

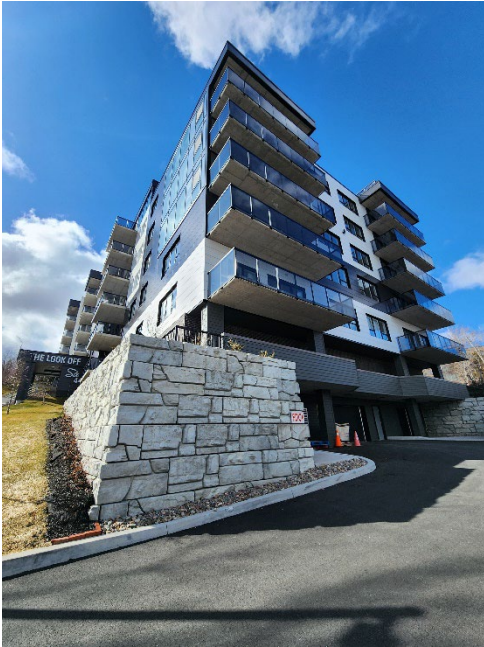
HALIFAX

Public Hearing
PLANAPP-2023-01145

Substantive DA Amendment: 644 Bedford Highway
North West Community Council

March 18, 2024

Proposed Development



Applicant: Greg Johnston

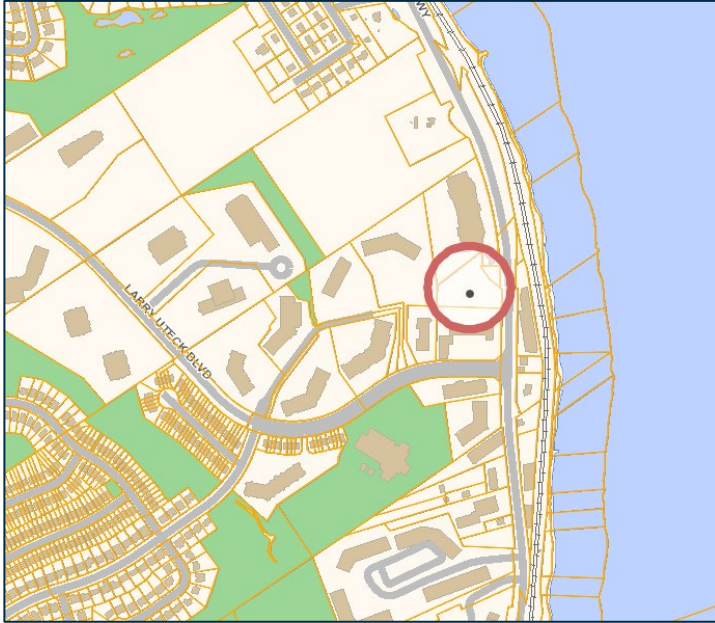
Location: 644 Bedford Highway

Proposal: To amend the existing development agreement at 644 Bedford Highway and allow the conversion of 6 surplus interior parking spaces to two additional units.

Type of Application: Substantive Amendment to existing Development Agreement

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Site Context



General Site location in Red



Site Boundaries in Red

Site Photos



Planning Policy Overview

Regional Plan &
Subdivision By-law

Community Plan

Land Use By-law
(Zoning)

Guide where population growth and the investment of services like transit, piped water and sewer should occur.

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Planning Policy Overview

Regional Plan &
Subdivision By-law

Community Plan

Land Use By-law
(Zoning)

Outlines where, how, and which types of development may occur. Some uses may only be allowed after community consultation and Council approval.

Planning Policy Overview

Regional Plan &
Subdivision By-law

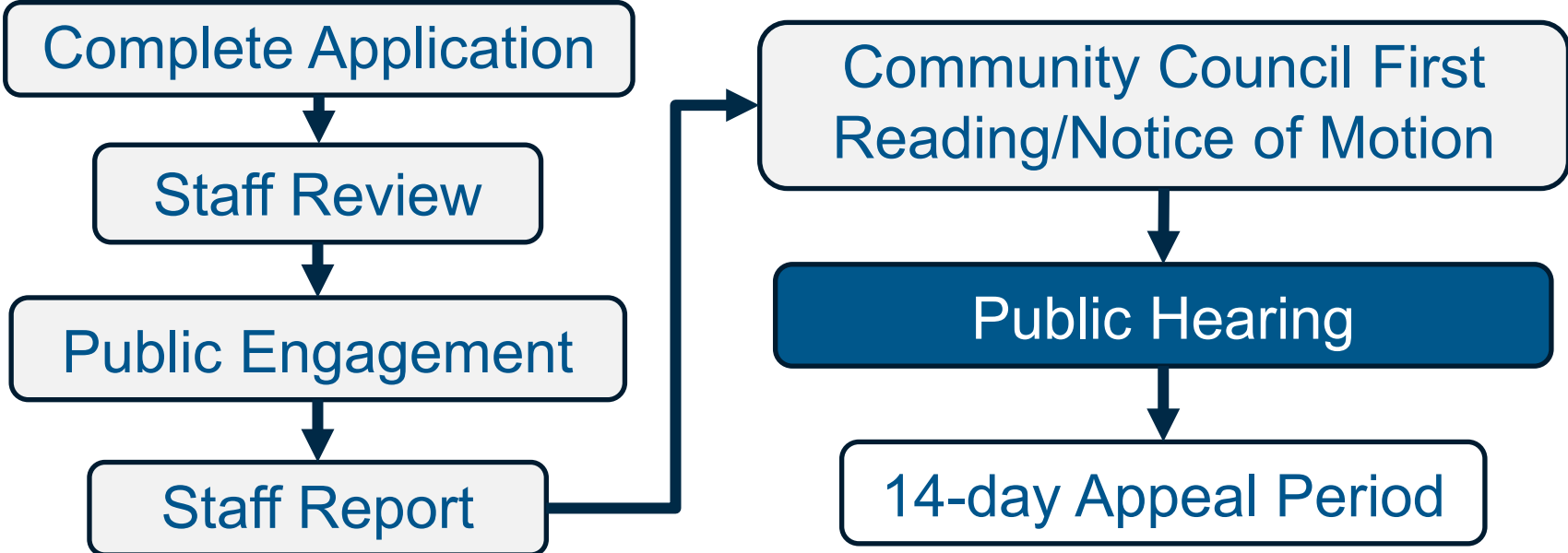
Community Plan

Land Use By-law
(Zoning)

Specifies what can be approved without going to Council and seeking feedback from the public.

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Development Agreement Amendment



Planning Overview



Municipal Sewer and Water



Zone: C2-B



Designation: Residential



Existing Use: Multi-unit residential



Enabling Policy: Policy 1.8

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Proposal Details

- Convert 6 interior parking to 2 residential units;
- Increase number of permitted residential units from 52 units to 54 units;
- The reduction of 6 indoor parking spaces still exceeds the required minimum vehicle parking spaces;
- No changes to the total number of outdoor parking spaces; and
- No changes to the building envelope.



Key Aspects

- The proposed amendment cannot be considered as a non-substantive amendment as it is not identified in section 6.1 of the existing development agreement;
- MPS Policy 1.8 of the Bedford Highway Secondary Plan (Part VIII) has not changed since the application was originally approved and staff advise that the proposal remains reasonably consistent with those specific policies and the overall Halifax MPS.



Public Engagement Feedback

Notifications Mailed



490

Individual Calls/Emails



0

Webpage Views



92

The HRM website received a total of 92 unique pageviews over the course of the application, with an average time on page of 19 seconds.

Staff did not receive any comments directly from the community.

Staff Recommendation

The staff recommendation contained in the staff report was arrived at after a detailed analysis of all relevant policies in the Regional and local Municipal Planning Strategies.

Staff recommend that North West Community Council approve the amending development agreement to allow the conversion of 6 interior parking spaces to create two additional residential units at 644 Bedford Highway, Halifax.

Thank You

Planner's Name



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