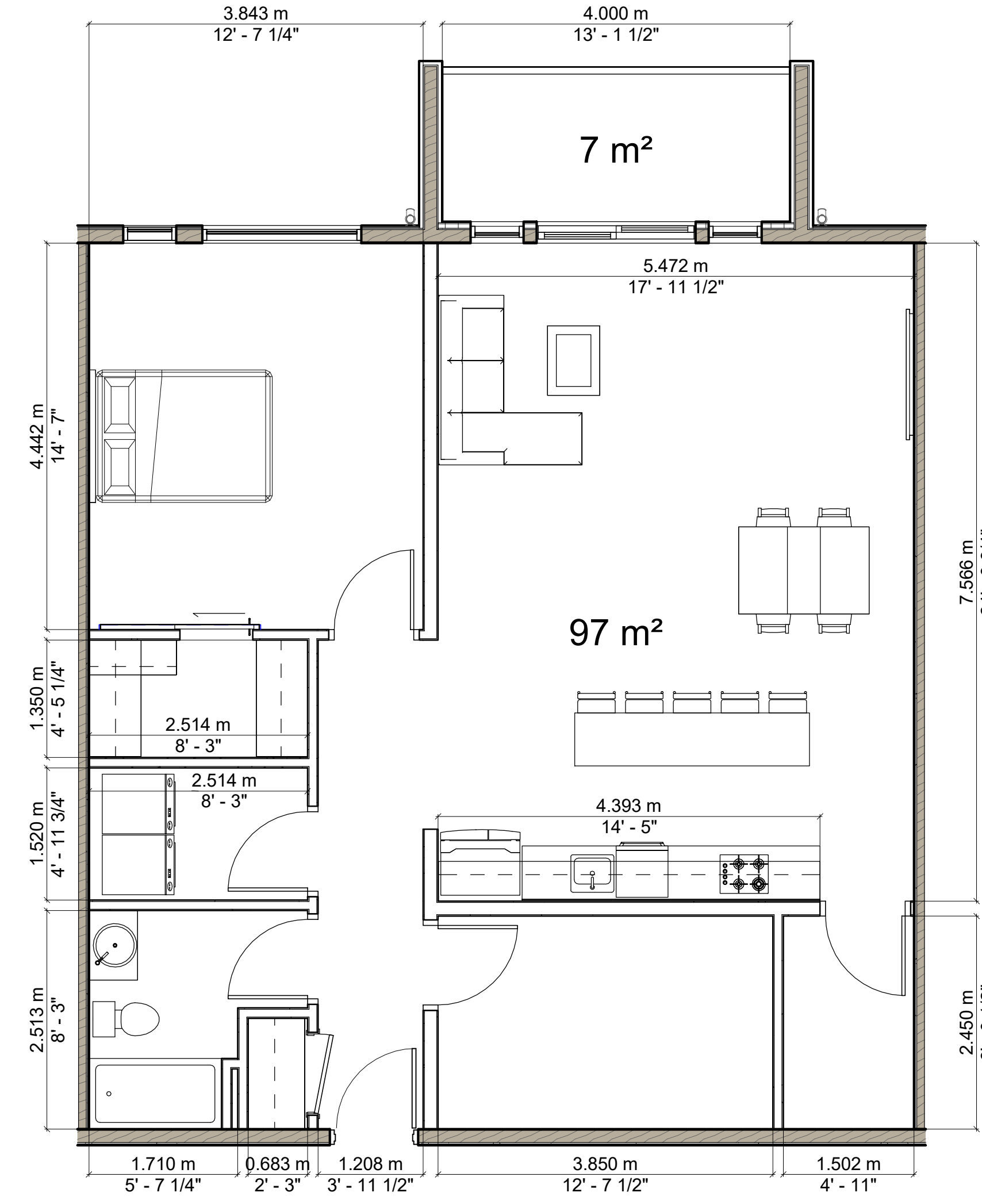
TITLE:
 STAIR TYPE B & C

Drawn by: M.B	Checked: S.S
Date: MAY 07/23	Approved: M.R
Scale: AS SHOWN	dwg #: A402
Project #: 230108	

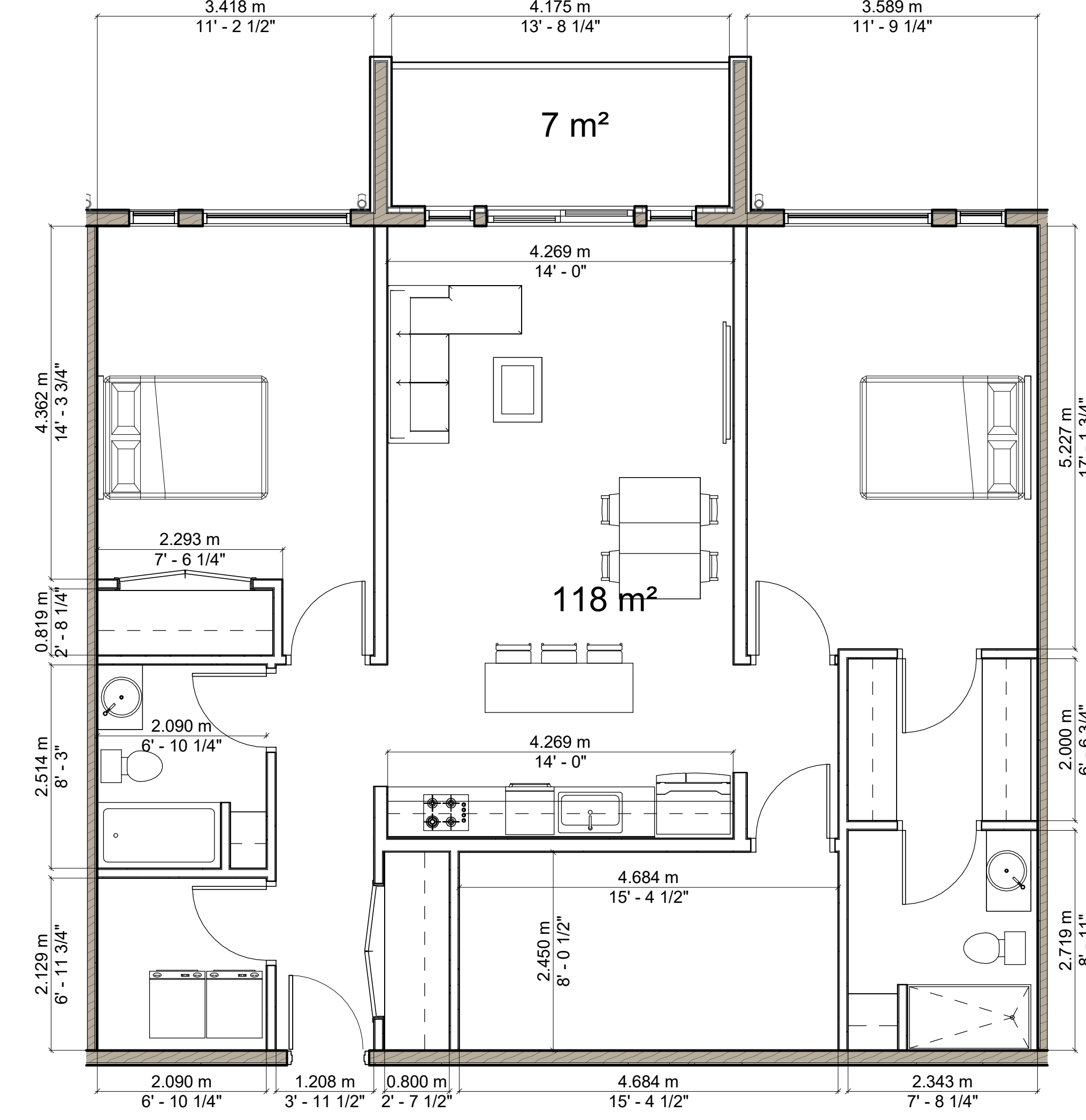




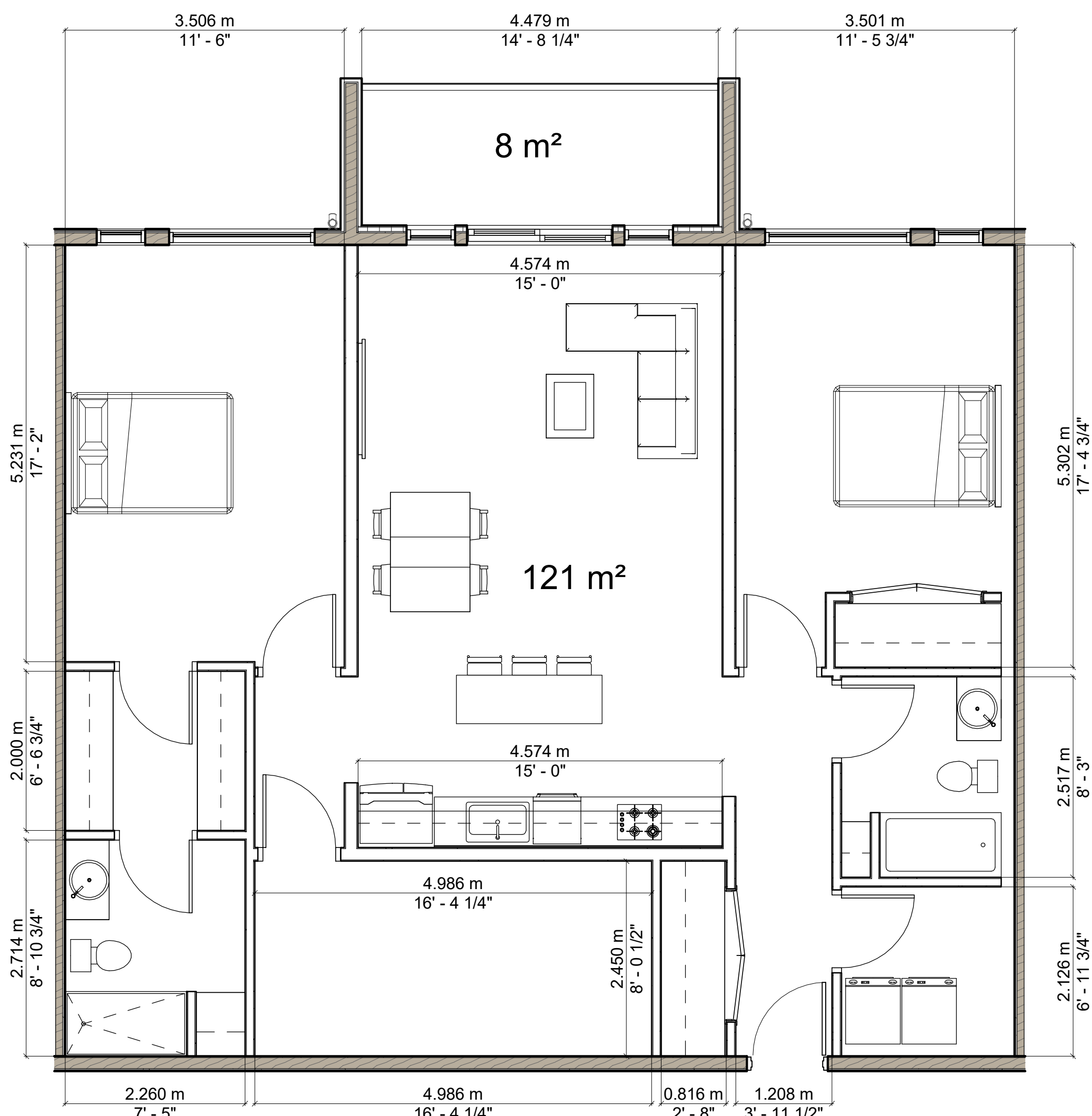
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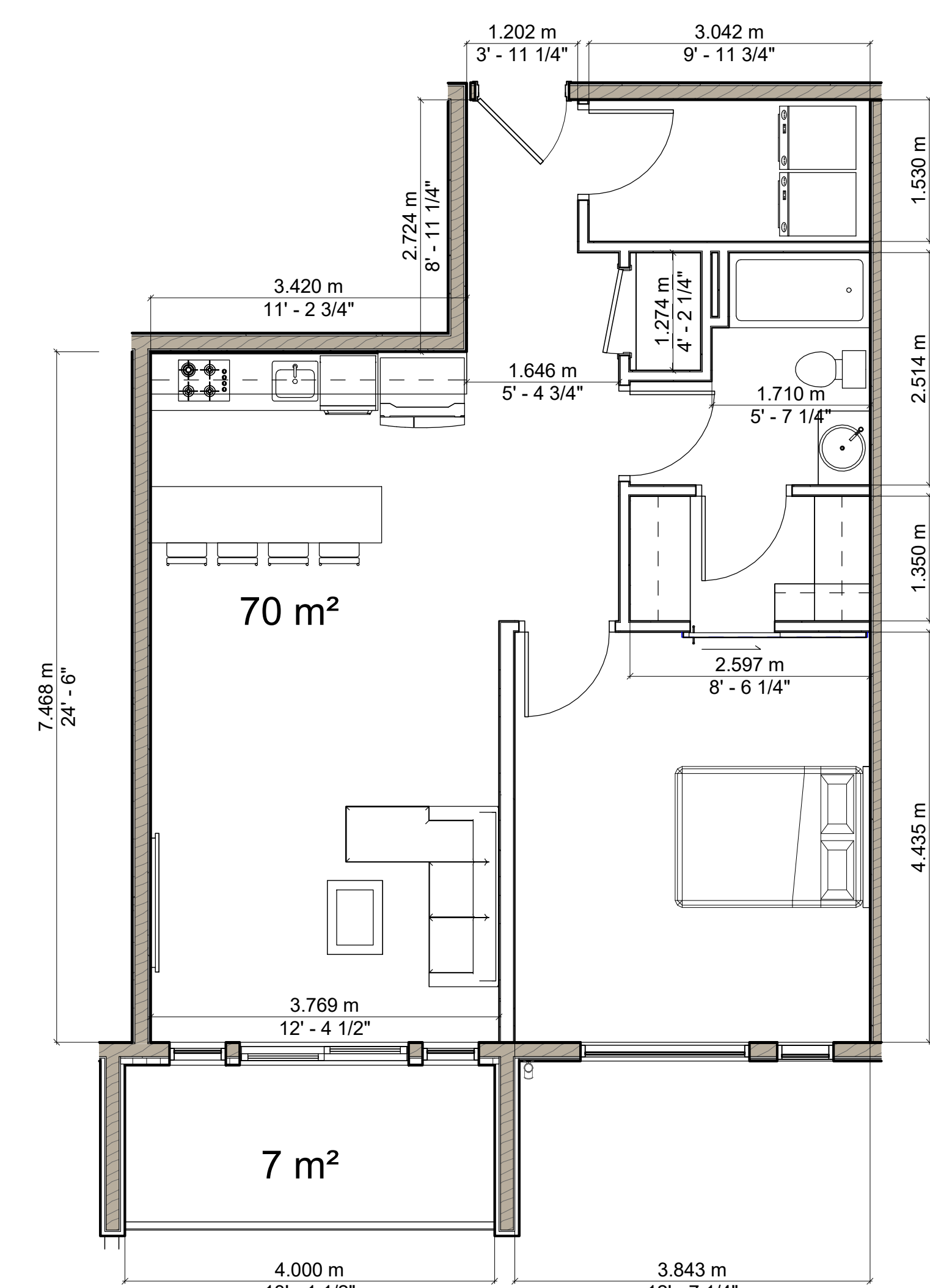
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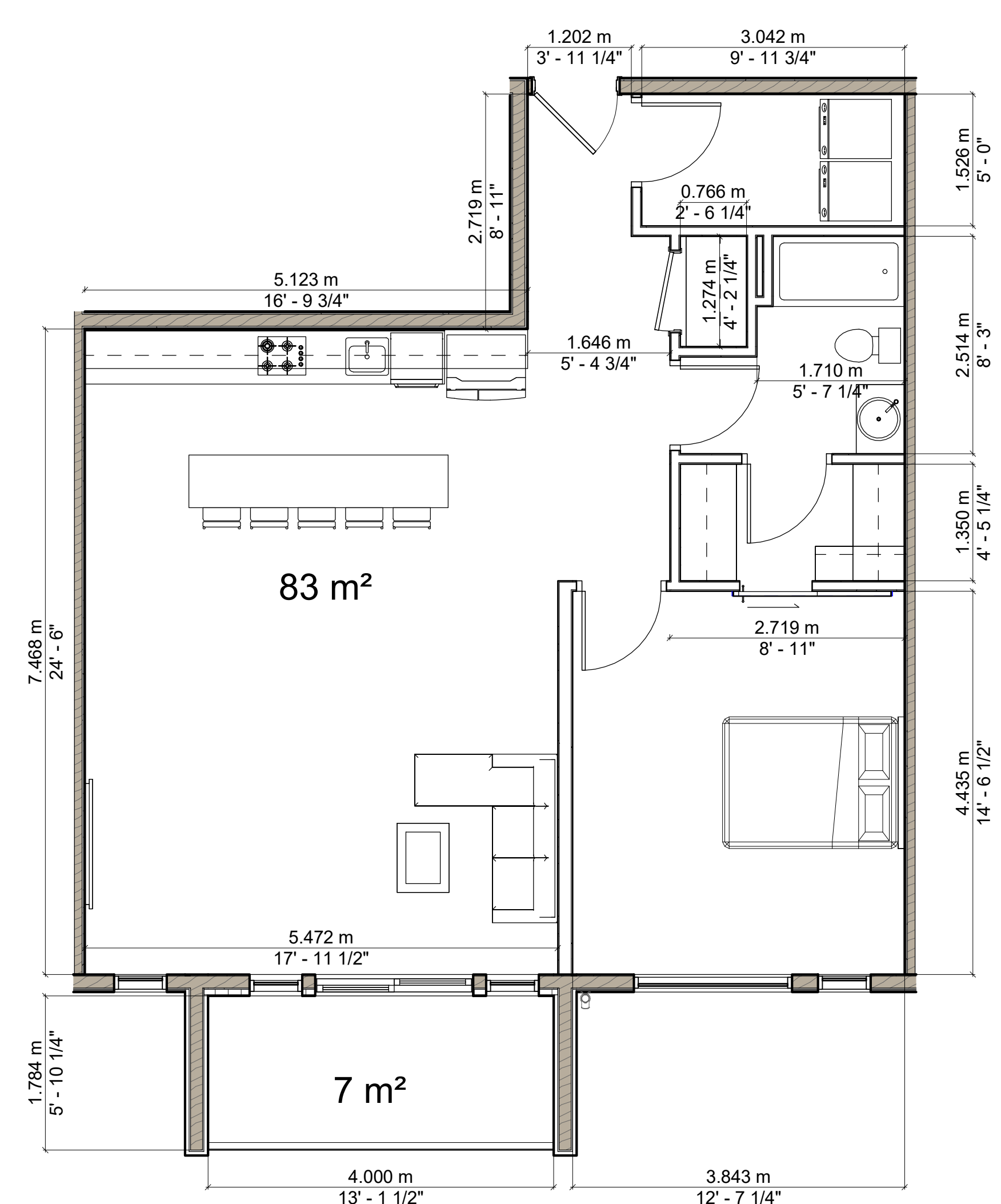
3 LEVEL 1 TO L3 - TYPE C - 2 BR.+DEN
1:50



4 LEVEL 1 TO L3 - TYPE D - 2 BR.+DEN
1:50



5 LEVEL 1 - TYPE E - 1BR.
1:50



6 LEVEL 2 TO L3 - TYPE E.1 - 1BR.
1:50


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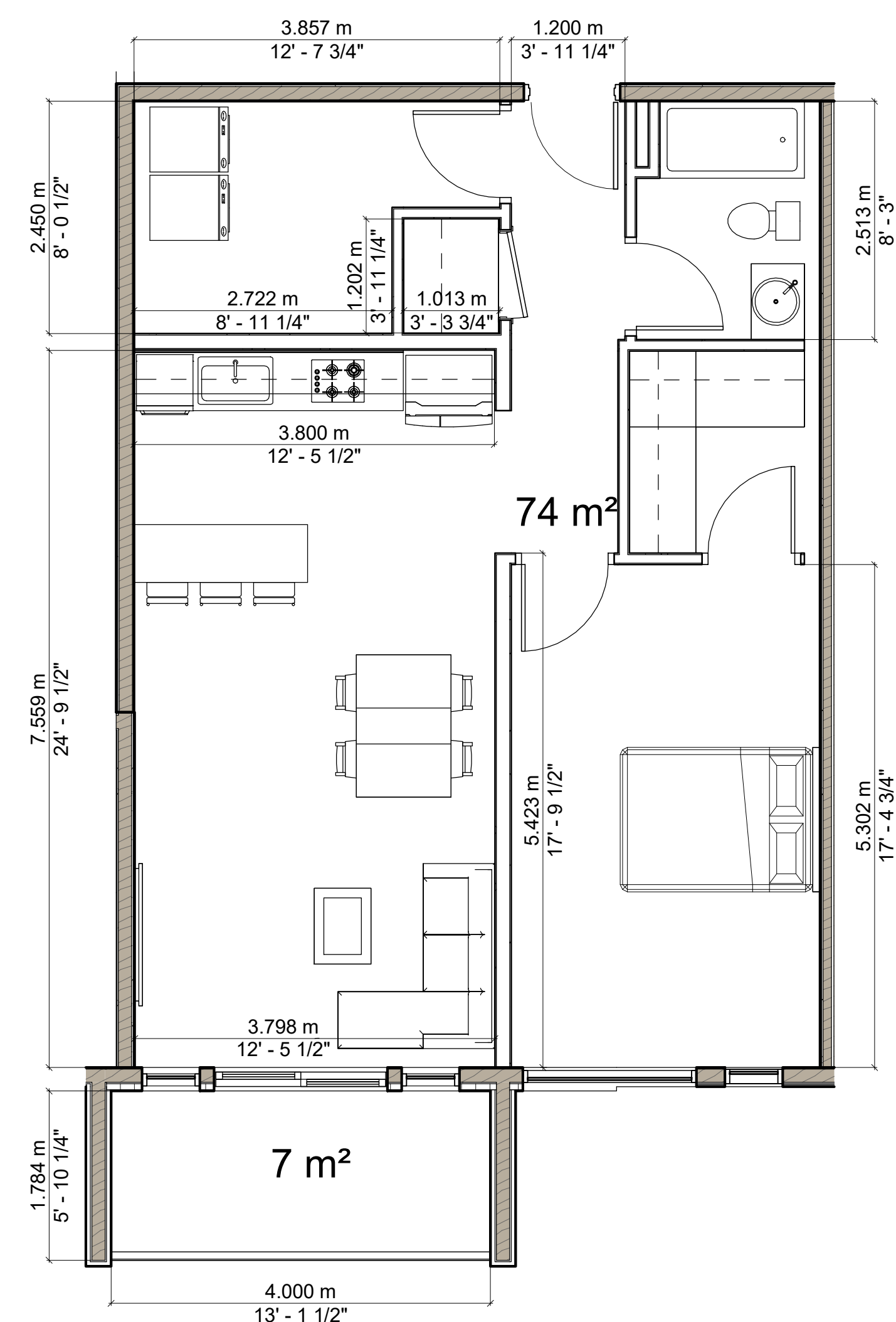
SEAL:

 M. Ranjbar, P. Eng.
 1989
 PROVINCE OF NOVA SCOTIA

REVISIONS

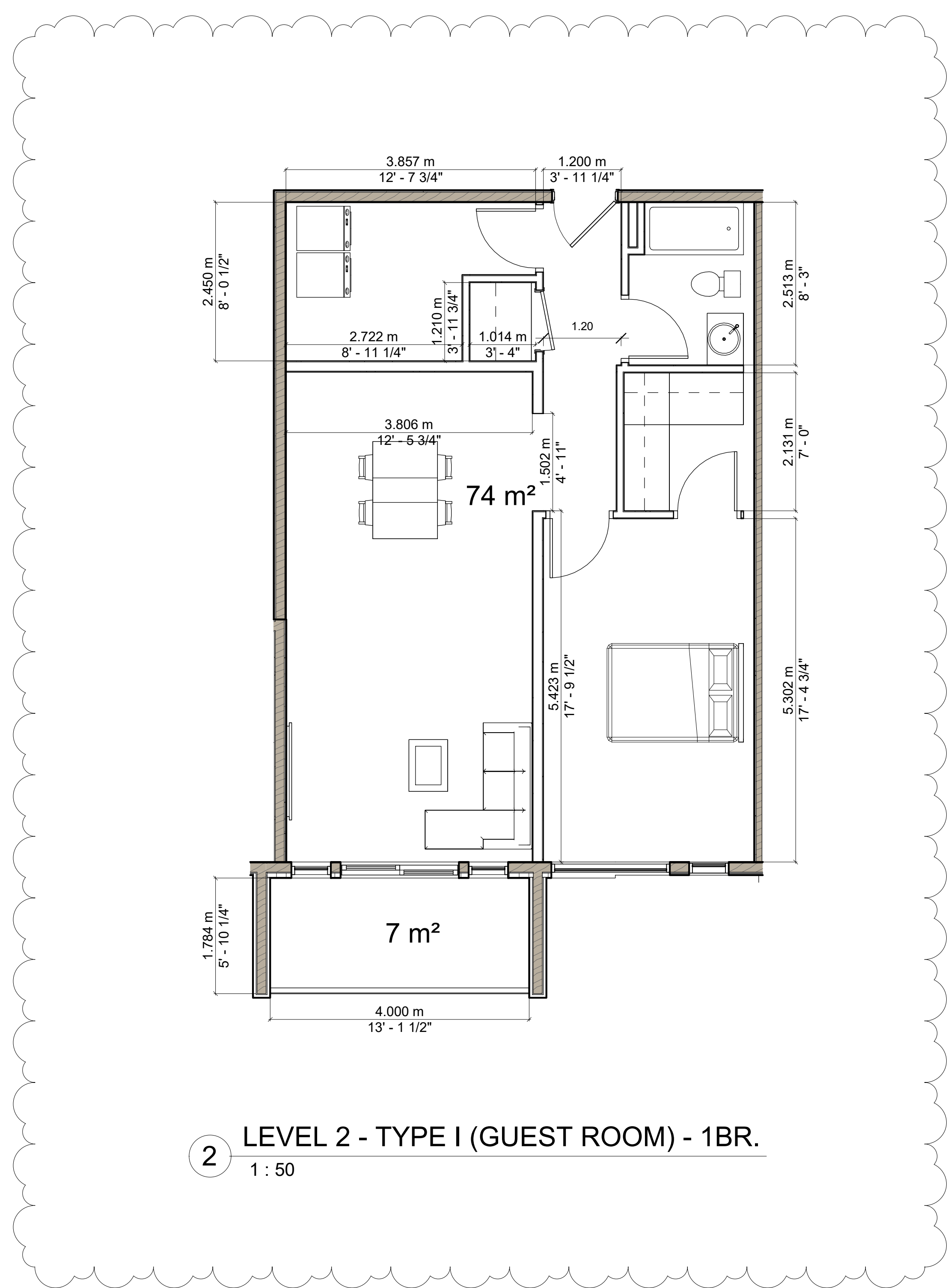
No.	Description	Date
1	ISSUED FOR REVIEW ONLY	10/13/23
2	RE-ISSUED FOR REVIEW ONLY	10/23/23
3	ISSUED FOR PERMIT ONLY	12/12/23

PROJECT:
APARTMENT BUILDING
 LOT RF-7, HAMMONDS PLAINS RD,
 HAMMONDS PLAINS, NS.
 TITLE:
UNIT TYPE A,B,C,D,E & E.1

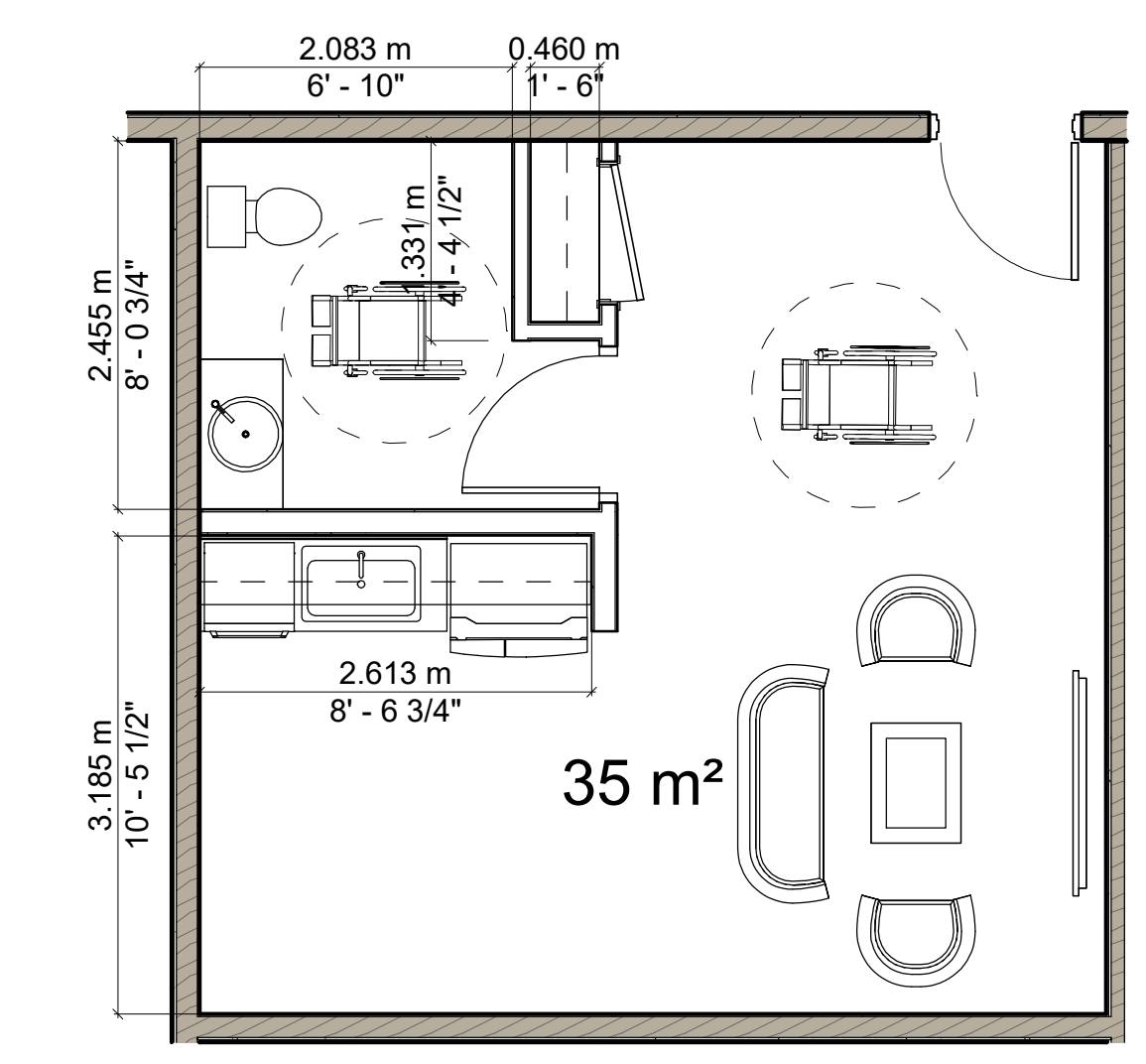
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Date:	MAY 07/23	Approved:	M.R
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Project #:	230108		A701



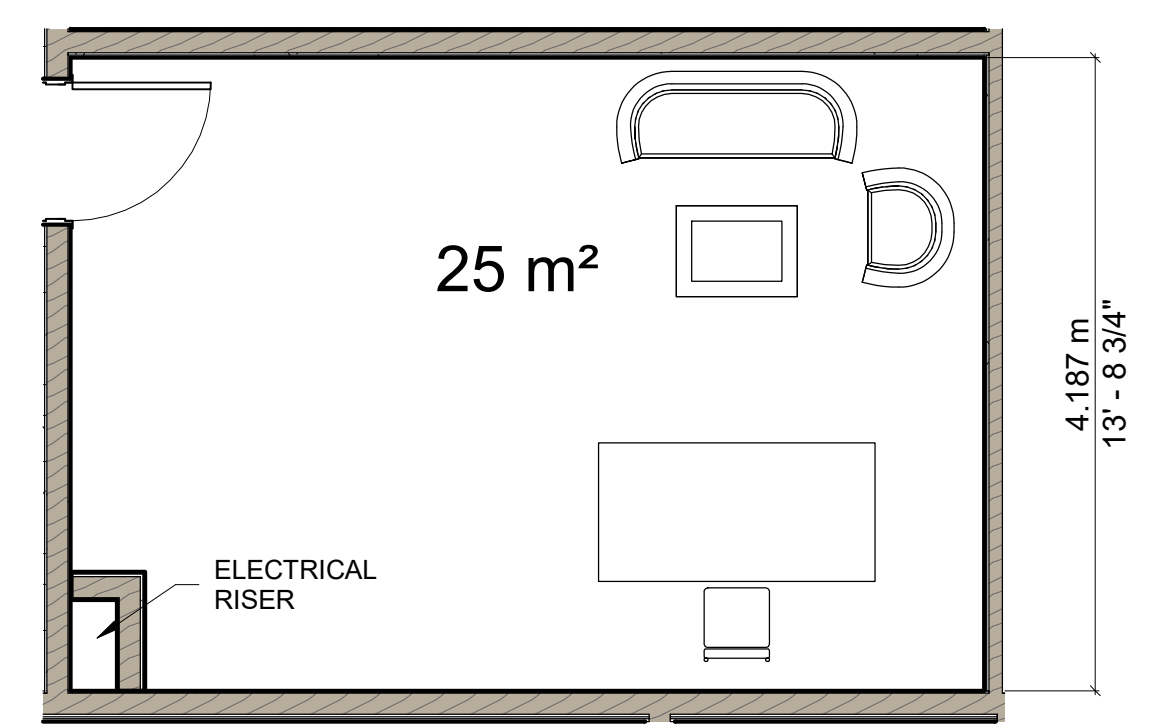
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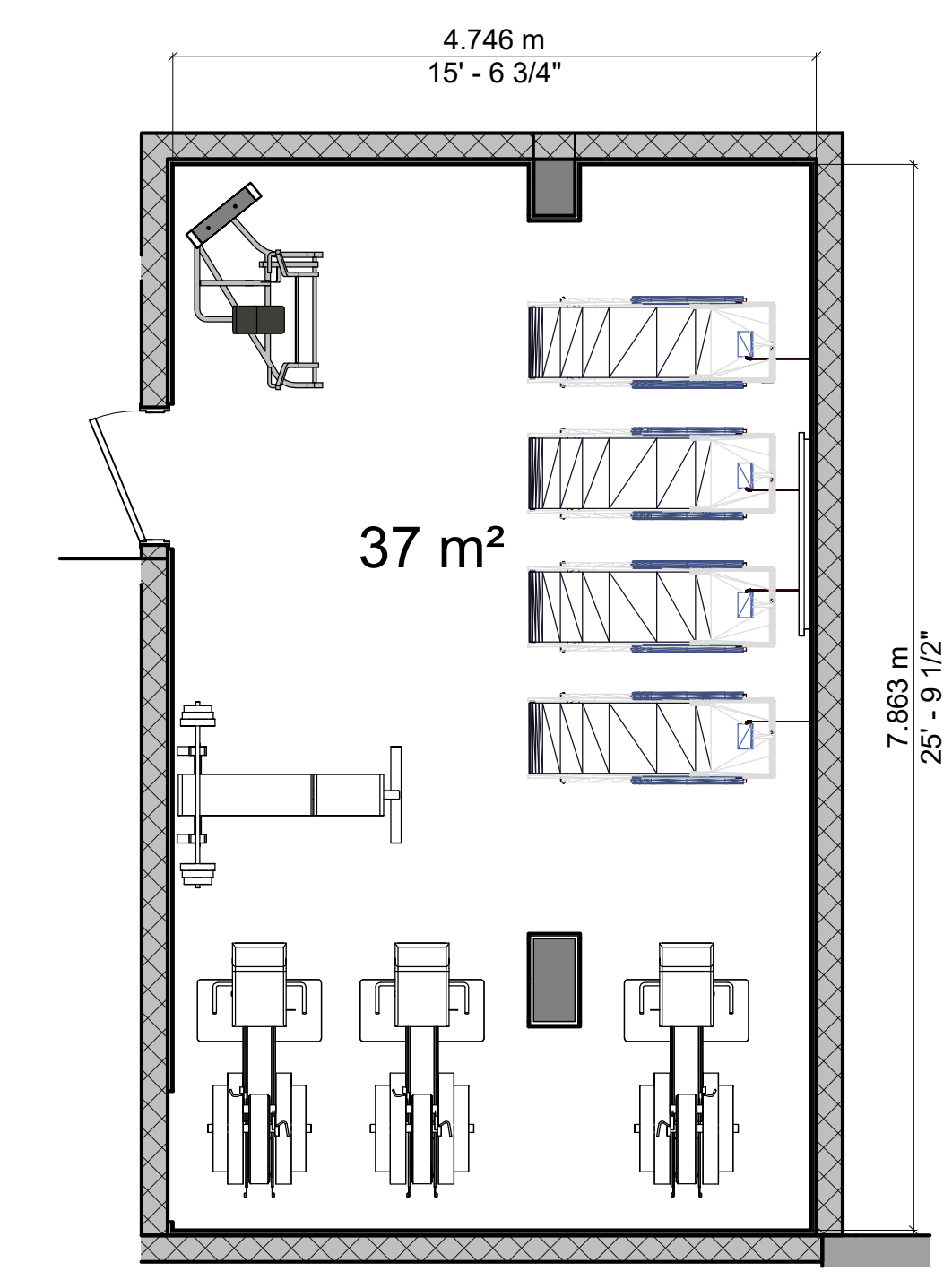
2 LEVEL 2 - TYPE I (GUEST ROOM) - 1BR.
1 : 50



3 LEVEL 1 - TYPE G - AMENITY
1 : 50



4 LEVEL 1 - TYPE J - OFFICE
1 : 50



5 U/G PARKING - TYPE H - GYM
1 : 50

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SEAL:

REVISIONS

No.	Description	Date
1	ISSUED FOR REVIEW ONLY	10/13/23
2	RE-ISSUED FOR REVIEW ONLY	10/23/23
3	ISSUED FOR PERMIT ONLY	12/12/23
4	RE-ISSUED FOR PERMIT ONLY	03/12/24

PROJECT:
APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD,
HAMMONDS PLAINS, NS.

TITLE:
UNIT TYPE F,I,G,H & J

Drawn by: M.B	Checked: S.S
Date: MAY 07/23	Approved: M.R
Scale: AS SHOWN	dwg #: A702
Project #: 230108	