



3D IMAGES FOR REFERENCE ONLY



## BETTER VIBE COFFEE

### RENOVATION

204 CONRAD ROAD, LAWRENCETOWN  
NOVA SCOTIA

#### SHEET LIST

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A002	LEGENDS AND CHARTS
A010	SITE PLAN
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A050	DEMOLITION
A051	DEMOLITION PLANS
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A100	PARTITION PLAN
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A301	EXTERIOR ELEVATIONS - NEW
A500	TYPICAL WALL SECTION AND DETAILS
A501	TYPICAL WALL SECTIONS AND DETAILS
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A701	TYPICAL DOORS AND WINDOWS

#### BETTER VIBE COFFEE

#### BUILDING RENOVATION 2024-11

204 CONRAD ROAD, A'SUKWITK  
(LAWRENCETOWN), NS, B2Z 1S1

#### CLIENT

M. MATTHEW HOWSE AND JORDYN ANDERSON-  
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#### REVISIONS

NO.	DESCRIPTION	DATE

03 PHASE 1 - FOR PERMIT	2024-03-10
02 FOR INFORMATION	2024-03-14
01 FOR INFORMATION	2024-03-04

#### SEAL



#### ETAPE

**FOR PERMIT**

#### TITRE

**FRONT PAGE**

DRAW BY : A. DUGAS & M.-L. DENIS  
REVIEWED BY : MARIANNE CHARBONNEAU

**A001**

**TYPICAL ASSEMBLIES**

**WALLS**

- (EW1) **TYPICAL EXTERNAL WALL** DRF : R : 25.7
- VERTICAL WOOD SIDING (SEE FINISH CHART)
  - VENTILATED AIR SPACE
  - STEEL FASTENERS (SEE ROCKWOOL RECOMMENDATIONS)
  - 1" X 3" HORIZONTAL WOOD STRAPPING @16"
  - 1" X 3" VERTICAL WOOD STRAPPING (16" OR 24" AS PER EXISTING WOOD STUD)
  - SEMI-RIGID INSULATION 3" (R-12)
  - AIR BARRIER MEMBRANE, SEALED JOINTS
  - PLYWOOD PANEL (EXISTING)
  - 2" X 4" WOOD STUD (EXISTING)
  - 3-1/2" WOOL BATT INSULATION (R-14)
  - HYGRO-VARIABLE VAPOR-BARRIER MEMBRANE, SEALED JOINTS
  - 1" X 3" WOOD STRAPPING @16" C/C
  - GYPSUM 1/2" PULLED JOINTS AND PAINTED

**SITE LEGEND**

SYMBOL	DESCRIPTION
	GRASSED AREA
	CONCRETE SLAB SIDEWALK ON THE GROUND
	PLANTATION, LANDSCAPING
	PERMEABLE DECORATIVE PAVING
	GRAVEL
	PROPOSED BUILDING
	ENTRY
	EXIT
	LANDMARK
	CONCRETE BORDER
	ELEC — ELECTRIC WIRES
	ORIENTATION

**DEMOLITION LEGEND**

SYMBOL	DESCRIPTION
	EXISTING DOOR AND FRAME, TO BE DEMOLISHED
	EXISTING DOOR AND FRAME, TO BE PRESERVED
	EXISTING WALL, TO BE DEMOLISHED
	EXISTING WALL, TO BE PRESERVED
	FIRE SEPARATION WITH A FIRE-RESISTANCE RATING AS SPECIFIED
	AREA UNAFFECTED BY WORK

**GRAPHIC LEGEND**

	NEW DOOR AND FRAME
	EXISTING DOOR AND FRAME
	NEW WALL/ PARTITION
	EXISTING WALL/ PARTITION
	SEPRATION WHIT A FIRE-RESISTANCE RATING AS SEPCIFIED
	LEVEL REFERENCE
	EXISTING AXIS
	NEW AXIS
	WALL, ROOF, FLOOR IDENTIFICATION, REFER TO A500 SERIE
	PARTITION IDENTIFICATION, REFER TO A800 SERIE
	ELEVATION REFERENCE
	SECTION REFERENCE
	SPECIFIC ELEMENT DETAIL
	LEVEL REFERENCE
	REVIEW NUMBER IDENTIFICATION
	WINDOW AND DOOR ANNOTATION
	FINISH ANNOTATIONS, REFER TO FINISH LIST ON A200 SERIE
	PLAN ANNOTATIONS
	MILLWORK ANNOTATIONS
	EQUIPEMENT ANNOTATIONS
	IDENTIFICATION OF A LEVEL AT A GIVEN POINT
	PICTURE POINT OF VIEW

**ELECTRIC LEGEND**

SYMBOL	DESCRIPTION
	SURFACE-MOUNTED LUMINAIRE (SEE LUMINAIRE LIST FOR MODEL)
	RECESSED CEILING LUMINAIRE (SEE LUMINAIRE LIST FOR MODEL)
	WALL-MOUNTED RECESSED LUMINAIRE (SEE LUMINAIRE LIST FOR MODEL)
	SWITCH
	3-WAY SWITCH
	120V POWER OUTLET
	120V POWER OUTLET 42" FROM FLOOR
	240V POWER OUTLET
	SOCKET OUTLET WITH EARTH LEAKAGE CIRCUIT BREAKER AND EXTERIOR WATERPROOFING
	SOCKET OUTLET WITH INTEGRATED USB PORT
	BATHROOM FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTORS
	EMERGENCY LIGHTING
	EXIT PANEL (WALL-MOUNTED)
	OUTLET PANEL (CEILING)
	CAMERA
	ELECTRIC PANEL
	LIGHT OUTPUT FOR TRACK-MOUNTED SPOTLIGHT (SEE LUMINAIRE LIST FOR MODEL)
	FLUORESCENT LIGHTING FIXTURE. (SEE LUMINAIRE LIST FOR MODEL)

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**BUILDING RENOVATION 2024-11**

204 CONRAD ROAD, A'SUKWITK (LAWRENCETOWN), NS, B2Z 1S1

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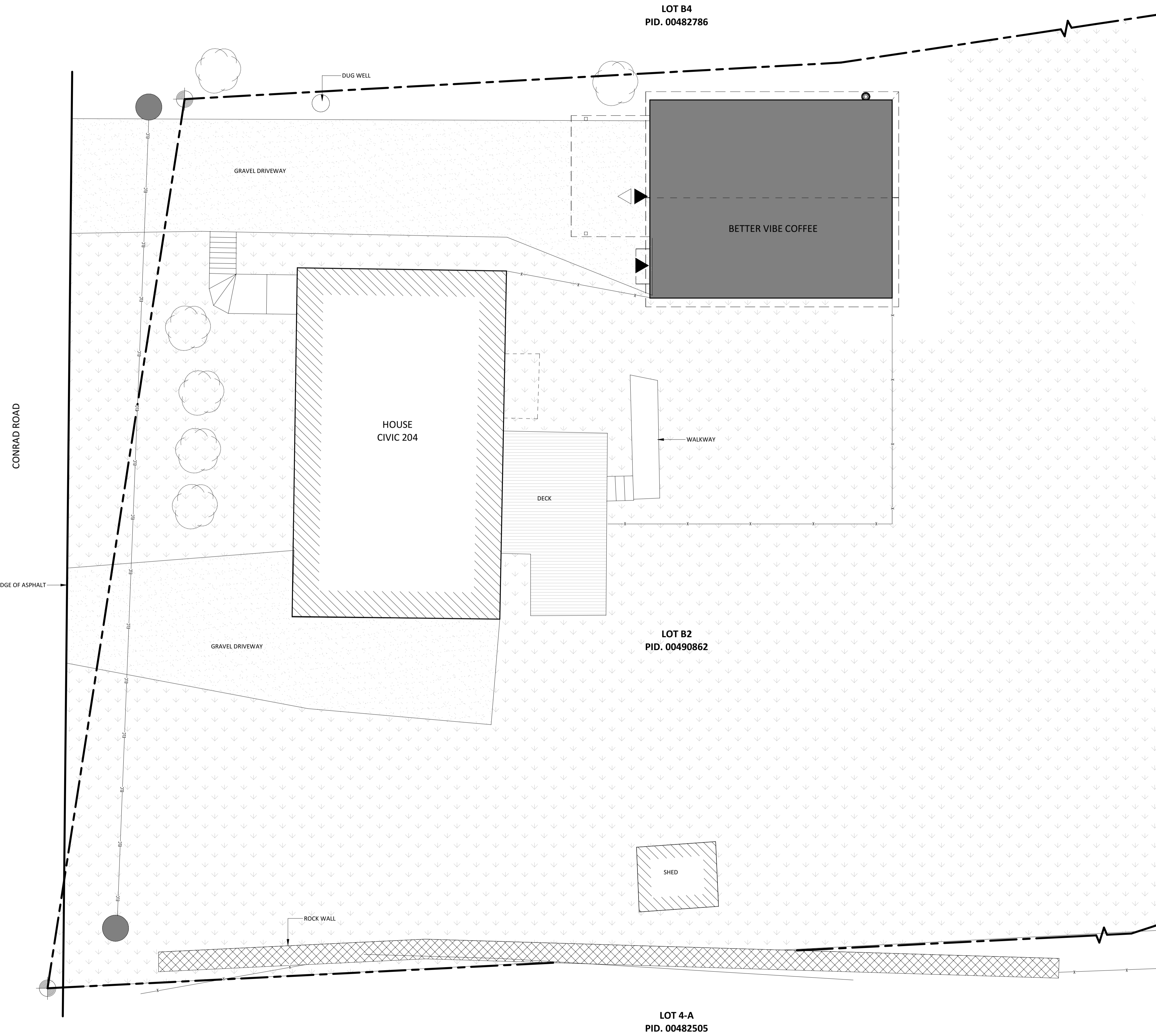
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**SEAL**

**ETAPE**  
**FOR PERMIT**

**TITRE**  
**LEGENDS AND CHARTS**

**DRAW BY :** A. DUGAS & M.-L. DENIS  
**REVIEWED BY :** MARIANNE CHARBONNEAU



**REGULATIONS**

ACCORDING TO LAURENCETOWN LAND USE BY-LAW.

RR-1 (RURAL RESIDENTIAL) ZONE

- 1. UNAUTHORIZED USES:** RESIDENTIAL USES, RESOURCES USES, COMMUNITY USES, COMMERCIAL AND INDUSTRIAL USES
- 2. MARGINS (COMMERCIAL USES):**  
 MINIMAL FRONTAGE: 100 FEET  
 MINIMAL FRONTAGE HWY NO. 207: 150 FEET  
 MINIMAL FRONT OR FLANKAGE YARD: 20 FEET  
 MINIMAL REAR OR SIDE YARD: 20 FEET  
 MINIMAL LOT COVERAGE: 35%
- 3. HEIGHT:**  
 MAXIMUM: 35 FEET
- 4. OTHER REQUIREMENTS: OPEN STORAGE AND OUTDOOR DISPLAY:**  
 WHERE ANY PORTION OF ANY LOT USED FOR A COMMUNITY COMMERCIAL USE, IS TO BE USED FOR OPEN STORAGE OR OUTDOOR DISPLAY, THE FOLLOWING SHALL APPLY:  
 - NO OPEN STORAGE SHALL BE PERMITTED WITHIN ANY FRONT YARD  
 - NO OUTDOOR DISPLAY SHALL BE LOCATED WITHIN 10 FEET OF ANY FRONT LINE  
 - NO OPEN STORAGE OR OUTDOOR DISPLAY SHALL BE PERMITTED IN ANY YARD WHERE SUCH YARD ABUTS ANY RESIDENTIAL USE, EXCEPT WHERE A FENCE OR A LANDSCAPED AREA PROVIDING A VISUAL BARRIER AND MEASURING AT LEAST SIX FEET IN HEIGHT IS PROVIDED.
- 5. REDUCE FRONT YARD:**  
 NOTWITHSTANDING THE PROVISIONS OF SECTION 6.11, THE MINIMUM FRONT YARD MAY BE REDUCED TO FIFTEEN (15) FEET (4.6 M) WHERE NO PARKING OR LOADING FACILITIES ARE LOCATED WITHIN THE FRONT YARD
- 6. REDUCED PARKING REQUIREMENTS:**  
 NOTWITHSTANDING THE PROVISIONS OF SECTION 6.11 WHERE THE MAIN BUILDING IS CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 6.15, THE OVERALL PARKING REQUIREMENTS FOR COMMERCIAL USES WITHIN THE STRUCTURE MAY BE REDUCED BY A MAXIMUM OF 10%.

**SITE LEGEND**

SYMBOL	DESCRIPTION
	GRASSED AREA
	CONCRETE SLAB SIDEWALK ON THE GROUND
	PLANTATION, LANDSCAPING
	PERMEABLE DECORATIVE PAVING
	GRAVEL
	PROPOSED BUILDING
	ENTRY
	EXIT
	LANDMARK
	CONCRETE BORDER
	ELECTRIC WIRES
	ORIENTATION

**GENERAL NOTES**

- NO MEASUREMENTS CAN BE TAKEN DIRECTLY FROM THE PLAN. NOTIFY THE ARCHITECT OF ANY MISSING INFORMATION.
- THE SITE LAYOUT MUST BE COORDINATED ON SITE ACCORDING TO THE NEEDS OF THE SITE AND/OR THE CONSTRAINTS OF THE SITE AND/OR THE EXISTING BUILDING.
- THE CONTRACTOR SHALL ENSURE ADEQUATE SITE PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR MUST COMPLY WITH MUNICIPAL AND/OR PROVINCIAL REGULATIONS CONCERNING TRAFFIC, DELIVERIES AND PARKING IN THE VICINITY OF THE SITE.
- THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE REGULATIONS AND ADVISE THE PROFESSIONALS OF ANY OMISSIONS OR NON-COMPLIANCE.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN PLANS BETWEEN PROFESSIONALS.
- THE CONTRACTOR SHALL HAVE THE BUILDING LAID OUT BY A LAND SURVEYOR. ANY DISCREPANCIES WITH PLANS OR TOPOGRAPHICAL DIFFERENCES MUST BE REPORTED TO THE PROFESSIONALS CONCERNED.
- THE CONTRACTOR SHALL ENSURE THAT FOUNDATIONS ARE ADEQUATELY PROTECTED AGAINST FROST.
- PROTECT EXISTING PLANTATIONS AND TREES DURING WORK. TAKE ALL NECESSARY MEASURES TO PRESERVE THEM.
- PLAN SOIL PREPARATION ACCORDING TO THE WORK TO BE CARRIED OUT.
- REFER TO THE CIVIL ENGINEER'S PLAN FOR SLOPES, DRAINAGE, ASPHALTING, PAVING, LOW WALLS OR OTHER EXTERIOR LANDSCAPING.

**PROJET DESCRIPTION**

**RENOVATION OF AN EXISTING BUILDING IN SEVERAL PHASES.**  
**PHASE 1:** CONVERSION OF KITCHEN AND SERVICE COUNTER, INSULATION AND WATERPROOFING, AND ADDITION OF DOORS AND WINDOWS IN THE WEST WALL.  
**PHASE 2:** INTERIOR FIT-OUT OF A RESTAURANT, INSTALLATION OF EXTERIOR CLADDING, CONSTRUCTION OF TERRACES, RENOVATION OF TRUSSES AND ROOF INSULATION, INSTALLATION OF NEW DOORS AND WINDOWS, PLUMBING, ELECTRICITY, INTERIOR FINISHING AND UPGRADE THE ACCESSIBILITY STANDARDS.

**BETTER VIBE COFFEE  
 2024-11**

204 CONRAD ROAD, A/SUKWITK (LAURENCETOWN), NS. B2Z 1S1

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**SEAL**



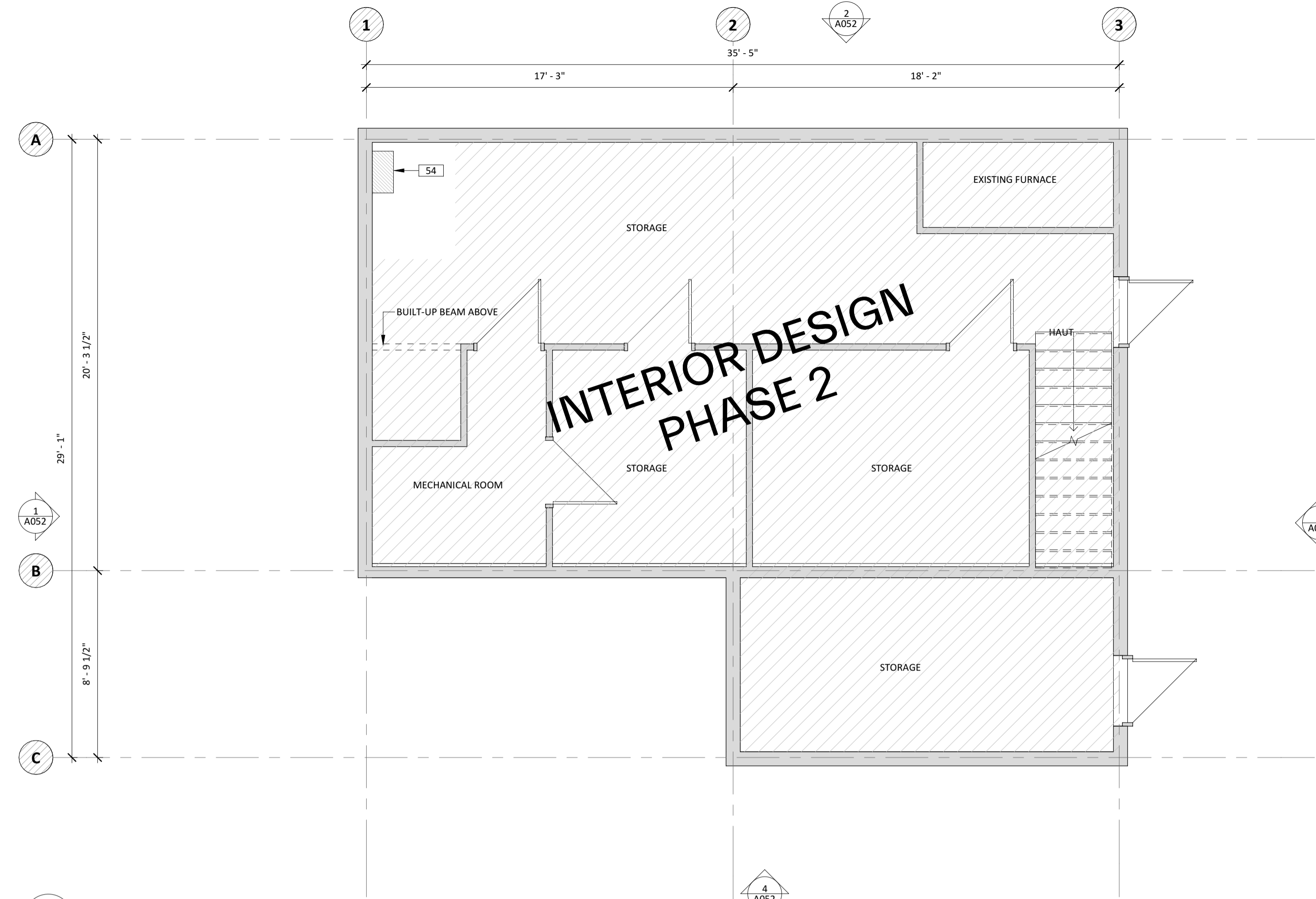
ETAPE  
**FOR PERMIT**

TITRE  
**SITE PLAN**

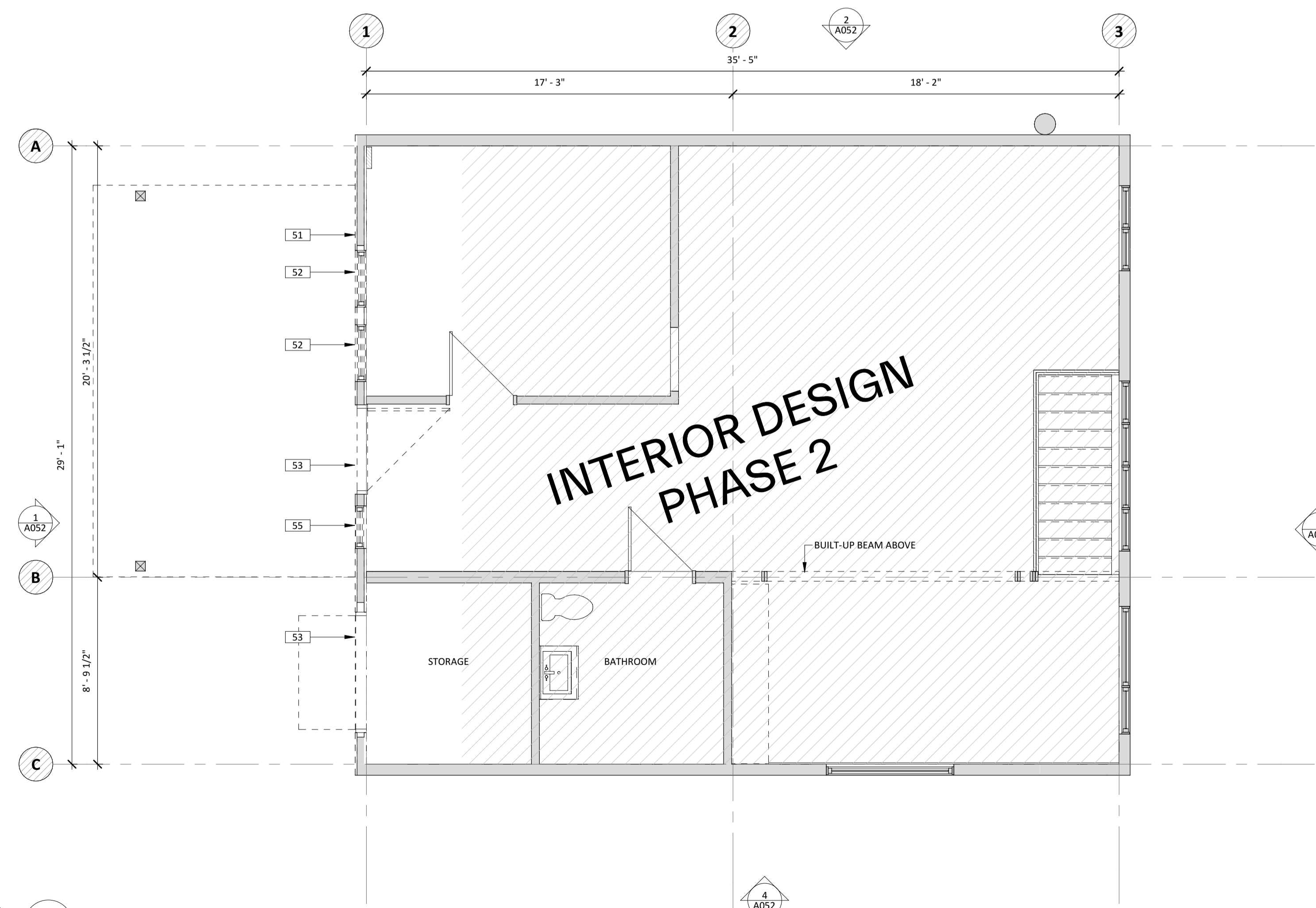
DRAW BY : A. DUGAS & M.-L. DENIS  
 REVIEWED BY : MARIANNE CHARBONNEAU

**1 SITE PLAN**  
 A052 SCALE : 1/8" = 1'-0"

**A011**



**1 DEMOLITION PLAN - BASEMENT**  
SCALE: 1/4" = 1'-0"



**2 DEMOLITION PLAN - FIRST FLOOR**  
SCALE: 1/4" = 1'-0"

**DEMOLITION LEGEND**

SYMBOL	DESCRIPTION
	EXISTING DOOR AND FRAME, TO BE DEMOLISHED
	EXISTING DOOR AND FRAME, TO BE PRESERVED
	EXISTING WALL, TO BE DEMOLISHED
	EXISTING WALL, TO BE PRESERVED
	FIRE SEPARATION WITH A FIRE-RESISTANCE RATING AS SPECIFIED
	AREA UNAFFECTED BY WORK

**GENERAL NOTES**

- NO MEASUREMENTS CAN BE TAKEN DIRECTLY FROM THE PLAN. NOTIFY THE ARCHITECT OF ANY MISSING INFORMATION.
- ALL MEASUREMENTS MUST BE VALIDATED ON SITE BEFORE WORK IS CARRIED OUT.
- THE CONTRACTOR SHALL VALIDATE WITH THE CUSTOMER THE ITEMS TO BE RETAINED, RELOCATED AND/OR HANDED OVER.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR STORING MATERIALS TO BE RELOCATED IN A DRY AND SAFE AREA.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DEMOLITION AND CONSTRUCTION WORK TO THE PROFESSIONALS.
- BEFORE STARTING DEMOLITION WORK, THE CONTRACTOR MUST PUT IN PLACE THE NECESSARY TEMPORARY PROTECTION TO KEEP THE SITE CLEAN.
- THE CONTRACTOR MUST PROTECT SURFACES ADJACENT TO THE DEMOLITION WORK FROM DAMAGE. IN THE EVENT OF DAMAGE OR BREAKAGE, THE CONTRACTOR MUST REPAIR OR REPLACE THE ITEMS AFFECTED.
- FOR ALL FOUNDATION AND EXTERIOR WALL PENETRATIONS, LINTELS AND STRUCTURAL SUPPORTS MUST BE PROVIDED. ANY NECESSARY REPAIRS MUST BE MADE TO AIR AND VAPOUR BARRIERS AND INSULATION.
- THE CONTRACTOR MUST MAINTAIN THE INTEGRITY OF FIRE SEPARATIONS AND FIRE PROTECTION AROUND STRUCTURAL ELEMENTS. SEE ON-SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY NON-COMFORMITIES.
- DEMOLITION MATERIAL MUST BE DISPOSED OF IN CONTAINERS IN ACCORDANCE WITH CURRENT STANDARDS, AT THE EXPENSE OF THE CONTRACTOR. TOXIC OR HAZARDOUS WASTE MUST BE DISPOSED OF IN ACCORDANCE WITH CURRENT REGULATIONS.

**SPECIFIC NOTES**

- THESE NOTES APPLY TO A050 SERIES SHEETS.
- EXISTING, TO BE PRESERVED.
  - EXISTING EXTERIOR WALL, FROM THE OUTSIDE: REMOVE SIDING DOWN TO PLYWOOD, FROM THE INSIDE: REMOVE GYPSUM UP TO EXISTING 2 "X4" WOOD STUD.
  - REMOVE EXISTING WINDOW.
  - REMOVE EXISTING DOOR AND FRAME.
  - NEW ELECTRICAL PANEL LOCATION, SEE ELECTRICIAN.
  - REMOVE EXISTING WINDOW, INFILL WINDOW OPENING.

**BETTER VIBE COFFEE**  
BUILDING RENOVATION  
2024-11

204 CONRAD ROAD, A SUKWIWK (LAWRENCETOWN), NS, B2Z 1S1

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**ETAPE**  
**FOR PERMIT**  
**TITRE**  
**DEMOLITION PLANS**

**DRAW BY :** A. DUGAS & M.-L. DENIS  
**REVIEWED BY :** MARIANNE CHARBONNEAU

**DEMOLITION LEGEND**

SYMBOL	DESCRIPTION
	EXISTING DOOR AND FRAME, TO BE DEMOLISHED
	EXISTING DOOR AND FRAME, TO BE PRESERVED
	EXISTING WALL, TO BE DEMOLISHED
	EXISTING WALL, TO BE PRESERVED
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  - ALL MEASUREMENTS MUST BE VALIDATED ON SITE BEFORE WORK IS CARRIED OUT.
  - THE CONTRACTOR SHALL VALIDATE WITH THE CUSTOMER THE ITEMS TO BE RETAINED, RELOCATED AND/OR HANDED OVER.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR STORING MATERIALS TO BE RELOCATED IN A DRY AND SAFE AREA.
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  - FOR ALL FOUNDATION AND EXTERIOR WALL PENETRATIONS, LINTELS AND STRUCTURAL SUPPORTS MUST BE PROVIDED. ANY NECESSARY REPAIRS MUST BE MADE TO AIR AND VAPOUR BARRIERS AND INSULATION.
  - THE CONTRACTOR MUST MAINTAIN THE INTEGRITY OF FIRE SEPARATIONS AND FIRE PROTECTION AROUND STRUCTURAL ELEMENTS. SEE ON-SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY NON-COMFORMITIES.
  - DEMOLITION MATERIAL MUST BE DISPOSED OF IN CONTAINERS IN ACCORDANCE WITH CURRENT STANDARDS, AT THE EXPENSE OF THE CONTRACTOR. TOXIC OR HAZARDOUS WASTE MUST BE DISPOSED OF IN ACCORDANCE WITH CURRENT REGULATIONS.

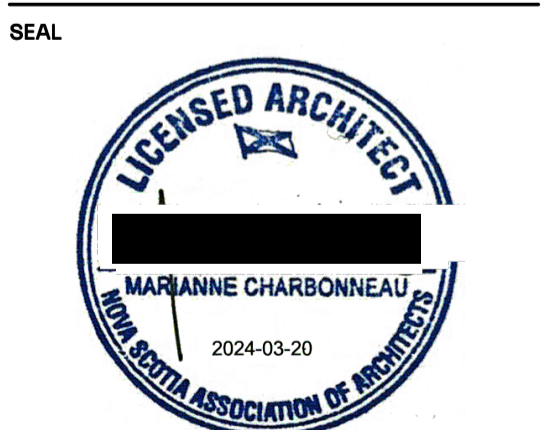
- SPECIFIC NOTES**
- THESE NOTES APPLY TO A050 SERIES SHEETS.
- EX. EXISTING, TO BE PRESERVED.
  - 51. EXISTING EXTERIOR WALL, FROM THE OUTSIDE: REMOVE SIDING DOWN TO PLYWOOD, FROM THE INSIDE: REMOVE GYPSUM UP TO EXISTING 2 "X4" WOOD STUD.
  - 52. REMOVE EXISTING WINDOW.
  - 53. REMOVE EXISTING DOOR AND FRAME.
  - 54. NEW ELECTRICAL PANEL LOCATION, SEE ELECTRICIAN.
  - 55. REMOVE EXISTING WINDOW, INFILL WINDOW OPENING.

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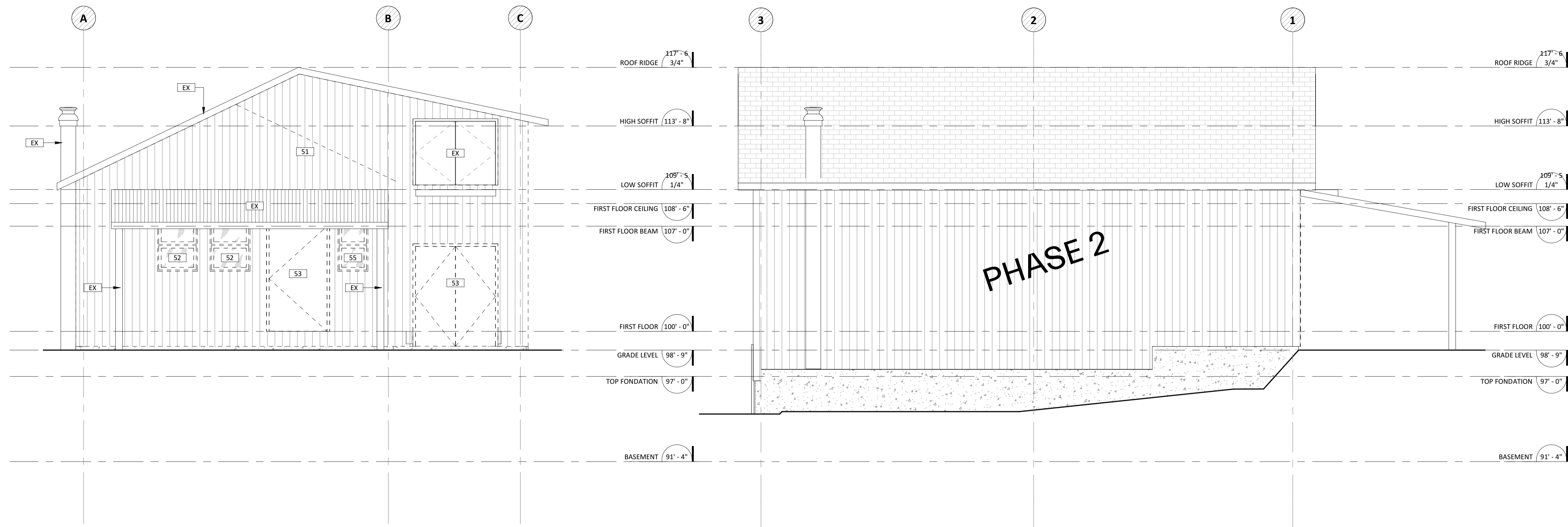
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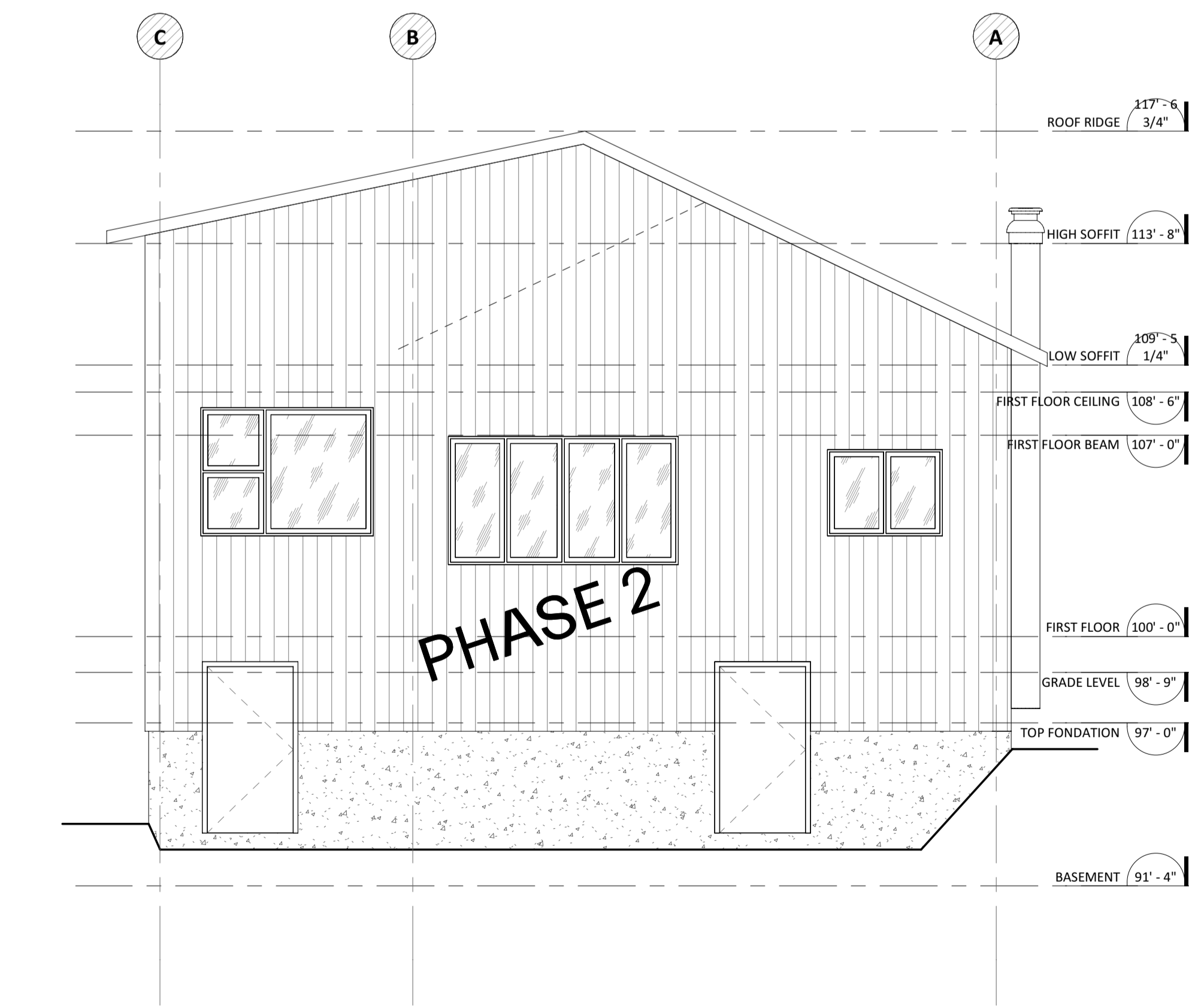
**TITRE**  
**EXTERIOR ELEVATIONS-  
DEMO**

**DRAW BY :** A. DUGAS & M.-L. DENIS  
**REVIEWED BY :** MARIANNE CHARBONNEAU

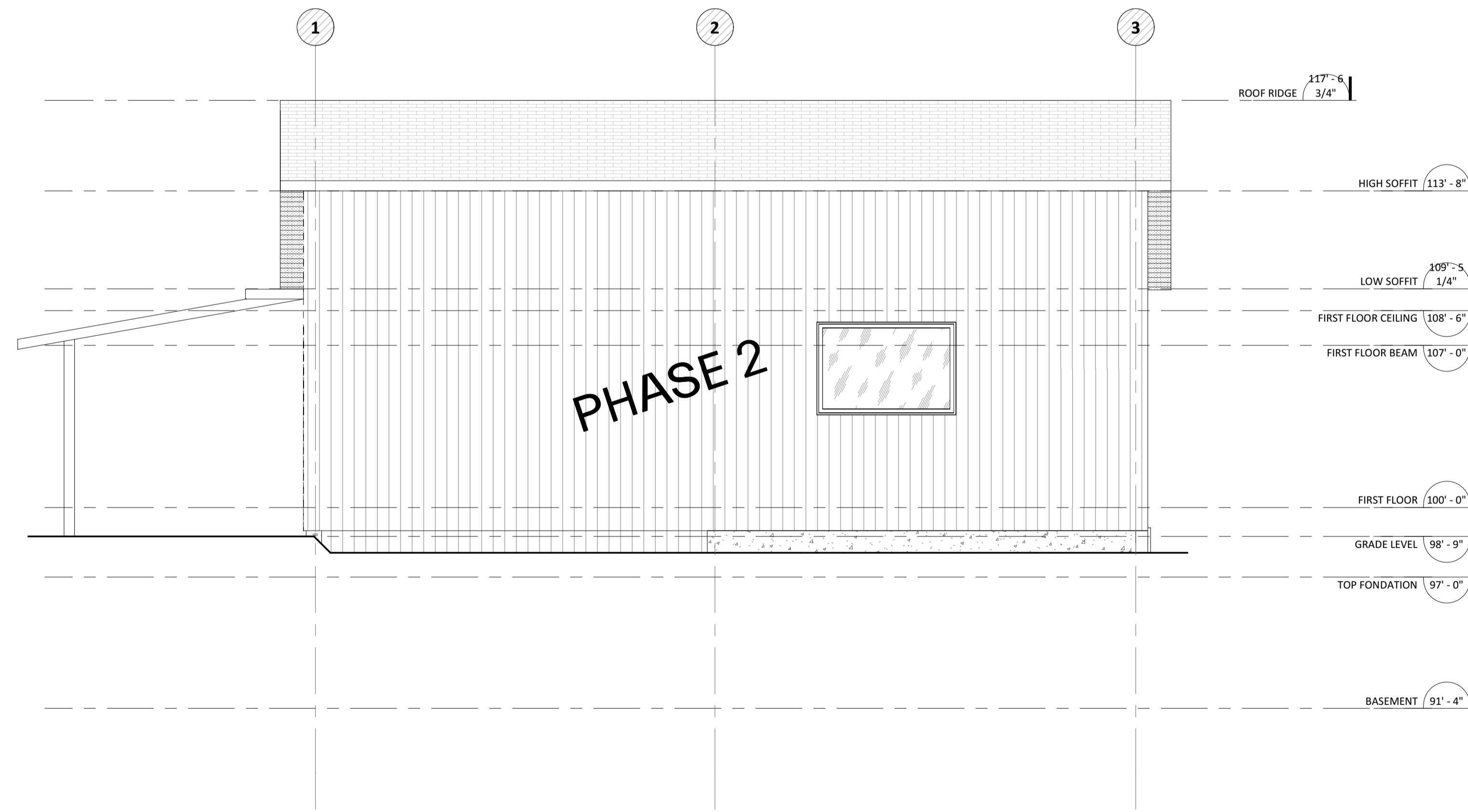


**1 WEST ELEVATION - DEMOLITION**  
A051 SCALE: 1/4" = 1'-0"

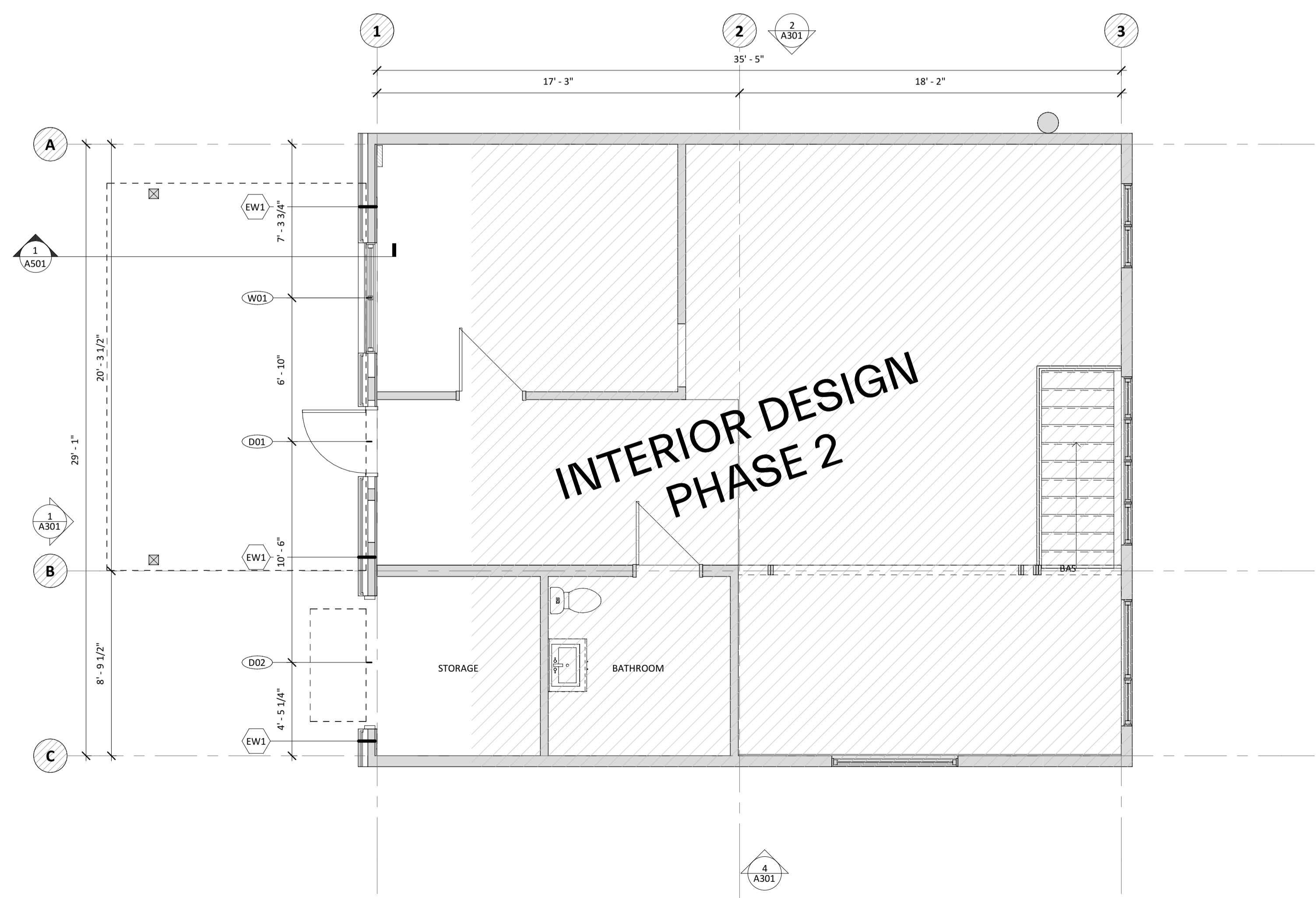
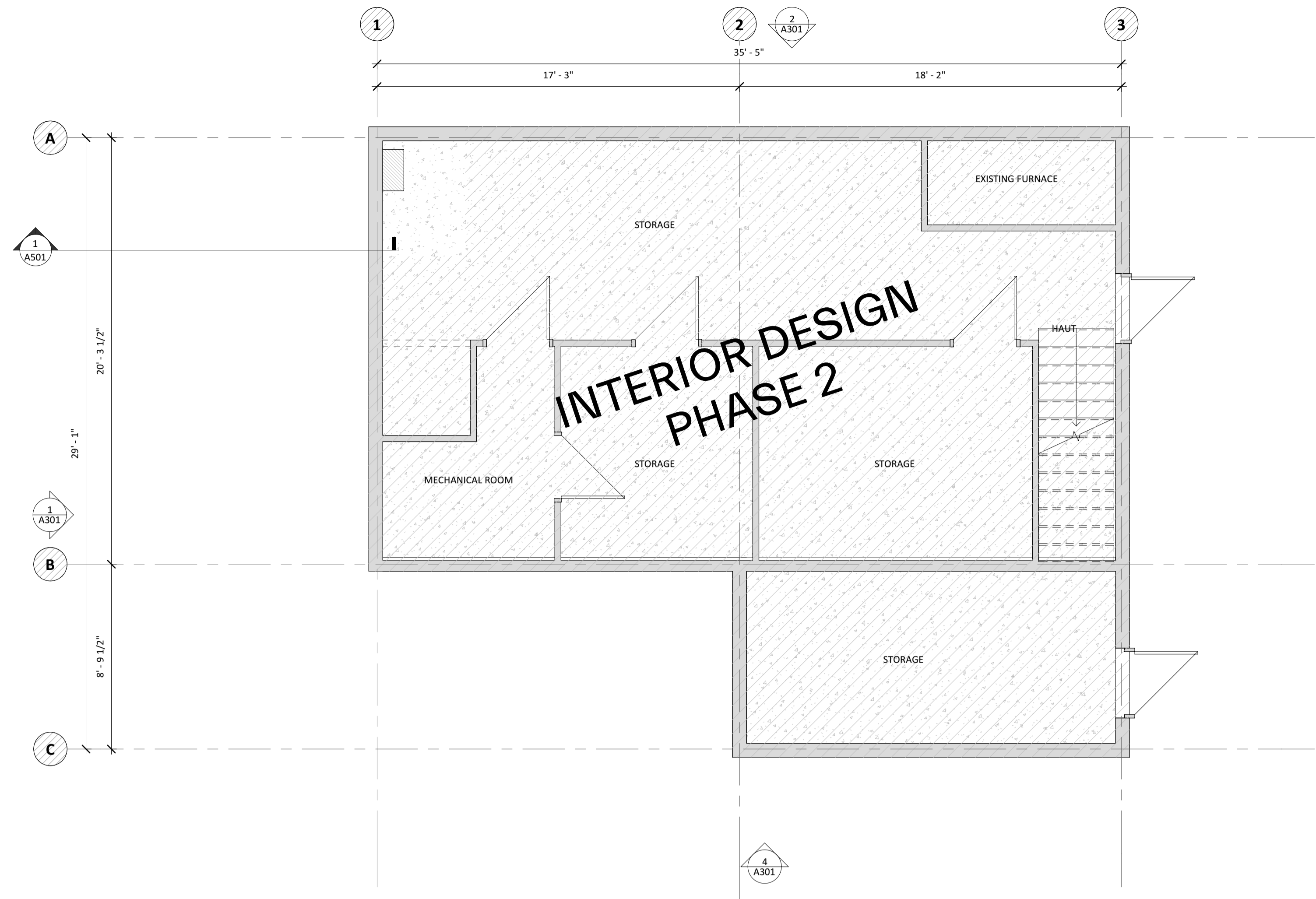
**2 NORTH ELEVATION - DEMOLITION**  
A051 SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION - DEMOLITION**  
A051 SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION - DEMOLITION**  
A051 SCALE: 1/4" = 1'-0"



**TYPICAL ASSEMBLIES**

**WALLS**

- (EW1) TYPICAL EXTERNAL WALL DRF :- R : 25.7
- VERTICAL WOOD SIDING (SEE FINISH CHART)
- VENTILATED AIR SPACE
- STEEL FASTENERS (SEE ROCKWOOL RECOMMENDATIONS)
- 1" X 3" HORIZONTAL WOOD STRAPPING @16"
- 1" X 3" VERTICAL WOOD STRAPPING (16" OR 24" AS PER EXISTING WOOD STUD)
- SEMI-RIGID INSULATION 3" (R-12)
- AIR-BARRIER MEMBRANE, SEALED JOINTS
- PLYWOOD PANEL (EXISTING)
- 2" X 4" WOOD STUD (EXISTING)
- 3-1/2" WOOL BATT INSULATION (R-14)
- HYGRO-VARIABLE VAPOR-BARRIER MEMBRANE, SEALED JOINTS
- 1" X 3" WOOD STRAPPING @16" C/C
- GYPSUM 1/2" PULLED JOINTS AND PAINTED

**GRAPHIC LEGEND (RESUME)**

SYMBOL	DESCRIPTION
(X00)	WINDOW AND DOOR ANNOTATION, SEE A700 SERIE
(X0)	FINISH ANNOTATIONS, REFER TO FINISH LIST ON A000 SERIE
(000)	PLAN ANNOTATIONS
(100)	MILLWORK ANNOTATIONS, SEE A400 AND A450 SERIE
(100)	EQUIPMENT ANNOTATIONS
(X0)	WALL, ROOF, FLOOR IDENTIFICATION, REFER TO A500 SERIE
(X0)	PARTITION IDENTIFICATION, REFER TO A800 SERIE

**GENERAL NOTES**

- A. GRAPHIC LEGENDS, EQUIPMENT LISTS, INTEGRATED FURNISHINGS AND COMPLETE FINISHING MATERIALS CAN BE FOUND IN THE A000 SERIES.
- B. NO MEASUREMENTS CAN BE TAKEN DIRECTLY FROM THE PLAN. ADVISE ARCHITECT OF ANY MISSING INFORMATION.
- C. UNLESS OTHERWISE INDICATED, ALL INTERIOR PARTITIONS ARE A1.
- D. INSTALL WATERPROOF GYPSUM IN BATHROOMS. INSTALL LIGHTWEIGHT CONCRETE PANEL UNDER CERAMIC WALL SURFACES.
- E. SUPPLY AND INSTALL PLYWOOD SCREW BASES TO SECURE FURNITURE AND/OR EQUIPMENT ACCORDING TO THE LOADS TO BE SUPPORTED.
- F. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK BETWEEN THE VARIOUS TRADES. ADVISE THE PROFESSIONALS OF ANY DISCREPANCIES.
- G. ENSURE CLEARANCE BETWEEN ANY BUILT-IN FURNITURE AND HEATING APPLIANCES.
- H. THE EXACT POSITION OF PLUMBING FIXTURES AND LIGHTING FIXTURES MUST BE REVIEWED ON-SITE WITH CUSTOMERS PRIOR TO WORK.
- I. ALL STRUCTURAL ELEMENTS MUST BE SPECIFIED AND VALIDATED BY A STRUCTURAL ENGINEER. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PLANS SIGNED AND SEALED BY A STRUCTURAL ENGINEER, TO BE FORWARDED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

**BETTER VIBE COFFEE BUILDING RENOVATION 2024-11**

204 CONRAD ROAD, A/SUKWITK (LAWRENCETOWN), NS, B2Z 1S1

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**REVISIONS**

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03	PHASE 1 - FOR PERMIT	2024-03-10
02	FOR INFORMATION	2024-03-14
01	FOR INFORMATION	2024-03-04



**ETAPE FOR PERMIT**  
**TITRE PARTITION PLANS**

**DRAW BY :** A. DUGAS & M.-L. DENIS  
**REVIEWED BY :** MARIANNE CHARBONNEAU

**LISTE DES FINIS**

CODE	DESCRIPTION	MODÈLE	FOURNISSEUR
A1	ALUMINIUM REFERENCE	506 - WINDSWEPT SMOKE	GENTEK
S1	FLASHING	MATCH WITH A1	VICWEST
WS1	VERTICAL WOOD SIDING	VERTICAL 4-1/8" WHITE CEDAR SIDING, ANTIQUE FINISH, ECOBLEACH COLOR, V JOINT	JUSTE DU PIN

**GRAPHIC LEGEND (RESUME)**

SYMBÔLE	DESCRIPTION
X00	DOOR AND WINDOW ANNOTATIONS
X0	FINISH ANNOTATIONS, REFER TO FINISH LIST ON A000 SERIE.
000	PLAN ANNOTATIONS

**GENERAL NOTES**

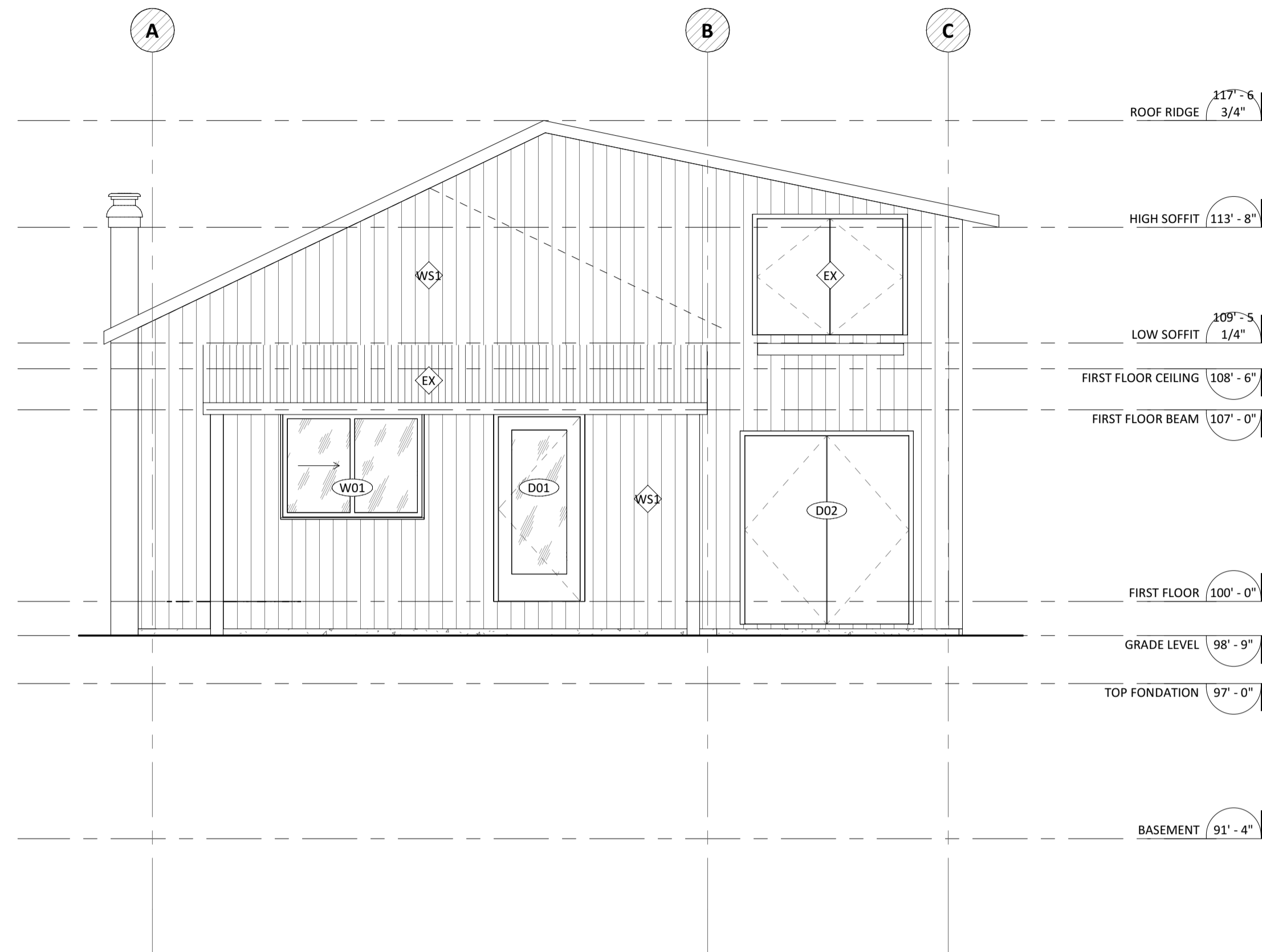
- GRAPHIC LEGENDS, EQUIPMENT LISTS, INTEGRATED FURNISHINGS AND COMPLETE FINISHING MATERIALS ARE FOUND IN THE A000 SERIES.
- NO MEASUREMENTS CAN BE TAKEN DIRECTLY FROM THE PLAN. ADVISE ARCHITECT OF ANY MISSING INFORMATION.
- ALL FINISHES ARE THE CUSTOMER'S AND/OR ARCHITECT'S CHOICE.
- SIDING MUST BE STRAIGHT, LEVEL, SQUARE AND EVENLY TEXTURED.
- THE CONTRACTOR SHALL PROVIDE SAMPLES UPON REQUEST OF THE CUSTOMER AND/OR ARCHITECT.
- PROVIDE SURFACE PREPARATION FOR EACH FINISH OR COATING. REFER TO MANUFACTURERS' STANDARDS.
- THE CONTRACTOR MUST INSTALL FINISHING MOULDINGS BETWEEN EACH CLADDING OR AT INTERSECTIONS. NOT LIMITED TO ITEMS SHOWN ON PLANS. TO BE COORDINATED ON SITE. REFER TO MANUFACTURERS' PRODUCTS OR INSTALLATION METHODS.
- ALL EXPOSED EQUIPMENT, SUCH AS VENTILATION GRILLES, MUST BE THE SAME COLOR AS THE ADJACENT SURFACE. TO BE COORDINATED WITH ENGINEERS' DOCUMENTS.
- COORDINATE POSITION AND SIZE OF FAÇADE AND ROOF EQUIPMENT. ADVISE PROFESSIONALS OF ANY DISCREPANCIES OR CONFLICTS.

**BETTER VIBE COFFEE  
BUILDING RENOVATION  
2024-11**

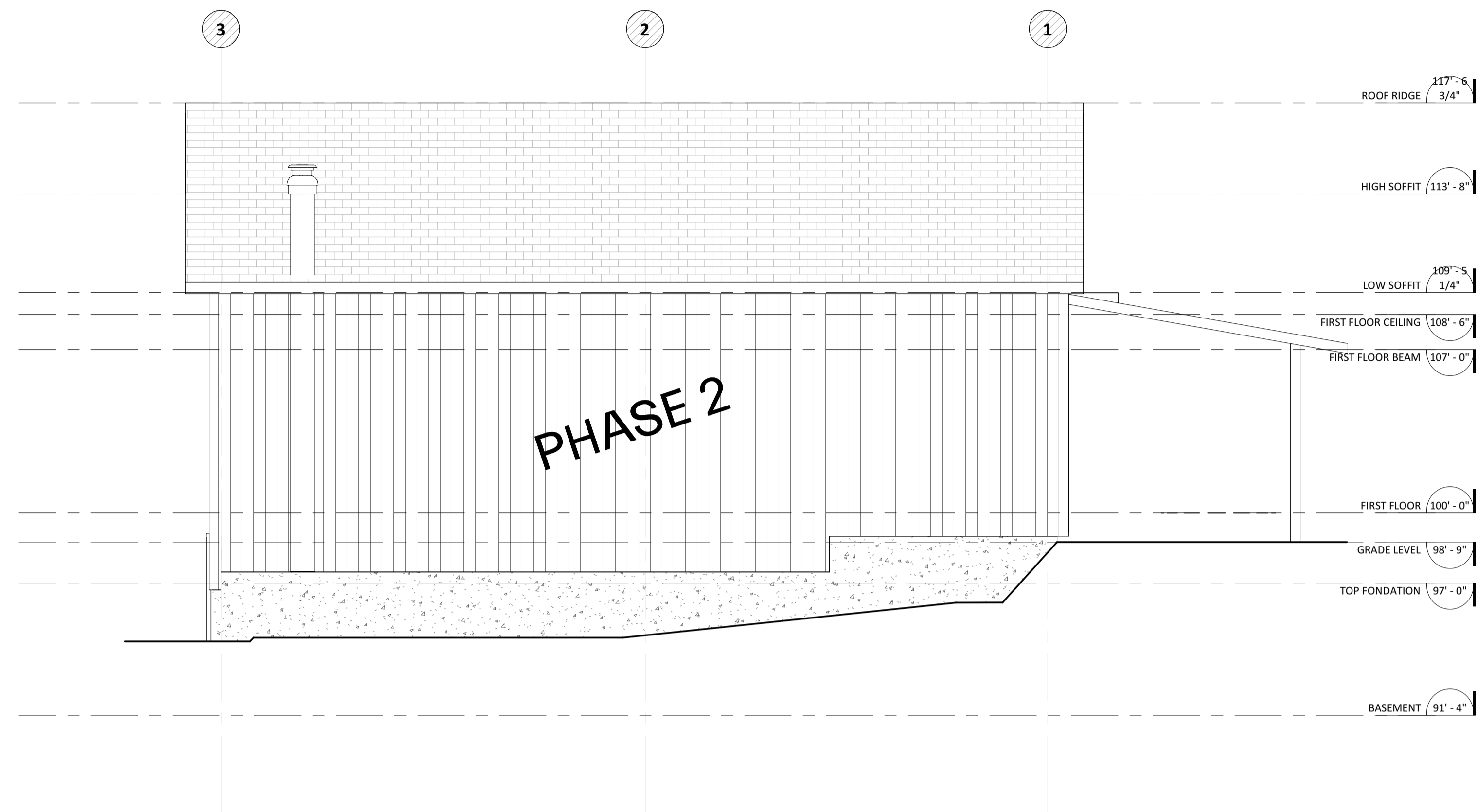
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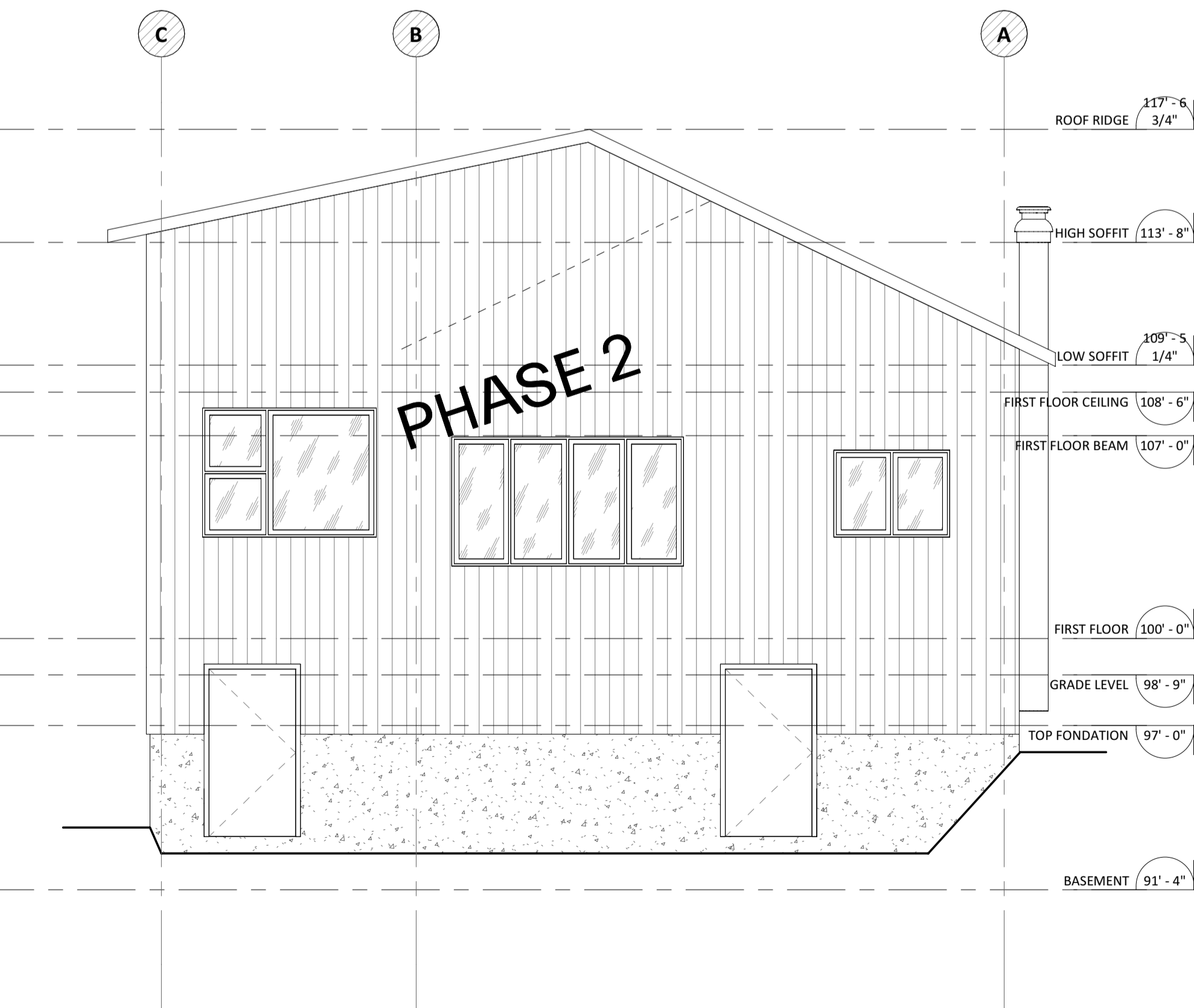
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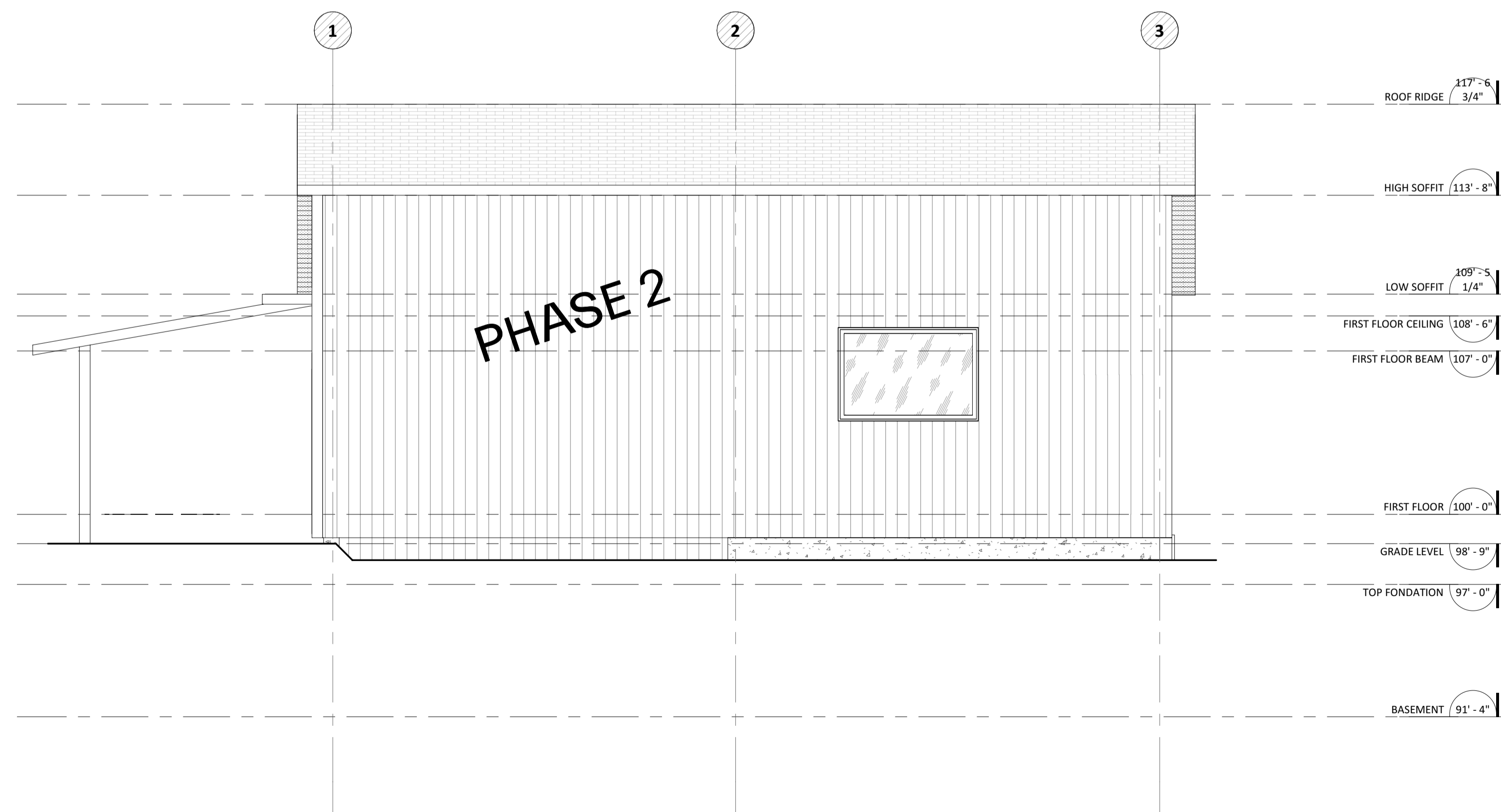
**1**  
**A101** WEST ELEVATION - NEW  
SCALE: 1/4" = 1'-0"



**2**  
**A101** NORTH ELEVATION - NEW  
SCALE: 1/4" = 1'-0"



**3**  
**A101** EAST ELEVATION - NEW  
SCALE: 1/4" = 1'-0"



**4**  
**A101** SOUTH ELEVATION - NEW  
SCALE: 1/4" = 1'-0"

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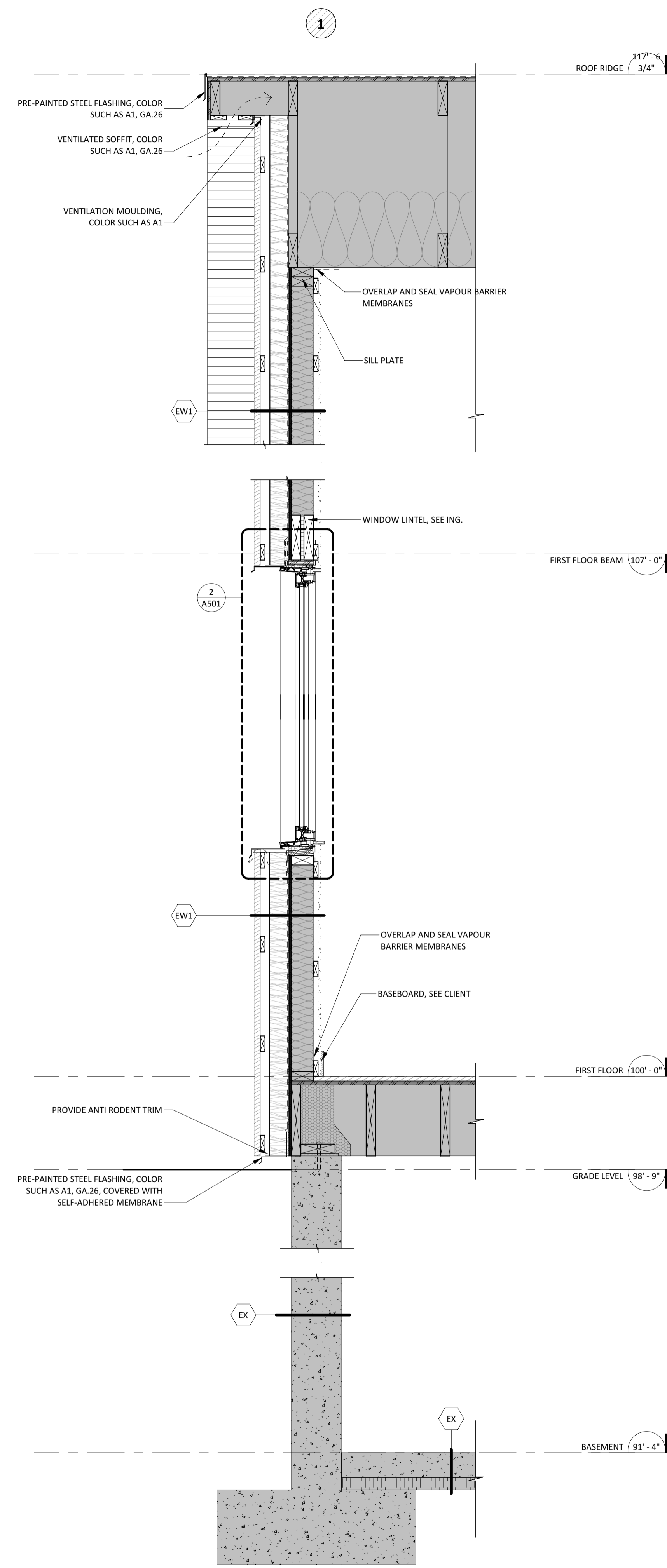
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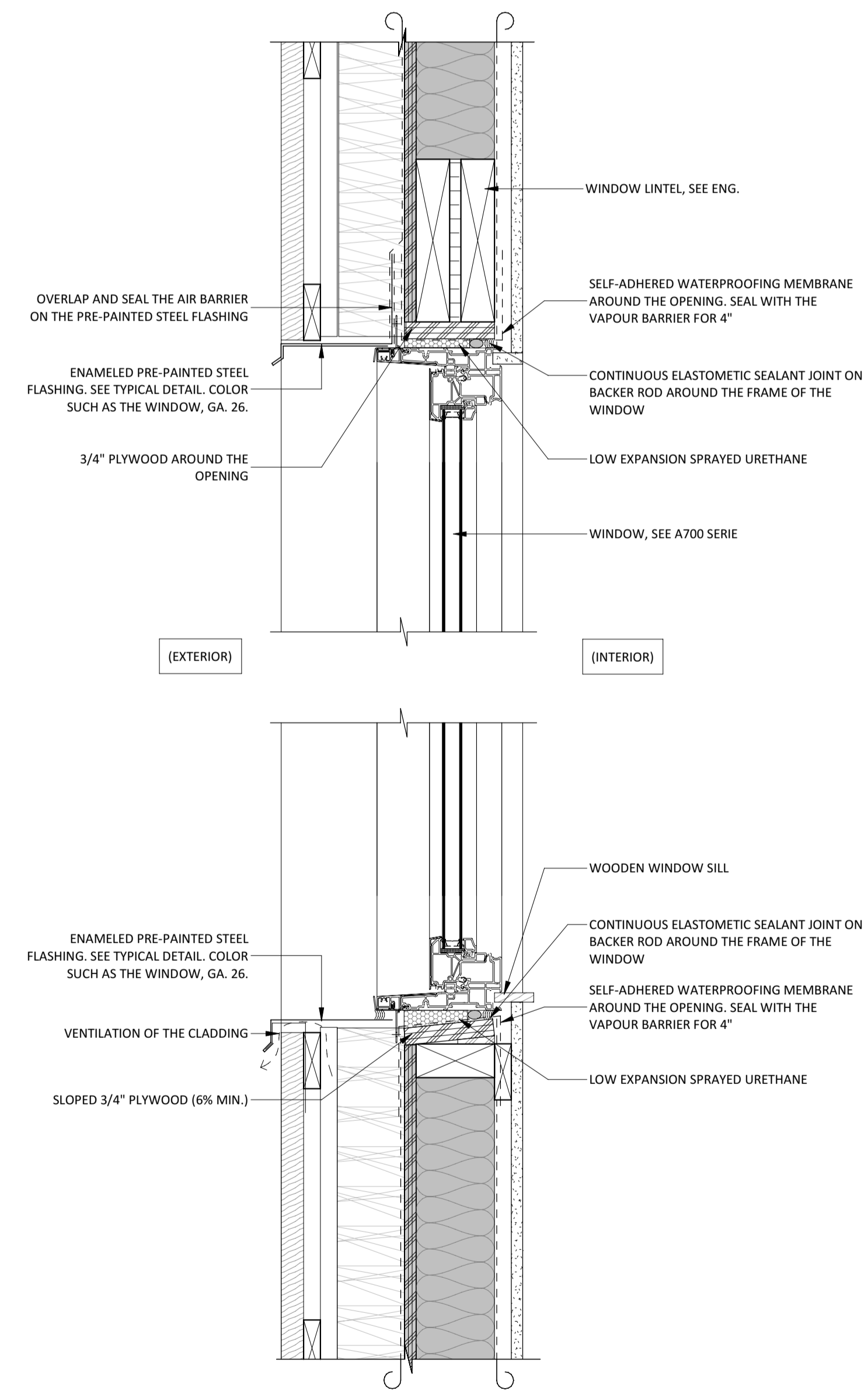


**ETAPE**  
**FOR PERMIT**  
**TITRE**  
**EXTERIOR ELEVATIONS - NEW**

**DRAW BY :** A. DUGAS & M.-L. DENIS  
**REVIEWED BY :** MARIANNE CHARBONNEAU



**1** TYPICAL WALL SECTION  
 A101 SCALE: 1" = 1'-0"



**2** TYPICAL WINDOW DETAIL  
 A501 SCALE: 1:5

**TYPICAL ASSEMBLIES**

**WALLS**

EW1. TYPICAL EXTERNAL WALL DRF : - R : 25.7

- VERTICAL WOOD SIDING (SEE FINISH CHART)
- VENTILATED AIR SPACE
- STEEL FASTENERS (SEE ROCKWOOL RECOMMENDATIONS)
- 1" X 3" HORIZONTAL WOOD STRAPPING @16"
- 1" X 3" VERTICAL WOOD STRAPPING (16" OR 24" AS PER EXISTING WOOD STUD)
- SEMI-RIGID INSULATION 3" (R-12)
- AIR BARRIER MEMBRANE, SEALED JOINTS
- PLYWOOD PANEL (EXISTING)
- 2" X 4" WOOD STUD (EXISTING)
- 3-1/2" WOOL BATT INSULATION (R-14)
- HYGRO-VARIABLE VAPOR-BARRIER MEMBRANE, SEALED JOINTS
- 1" X 3" WOOD STRAPPING @16" C/C
- GYPSUM 1/2" PULLED JOINTS AND PAINTED

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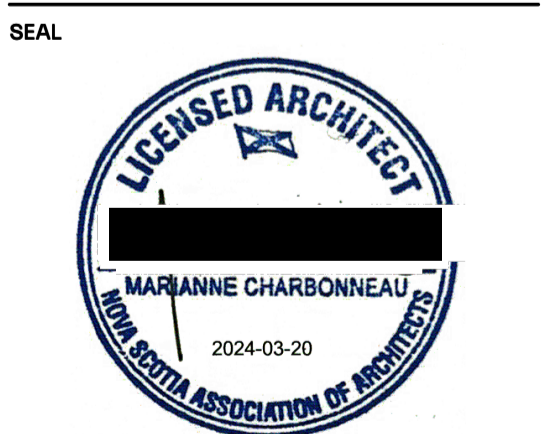
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**ETAPE**  
**FOR PERMIT**  
**TITRE**  
**TYPICAL WALL  
 SECTIONS AND DETAILS**

**DRAW BY :** A. DUGAS & M.-L. DENIS  
**REVIEWED BY :** MARIANNE CHARBONNEAU



**GENERAL NOTES**

- A. REFER TO DOOR, FRAME AND HARDWARE TABLE FOR DIMENSIONS, MATERIALS AND HARDWARE.
- B. DOORS LOCATED IN A FIRE-RATED PARTITION MUST BE FIRE-RATED, INCLUDING THE FRAME. SUPPLY AND INSTALL DOOR CLOSER OR SPRING HINGES AND GASKETS. PROVIDE ALUMINUM THRESHOLD IF FLOOR COVERING IS COMBUSTIBLE.
- C. SUPPLY AND INSTALL ALL HARDWARE REQUIRED FOR DOOR OPERATION AS SPECIFIED IN THE TABLE. COORDINATE ALL NECESSARY ELECTRICAL AND FIRE PROTECTION CONNECTIONS.
- E. FOR DOORS WITH A VENTILATION GRILLE, PROVIDE A FIRE DAMPER IF THE DOOR IS LOCATED IN A FIRE-RESISTANT PARTITION.
- F. UNLESS OTHERWISE SPECIFIED, DOORS AND FRAMES MUST BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.
- G. UNLESS OTHERWISE SPECIFIED, INSTALL HANDLES 39 1/2" ABOVE FLOOR LEVEL.
- H. AS A GENERAL RULE, USE SINGLE 1/4" THICK CLEAR GLASS. IT MUST BE WIRED WHEN THE DOOR AND/OR WINDOW HAS A FIRE-RESISTANCE RATING; DOUBLE WITH SPACER WHEN THE DOOR AND/OR WINDOW IS IN AN EXTERIOR WALL OR SOUNDPROOF PARTITION; TEMPERED WHEN THE GLASS IS LESS THAN 12" FROM THE FLOOR.
- I. UNLESS OTHERWISE SPECIFIED, THE EXTERIOR OF THE DOOR MUST BE INSTALLED 6" FROM THE ADJACENT WALL.

**BETTER VIBE COFFEE**

**BUILDING RENOVATION**

**2024-11**

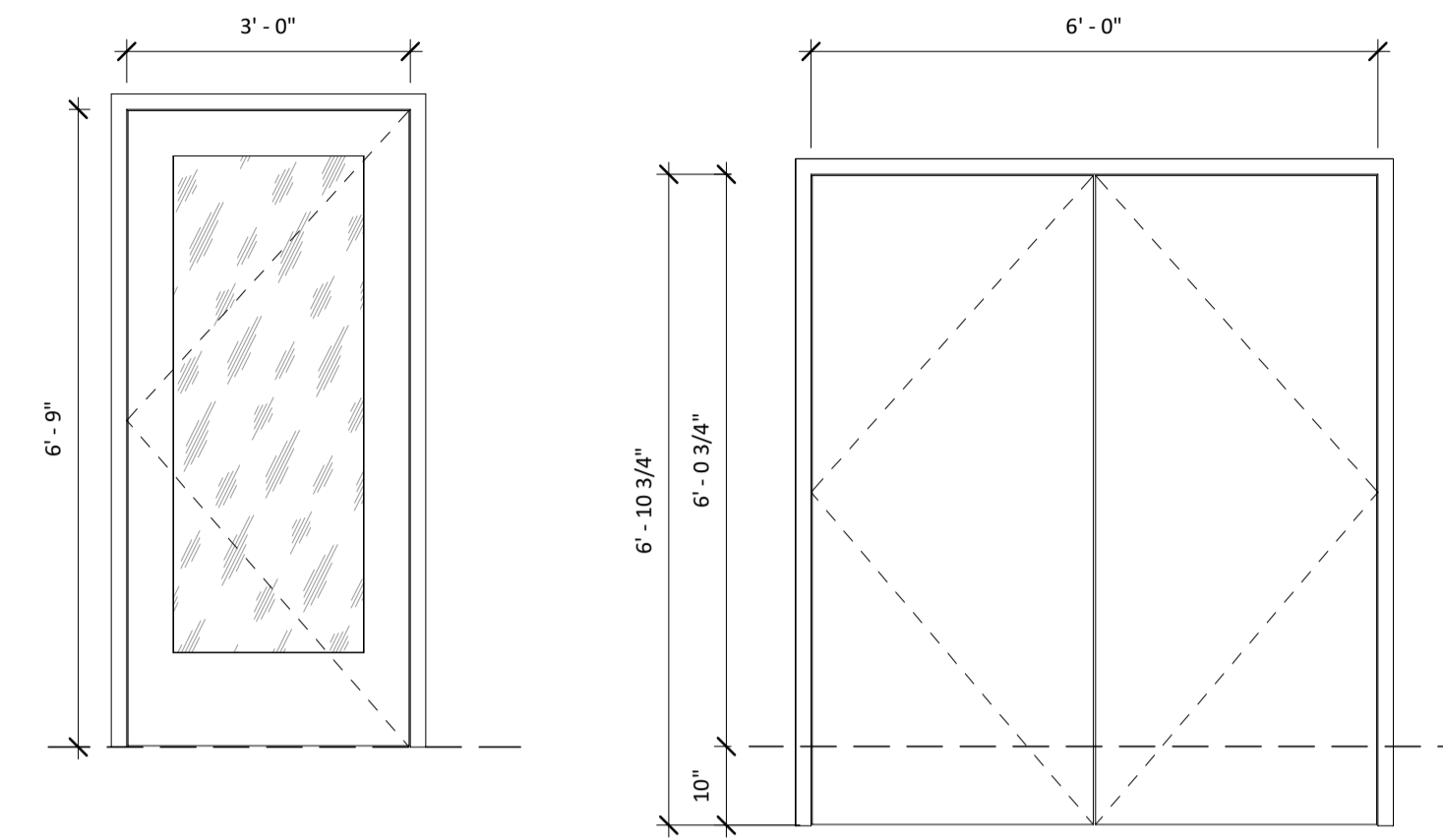
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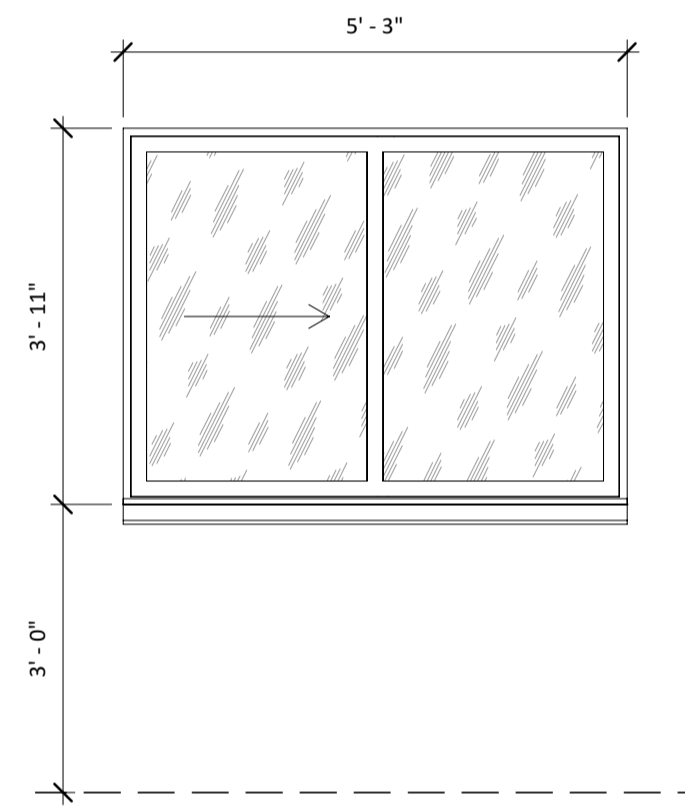


**D01**  
**INSULATED STEEL DOOR**  
 EXTERIOR FINISH: PAINTED STEEL COLOR  
 WINDSWEPT SMOKE, NO.506  
 INTERIOR FINISH: PAINTED STEEL COLOR ICE WHITE

**D02**  
**INSULATED STEEL DOORS**  
 EXTERIOR FINISH: PAINTED STEEL COLOR  
 WINDSWEPT SMOKE, NO.506  
 INTERIOR FINISH: PAINTED STEEL COLOR ICE WHITE

**TYPICAL DOORS**

ÉCHELLE : 1/2" = 1'-0"



**W01**  
**SLIDING WINDOW**  
 EXTERIOR FINISH: EXTRUDED ALUMINIUM COLOR  
 WINDSWEPT SMOKE, NO.506  
 INTERIOR FINISH: WHITE PVC

**TYPICAL WINDOWS**

ÉCHELLE : 1/2" = 1'-0"

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**SEAL**



**ETAPE**

**FOR PERMIT**

**TITRE**

**TYPICAL DOORS AND WINDOWS**

**DRAW BY :** A. DUGAS & M.-L. DENIS  
**REVIEWED BY :** MARIANNE CHARBONNEAU