

Southgate Village

BH-1 & BH-2

MPS Amendment and Two Development
Agreements for:

BH-1: A 6-storey, 73 Unit Multiple Residential Building

BH-2: A one storey, commercial building with five single
detached units

Joint Regional Council and North -West
Community Council

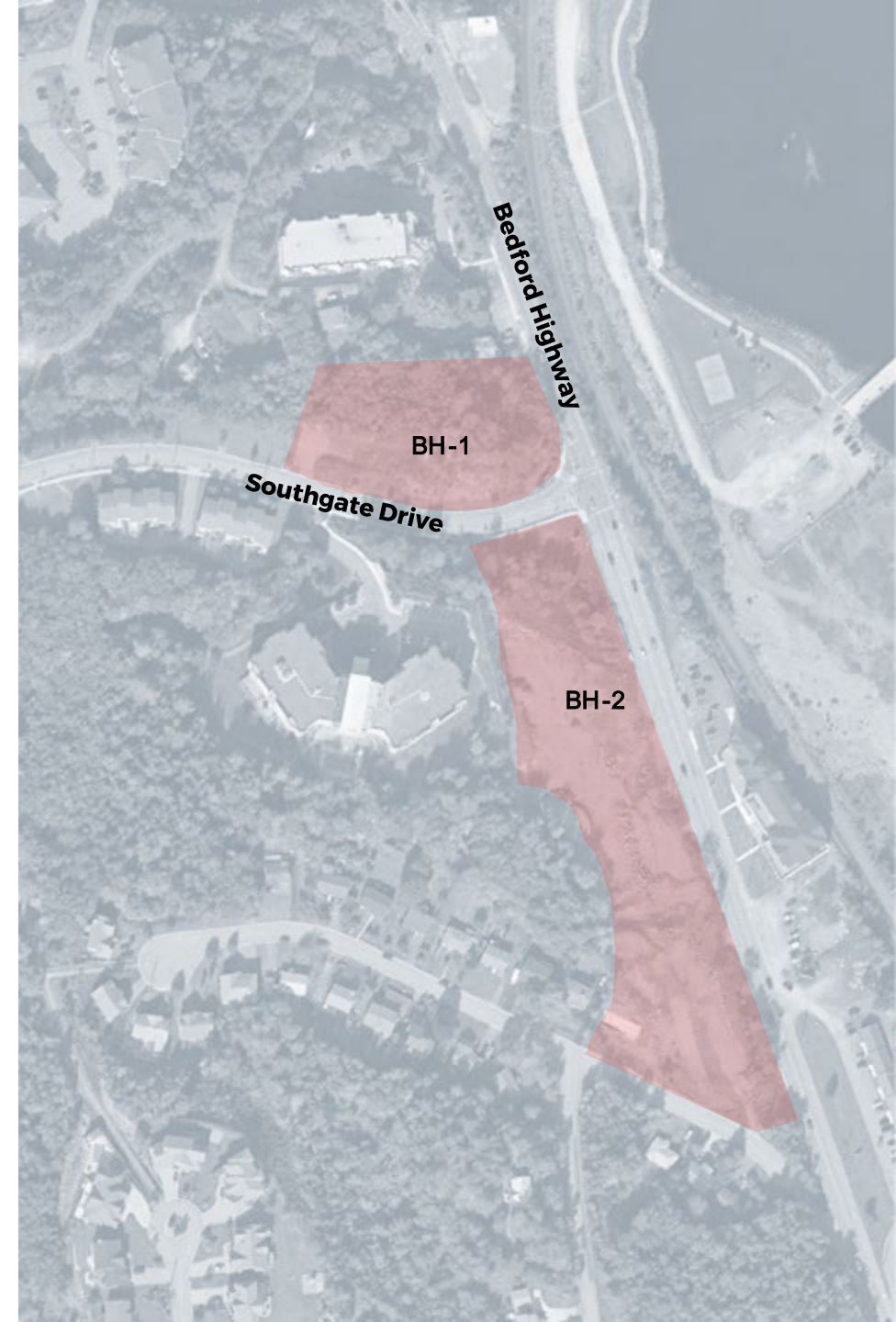
Public Hearing

Case 21946-A and 21946 -B

Date September 26, 2023

Project Details

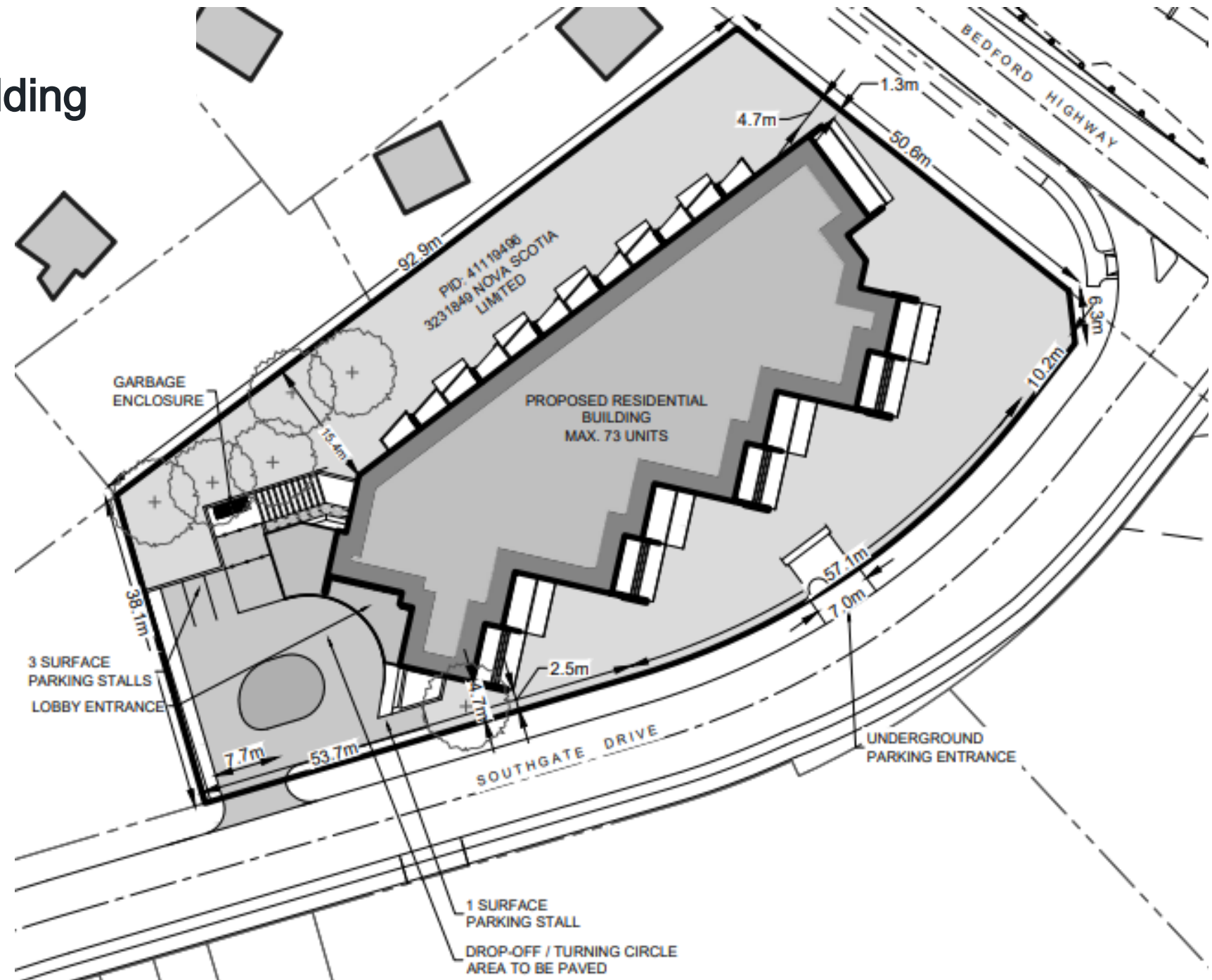
- Location: Corner of Southgate Drive and Bedford Highway
- Application to amend the Bedford South Secondary Planning Strategy (BSSPS) to redistribute development rights between two (2) sites and to enable two (2) new development agreements permitting:
 - BH-1 Site:
 - 6-storey, 73-unit residential building
 - Underground and visitor parking
 - BH-2 Site:
 - 1-storey, commercial building
 - Four (4) new single-family homes and
 - One (1) existing single-family home



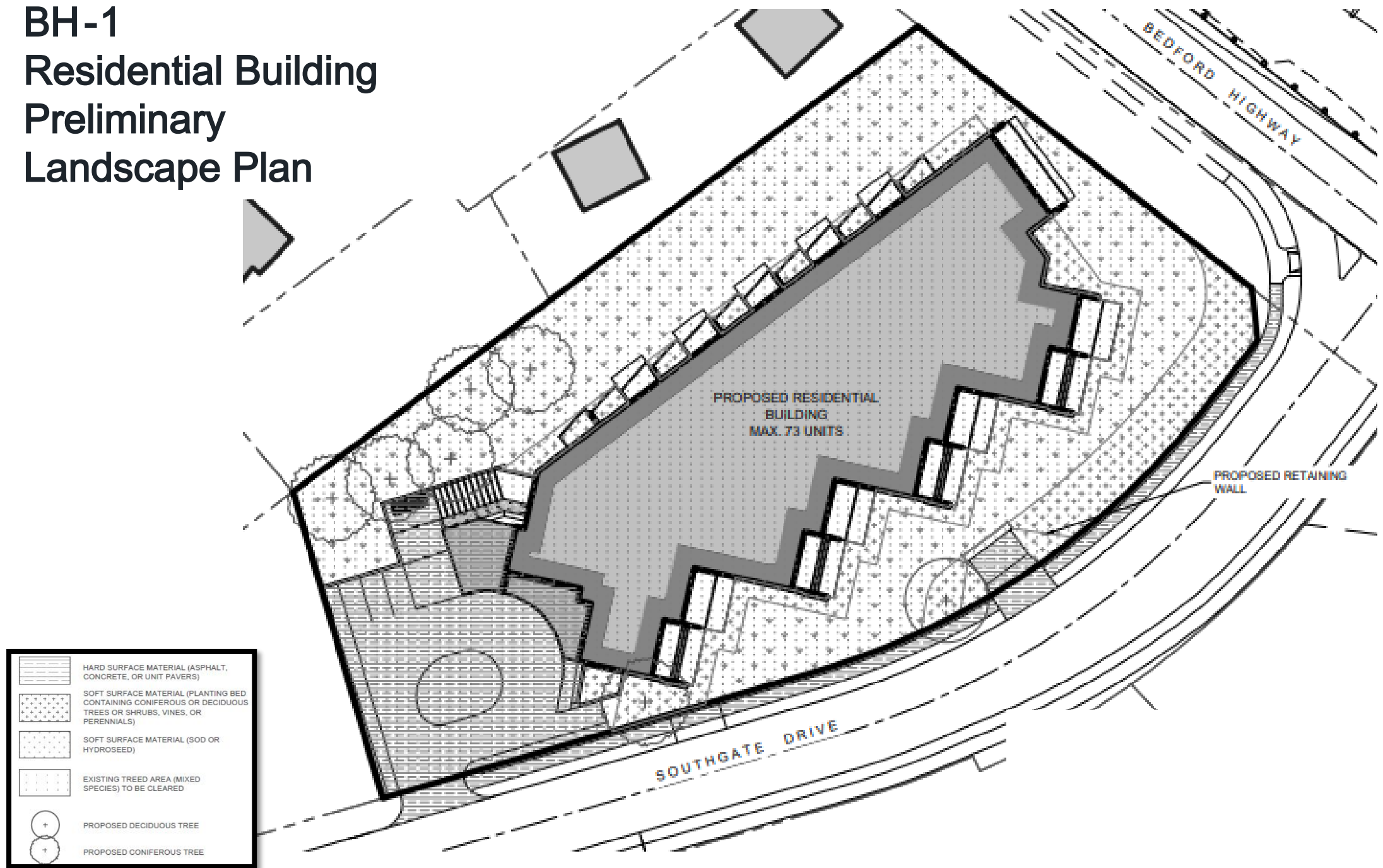
Neighborhood Context



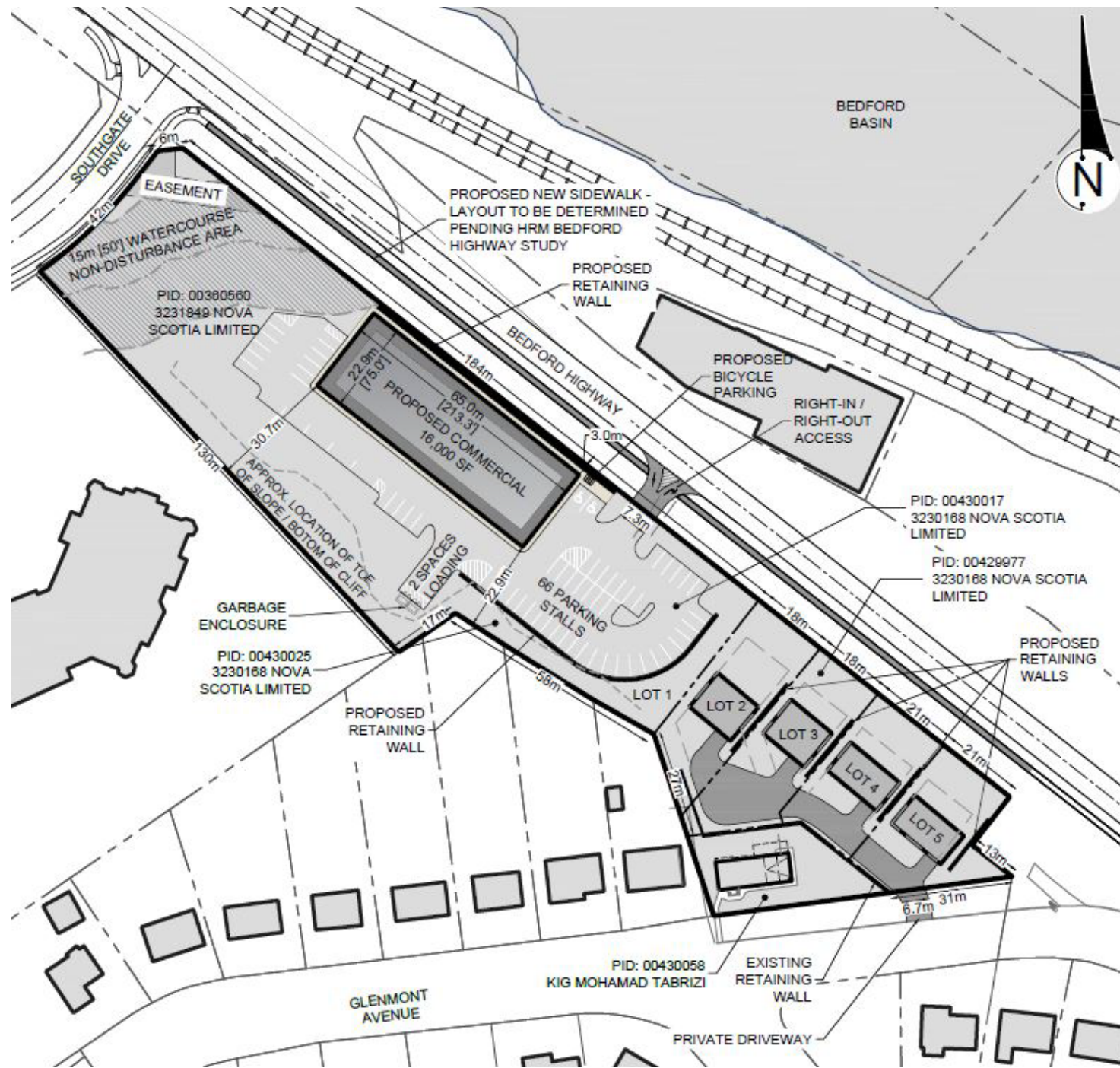
BH-1 Residential Building Site Plan



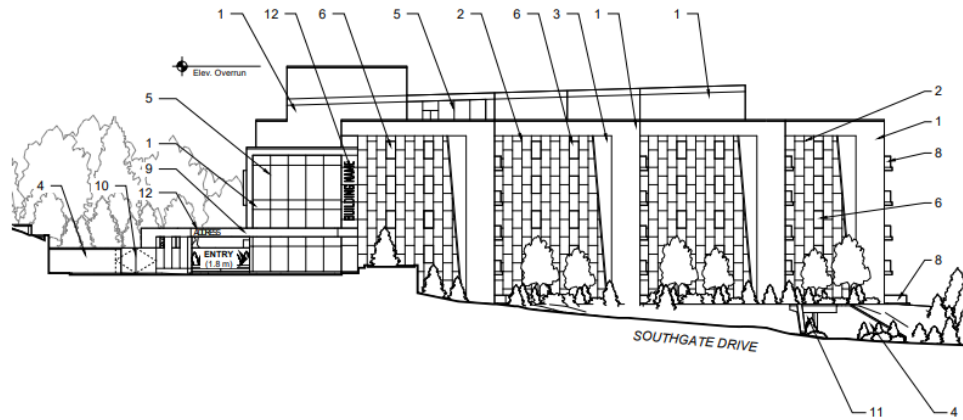
BH-1 Residential Building Preliminary Landscape Plan



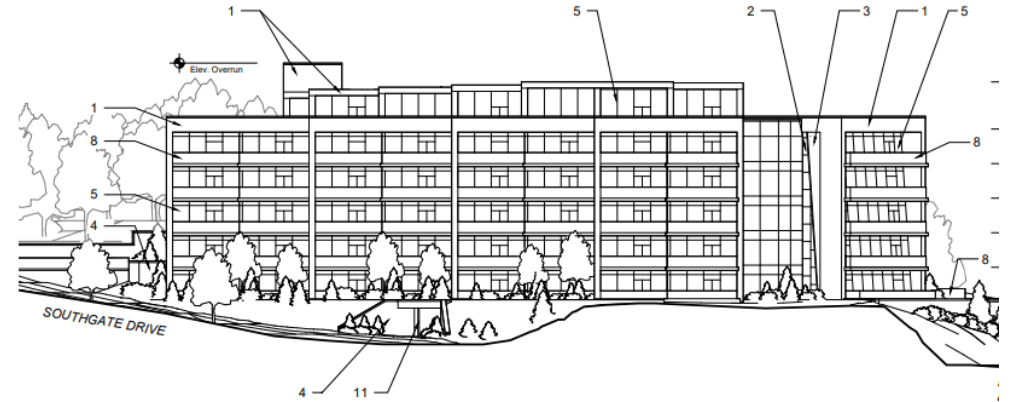
BH-2 Commercial Building & Single Detached Units Site Plan



BH-1 Residential Building Elevations

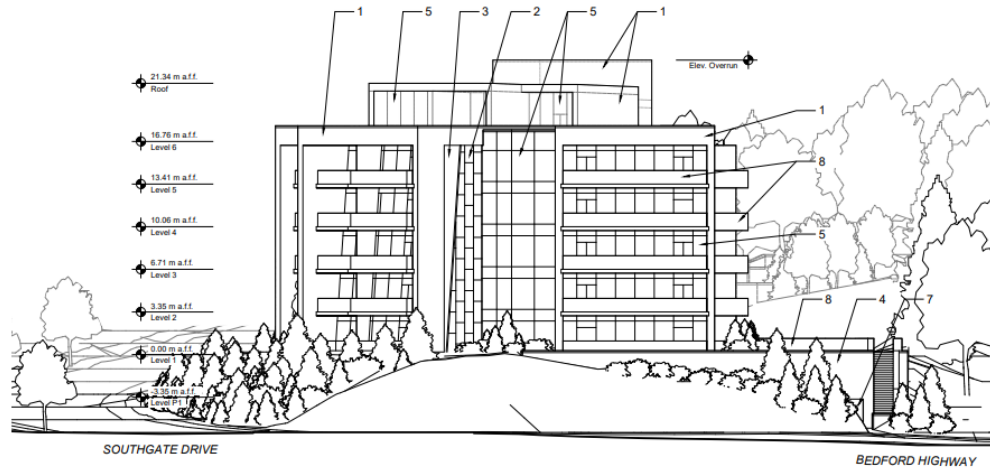


South Elevation (Southgate Drive)

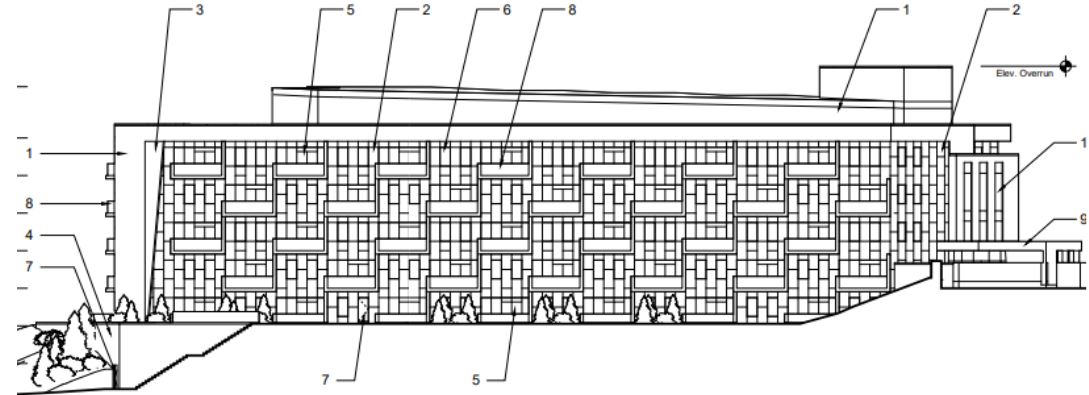


East Elevation (Southgate Drive)

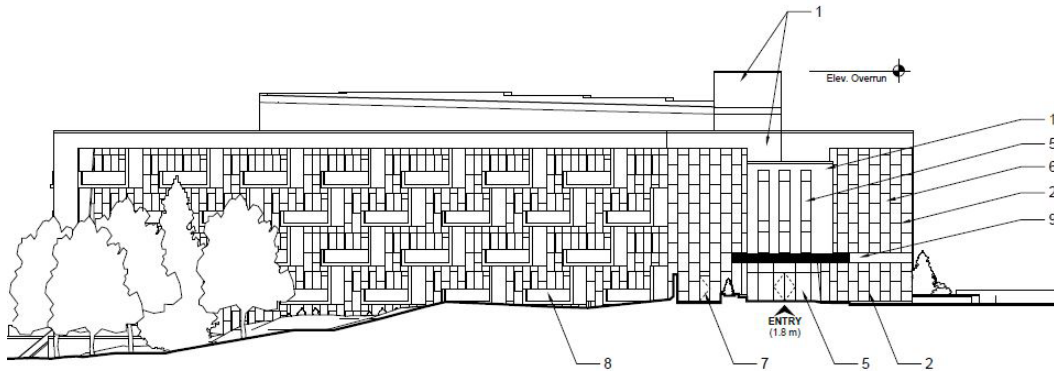
BH-1 Residential Building Elevations



North-East Elevation (Bedford Highway)



North-West Elevation



West Elevation (Main Entrance)

BH-1 Residential Building

Bird's Eye View – From West



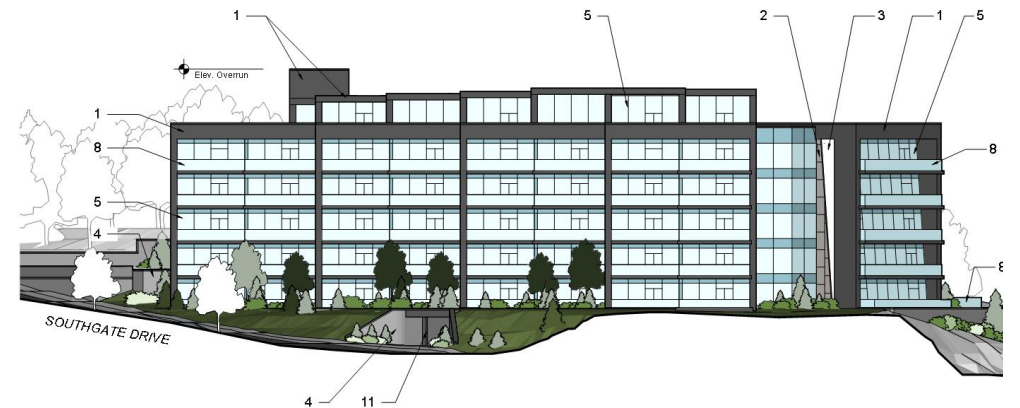
Bird's Eye View – From East



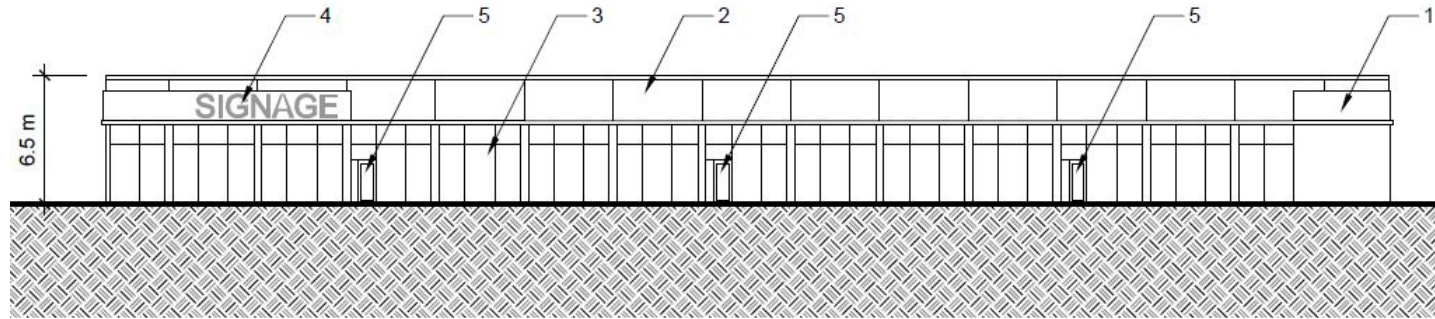
Elevation – South (Southgate Drive)



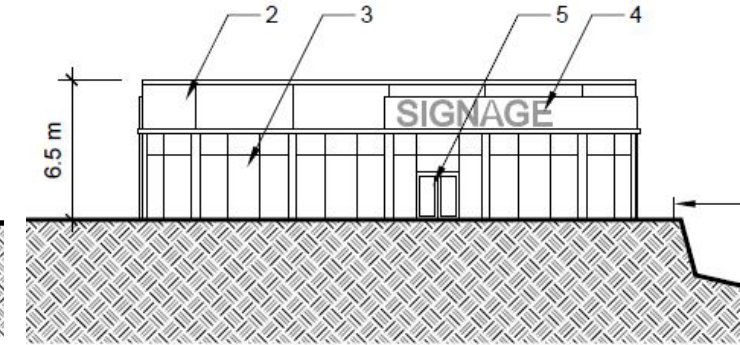
Elevation – Northeast (Bedford Highway)



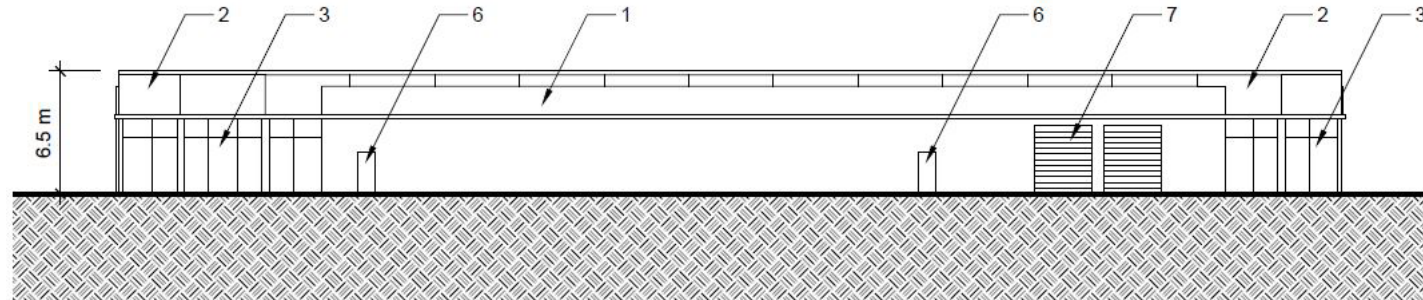
BH-2 Commercial Building Elevations



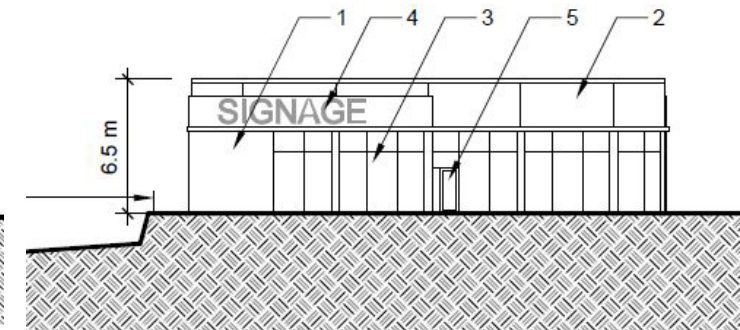
North-East Elevation (Bedford Highway)



South-East Elevation

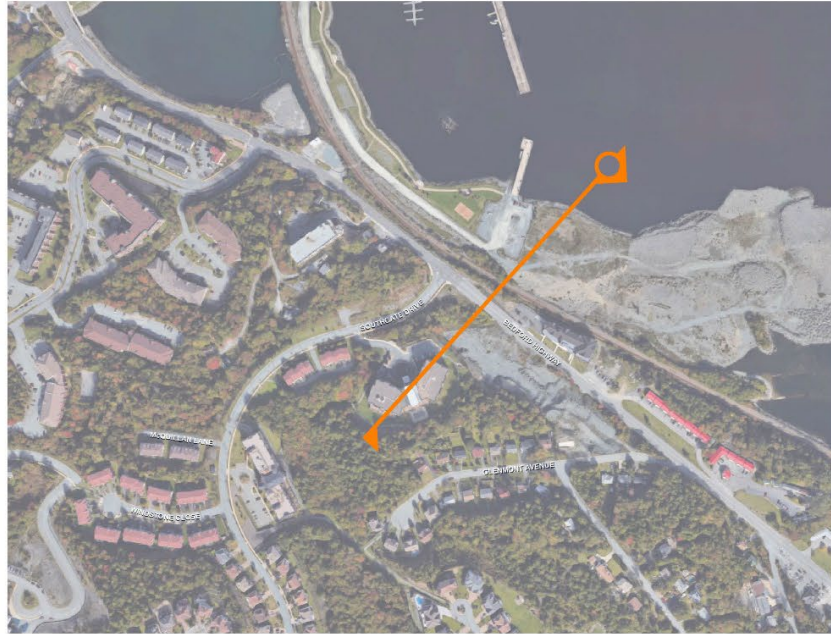


South-East Elevation

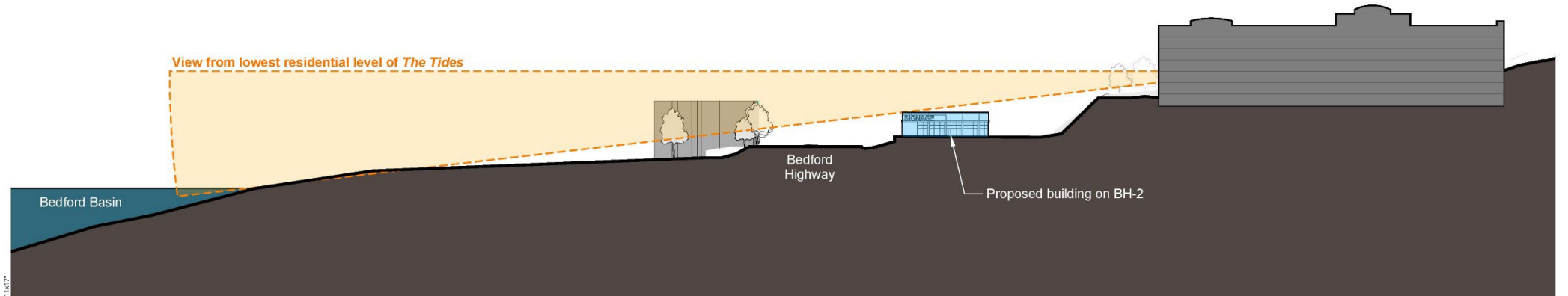


North-East Elevation

BH-2 Cross Section



KEY PLAN (NOT TO SCALE)



Responses to Concerns and Comments Heard

- Concerns regarding view impacts towards the Bedford Basin
 - There is an improvement on previous proposals for the sites, particularly BH-2 in front of the existing Tides condominium building
- Traffic Impacts and Road Safety
 - Combined, the two developments are not expected to have any significant impact on levels of traffic performance.
 - Driveway design adjustments have been made for the BH-1 site to improve visibility from Southgate.
- Allowances for visitor parking on BH-1
 - Development Agreement requires a min. of 3 visitor parking spaces.
- Enclosing the waste area on BH-2
 - Waste area on BH-2 shall be fully enclosed with a roofed enclosure and fully screened from adjacent properties and the street as regulated by the Development Agreement.
- Restrict commercial uses and operating hours on Block BH-2.
 - Commercial uses are restricted under the Development Agreement, and hours of operation are stated to be between 7:30 am and 9:30 pm

Conclusion

- ✓ Proposals' **forms and characters fit** within the greater community.
- ✓ The combined developments are **not expected to have any significant impact on current traffic performance**.
- ✓ Provides an **influx of housing units** to Bedford South and HRM.
- ✓ Encouraging growth in areas with existing options (and future investments) to a **multi-modal transportation network**.

Thank you

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ARCHITECTURE