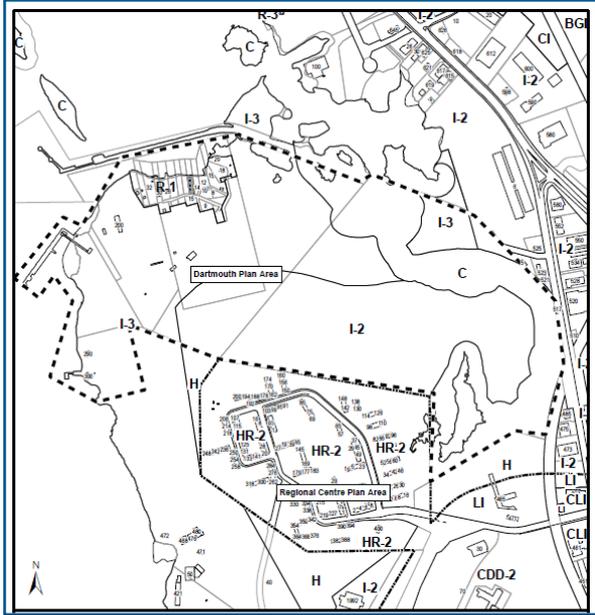


Public Hearing
PLANAPP-2023-00474

Amend MPS and LUB for Dartmouth
Greenbank Court, Dartmouth
Regional Council

Proposed Development



Applicant: Bryanna Cluett

**Location: 16 Greenbank Court and
Cove Lane, Dartmouth**

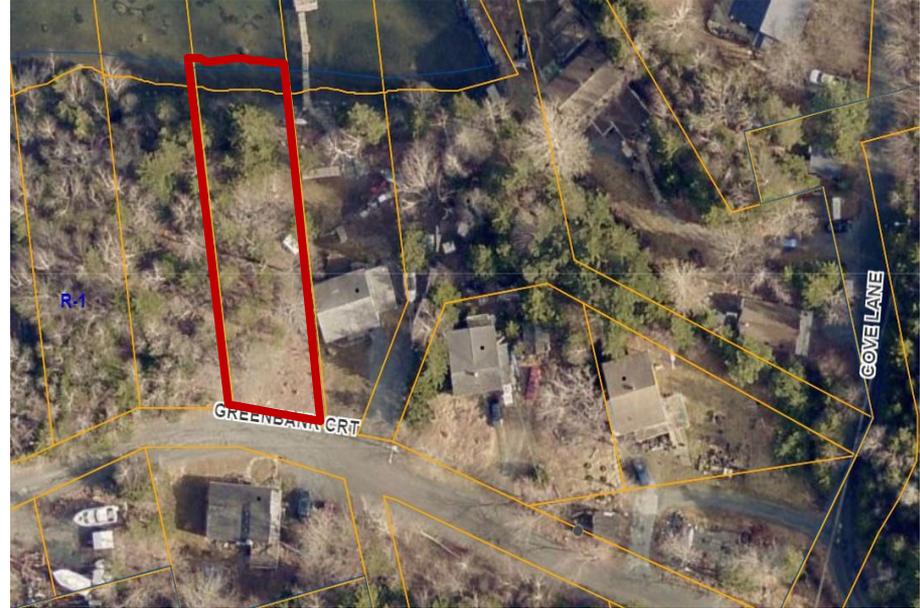
**Proposal: Request to build single
unit dwelling on R-1 (Single Family
Residential) zoned lands**

**Type of Application: Amend MPS and
LUB for Dartmouth**

Site Context



General Site location in Red



Site Boundaries in Red

Neighbourhood Context



Planning Policy Overview

Regional Plan &
Subdivision By-law

Community Plan

Land Use By-law
(Zoning)

Guide where population growth and the investment of services like transit, piped water and sewer should occur.

Planning Policy Overview

Regional Plan &
Subdivision By-law

Community Plan

Land Use By-law
(Zoning)

Outlines where, how, and which types of development may occur. Some uses may only be allowed after community consultation and Council approval.

Planning Policy Overview

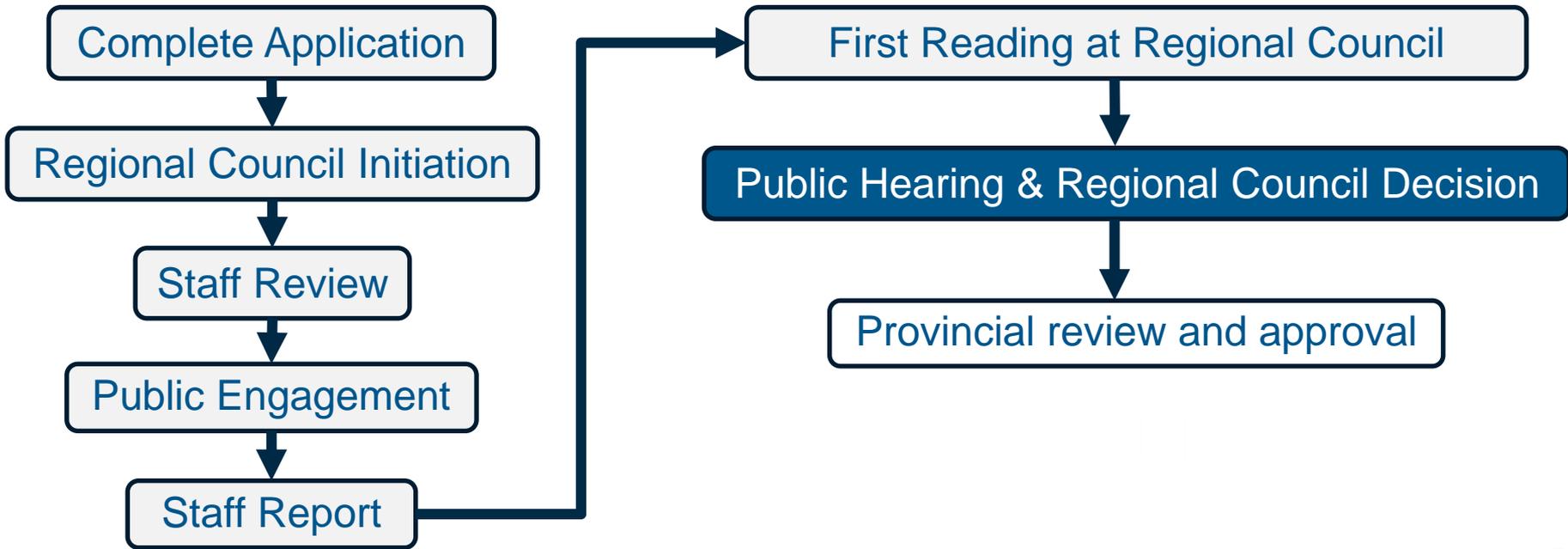
Regional Plan &
Subdivision By-law

Community Plan

Land Use By-law
(Zoning)

Specifies what can be approved without going to Council and seeking feedback from the public.

MPS Amendment



Planning Overview

 Municipal Sewer and/or Water: Municipal water only

 Zone: R-1 (Single Family Residential)

 Designation: Residential (R)

 Existing Use: Vacant

 Enabling Policy: None as new R-1 homes prohibited

MPS Amendment Consideration

- Amendments to the MPS should only be considered when circumstances have changed since the document was originally adopted
- Circumstances would need to change to the extent that the original land use policy is no longer appropriate

Policy Consideration

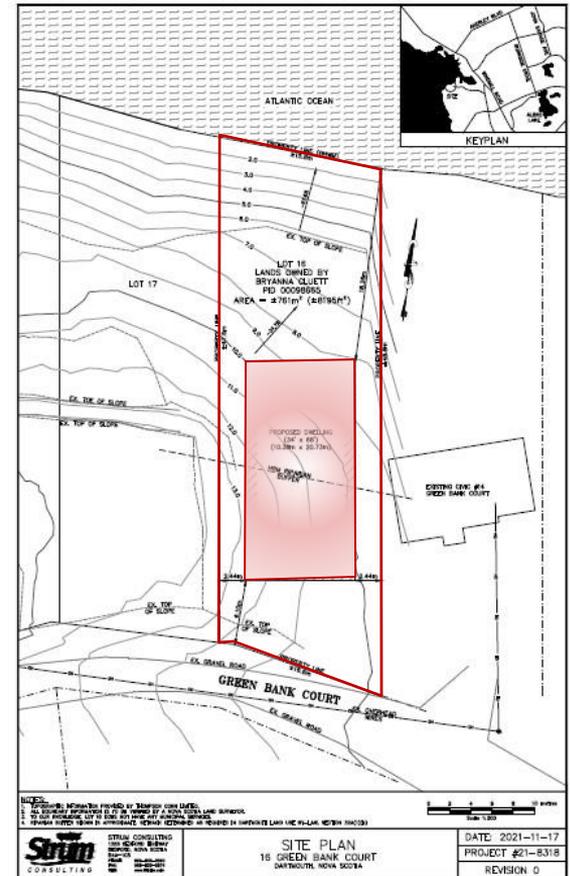
Proposed MPS Amendment:

“Residential developments serviced with piped water and septic fields have been established along Green Bank Court and Cove Lane prior to the adoption of this secondary planning strategy. These developments will be accommodated but, due to their proximity to harbour related industrial lands, **no lands will be considered for rezoning to R-1, however all existing R-1 lots may be developed in accordance with the provision of the R-1 zone, and this may include the consolidation of existing R-1 zone lots.**”
~~no additional housing will be supported.~~

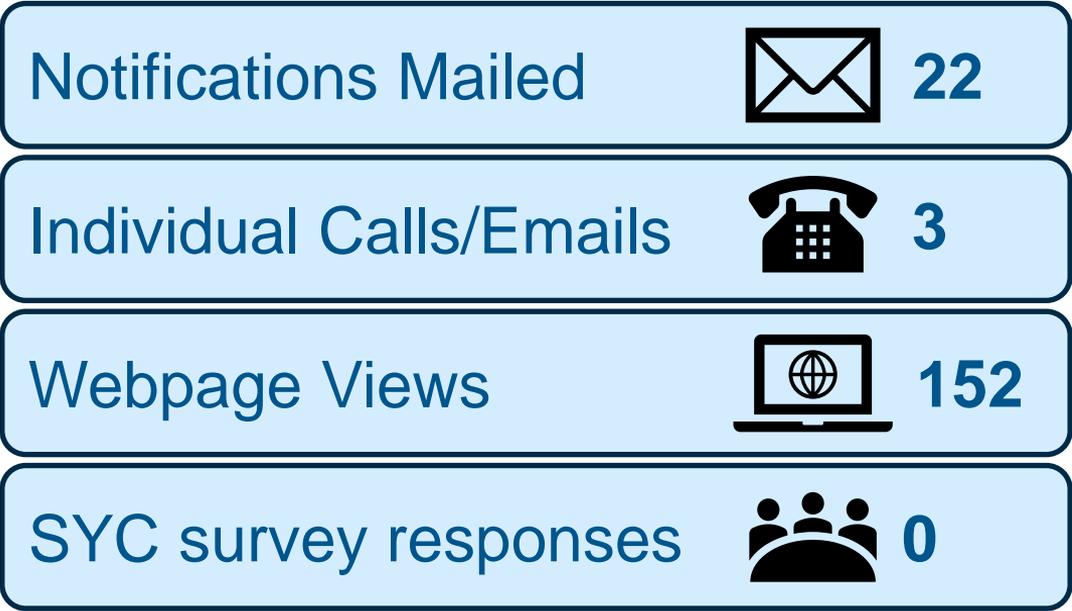
10

Proposal Details

- Single unit dwelling; 10.36m x 20.27m
- On-site sewer
- Connected to existing water main
- R-1 zone provisions to be met
- Lot area = 761 square metres
- Lot coverage = 28.22%



Public Engagement Feedback



Level of engagement completed was consultation achieved through a mail out notification, active applications webpage and a Shape Your City (SYC) webpage.

Public Engagement Feedback

Feedback included :

- Single unit dwellings should be allowed in the R-1 zone;
- New dwellings should match existing dwellings;
- Services should be upgraded so all potential lots can be developed; and
- Existing lot standards of the R-1 zone should be maintained.

Staff Recommendation

The staff recommendation contained in the staff report was arrived at after a detailed analysis of all relevant policies in the Regional and local Municipal Planning Strategies.

Staff recommend: Council adopt the proposed amendments to the Municipal Planning Strategy and Land Use By-law for Dartmouth as set out in Attachments A and B of the February 15, 2024 staff report.

HALIFAX

Thank You

Darrell Joudrey



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902-225-8630

April 9, 2024