



P.O. Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

Item No. 15.4.4
Halifax Regional Council
September 12, 2023

TO: Mayor Savage and Members of Halifax Regional Council

Original Signed

SUBMITTED BY:

For Brian MacDonald, Chair, Heritage Advisory Committee

DATE: August 23, 2023

SUBJECT: **Case H00569: Request to Include 6038 Charles Street, Halifax in the Registry of Heritage Properties for the Halifax Regional Municipality**

ORIGIN

August 23, 2023 meeting of Heritage Advisory Committee, Item 9.1.4.

LEGISLATIVE AUTHORITY

Heritage Property Act

s. 14(1) A heritage advisory committee may recommend to the municipality that a building, public building interior, streetscape, cultural landscape or area be registered as a municipal heritage property in the municipal registry of heritage property.

HRM By-law No. H-200 - Heritage Property By-law

4. The [Heritage Advisory] Committee shall, within the time limits prescribed by Council or the [Heritage Property] Act, advise the Region respecting:
- (a) the inclusion of buildings, public building interiors, streetscapes, cultural landscapes or areas in the Registry.

RECOMMENDATION

THAT the Heritage Advisory Committee recommends that Regional Council:

1. Set a date for a heritage hearing to consider the inclusion of the subject property in the Registry of Heritage Property for the Halifax Regional Municipality; and
2. Approve the request to include 6038 Charles Street, Halifax, in the Registry of Heritage Property for the Halifax Regional Municipality, as shown on Map 1 in the staff report dated July 27, 2023 as a municipal heritage property under the Heritage Property Act.

BACKGROUND

At the August 23, 2023 meeting of the Heritage Advisory Committee, the Committee received a staff recommendation report dated July 27, 2023 and received a staff presentation on Case H00569. Staff noted that should the Committee award the property a total score of fifty (50) points or more for the identified property, out of a possible one hundred (100), then the staff recommendation is that the Committee recommend the property for registration by Halifax Regional Council.

For further information refer to the attached staff report dated July 27, 2023.

DISCUSSION

At the August 23, 2023 meeting, following the presentation from staff, the Committee evaluated the proposed heritage property using the Evaluation Criteria for Registration of Heritage Buildings in HRM. The Committee applied the following scores:

Criterion	Score
1. Age	13
2B. Architectural Importance	18
3. Significance of Architect/Builder	1
4A. Architectural Merit: Construction Type	2
4B. Architectural Merit: Style	2
5. Architectural Integrity	13
6. Relationship to Surrounding Area	9
Total	58

Based on this evaluation, the Committee approved a motion recommending that Halifax Regional Council schedule a heritage hearing for the matter, and to approve the registration to Registry of Heritage Property for the Halifax Regional Municipality.

For further discussion on the heritage registration evaluation criteria as it relates to this application, refer to the staff report dated July 27, 2023 (Attachment 1) and the Scoring Summary for Heritage Buildings (Attachment 2).

FINANCIAL IMPLICATIONS

Financial implications are outlined in the attached staff report dated July 27, 2023.

RISK CONSIDERATION

Risk consideration is outlined in the attached staff report dated July 27, 2023.

COMMUNITY ENGAGEMENT

The Heritage Advisory Committee is comprised of nine citizen members and two Councillors. Meetings are live webcast on Halifax.ca. The agenda, reports, video, and minutes of the Committee are posted on Halifax.ca.

For further information on Community Engagement refer to the attached staff report dated July 27, 2023.

ENVIRONMENTAL IMPLICATIONS

Environmental implications are outlined in the staff report dated July 27, 2023.

ALTERNATIVES

Alternatives are outlined in the attached staff report dated July 27, 2023.

ATTACHMENTS

Attachment 1 – Staff recommendation report dated July 27, 2023.

Attachment 2 – Scoring Summary for Heritage Buildings.

A copy of this report can be obtained online at halifax.ca or by contacting the Office of the Municipal Clerk at 902.490.4210.

Report Prepared by: Dorothy Maponga, Legislative Assistant, Municipal Clerk's Office 902.478.2408

P.O. Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

Item No. 9.1.4
Heritage Advisory Committee
August 23, 2023

TO: Mayor Savage and Members of Halifax Regional Council

-ORIGINAL SIGNED-

SUBMITTED BY:

Cathie O'Toole, Chief Administrative Officer

DATE: July 27, 2023

SUBJECT: **Case H00569: Request to Include 6038 Charles Street, Halifax in the Registry of Heritage Properties for the Halifax Regional Municipality**

ORIGIN

Application for heritage registration by the property owner, Thomas White

LEGISLATIVE AUTHORITY

The Heritage Property Act

RECOMMENDATION

Should 6038 Charles Street, Halifax score 50 or more points on evaluation as a heritage property under the HRM Heritage Property Program, the Heritage Advisory Committee (HAC) recommends that Regional Council:

1. Set a date for a heritage hearing to consider the inclusion of the subject property in the Registry of Heritage Property for the Halifax Regional Municipality; and
2. Approve the request to include 6038 Charles Street, Halifax, in the Registry of Heritage Property for the Halifax Regional Municipality, as shown on Map 1, as a municipal heritage property under the *Heritage Property Act*.

BACKGROUND

The property owner has applied to include the property located at 6038 Charles Street, Halifax (Map 1) in the Registry of Heritage Property for the Halifax Regional Municipality. The subject property is situated on the south side of Charles Street, in the block bounded by Clifton and Robie Streets. The subject property contains a two-storey residential building, which was constructed circa 1899.

This application is being considered in accordance with Sections 14 (Recommendation as municipal heritage property) and 15 (Registration as municipal heritage property) of the *Heritage Property Act*.

HRM's Heritage Property Program

The purpose of the HRM Heritage Property Program is to help protect and conserve significant heritage resources including buildings, streetscapes, sites, areas, and conservation districts that reflect the rich heritage found in local communities throughout HRM. One of the principal aims of the Heritage Property Program is to recognize significant heritage resources through the inclusion of properties into the Municipal Registry of Heritage Property.

Under the Heritage Property Program, all registration applications for heritage buildings are evaluated by the HAC using "The Evaluation Criteria for Registration of Heritage Buildings in Halifax Regional Municipality" (Attachment A). The Evaluation Criteria for scoring a property and building are broken down into six categories as follows:

Criterion	Highest Possible Score
1. Age	25
2. Historical or Architectural Importance	20
3. Significance of the Architect/Builder	10
4. Architectural Merit	10
5. Architectural Integrity	15
6. Relationship to Surrounding Area	10
Total	100

Should the HAC score a property with more than 50 points on evaluation as a heritage property, a positive recommendation will be forwarded to Regional Council.

Nova Scotia Heritage Property Act

HRM's Heritage Property Program receives its authority from the *Heritage Property Act* which seeks:

"to provide for the identification, designation, preservation, conservation, protection and rehabilitation of buildings, public-building interiors, structures, streetscapes, cultural landscapes, areas and districts of historic, architectural or cultural value, in both urban and rural areas, and to encourage their continued use".

Sections 14(2) and 15(1) under the *Heritage Property Act* require that notice of recommendation is given to the property owner at least thirty (30) days prior to any Council decision to include the property in the Registry of Heritage Property for the Halifax Regional Municipality. The property owner is also given an opportunity to address Council before they make a decision on the registration request. Should a positive recommendation be forwarded to Council, heritage staff will ensure the required notices are sent to the owners and deposited at the Registry of Deeds.

DISCUSSION

Heritage registration applications are evaluated by the HAC relative to six evaluation criteria outlined previously, and described in greater detail in Attachment A. To assist the HAC in their evaluation and scoring, staff offer the following comments based on staff's research report (Attachment B).

1. Age:

The subject property was part of Block G in the Plan of Subdivision of the Woodill Field. No structures are depicted on the property in Hopkin's 1878 City Atlas and the block of Charles Street between Clifton and Robie Streets are identified as being vacant in McAlpine's 1897-1898 City Directory.

In a 1911 update to Goad's 1895 Fire Insurance Plan, three structures and an outbuilding had been constructed at the corner of Clifton and Charles Streets, with the subject property identified as number 62. The first identification of 62 Charles Street in McAlpine's City Directories is in 1899-1900, which lists James A. Ross as occupying the property with his mother, Caroline Ross. A building permit for the structure was issued in August 1899.

Given its circa 1899 construction date, staff recommend a score of 13 points for Age.



Figure 1: 6038 Charles Street (Staff photo, June 16, 2023)

2. Architectural Importance:

The subject property was constructed in the 'Halifax Box' style, characterized by a flat roof, two-storey massing, two-storey bay window on one side with the doorway on the other, and varied decoration and ornament. Design elements tend to borrow from Second Empire, Queen Anne, and Italianate styles. The overall simplicity of the 'Halifax Box' design allowed construction firms to erect this style of building affordably and quickly. Large employers of building trades craftsmen (often advertising themselves as all-in-one architects and builders) began buying lots for property development by contract as well as speculation.

Although the Halifax Box style can be found throughout peninsular Halifax, this style of home is representative of turn of the 20th century local vernacular architecture and contributes to the special architectural style of Halifax. As such, the style can be viewed as preserving the cultural identity and special characteristics unique to Halifax.

As a representative example of the Halifax Box style, staff recommend a score of 16 to 20.

3. Significance of Architect/Builder:

The residence at 6038 Charles Street was built by local contractors, Thomas D. Shand and Frederick C. Campbell. Shand briefly operated a planing and moulding mill on Edward Street in Halifax. Although minimal information is available on both Shand and Campbell, their craftsmanship has contributed to the local architectural character of Halifax.

Staff recommend a score of 1 to 3 for the significance of the architect/builder.

4. Architectural Merit

Construction Type/Building Technology

The residence at 6038 Charles Street is a two-storey building of balloon construction with a rectangular plan. It stands on a coursed rubblestone foundation mixed with large granite blocks. The foundation has been parged with concrete. Balloon framing was the preferred method of construction from the late 19th to early 20th century. The method allowed for buildings to be constructed quickly and used dimensional lumber boards held together by nails. Balloon framing is rarely used today but influenced contemporary platform construction.

Balloon framing, while common in its own time, was replaced by platform framing from the 1930s onwards, and is growing increasingly less common in present-day Halifax. As such, staff recommend a score between 1 and 3 points.

Style

6038 Charles Street provides a somewhat rare example of a Halifax Box style as it has a high level of integrity.

The character-defining elements of 6038 Charles Street include, but are not limited to:

- Two-storey, Halifax Box style house with flat roof;
- Wood shake cladding;
- Rubblestone and granite block foundation;
- Two-storey bay window with panels, piers, and bracket and corbel detailing;
- Protruding square bay on the second storey with bracket and corbel detailing; and,
- Main entrance with transom and wood piers.



Figure 2: 6038 Charles Street (Staff photo, June 16, 2023)

As a somewhat rare example of the Halifax Box style, staff recommend a score of 1 to 3.

5. Architectural Integrity:

6038 Charles Street has a high level of architectural integrity. Although no historical photographs were discovered during historical research, some minor modifications are evident based on visual inspection. All windows have been replaced. The rubblestone and granite block foundation has been faced with concrete. An addition was constructed in the rear; however, this is not visible from the public realm and appears in mapping around the turn of the 20th century. The main entrance has been replaced along with the stairs and railing leading up to it. The soffit is vinyl and some of the bracket detailing on the second storey have been removed as a result. As mentioned in previous sections, the Halifax Box style can be found throughout peninsular Halifax. However, the level of integrity of the remaining Halifax Box style residential structures vary significantly, especially around this block of Charles Street. 6038 Charles Street provides a strong example of the style with relatively minor modifications.

Overall, the alterations to the exterior of 6038 Charles Street is minimal and as such, staff recommend a score 11 to 15 points for architectural integrity.

6. Relationship to Surrounding Area:

6038 Charles Street is surrounded by other residential buildings constructed in the Halifax Box style, with varying levels of architectural integrity. The block of Charles Street between Clifton and Robie Streets is a relatively contiguous stretch of houses of the same style and age. 6038 Charles Street has visual and

historical connections to the immediately neighbouring properties at 6032-6034 and 6040 Charles Street, which were built around the same time. The recently registered structure at 6032-6034 Charles Street and the subject property at 6038 Charles Street have particularly strong historical connections, as the structures were built around the same time and 6032-6034 Charles Street was occupied by James A. Ross's business partner, John H. Blakley. Both structures display the same style and near identical woodwork detailing. Ross also briefly resided at 6040 Charles Street prior to moving into 6038 Charles Street.

6038 Charles Street is within 250m of two other recently registered Halifax Box houses. 5812-5814 North Street, and 2539 Agricola Street are both similar in architectural style and age as the two Charles Street properties, but do not contain the high level of architectural integrity shown by the subject property. The Princess Place Victorian Streetscape is also 250m to the southeast. These properties are constructed in the Victorian Plain architectural style, which is another term commonly applied to Halifax Box style homes.

For its visual and historical relationship with the neighbouring late 19th to early 20th century residential buildings, which are of a similar style, especially 6032-6034 and 6040 Charles Street, staff recommend a score of 6 to 10 points.

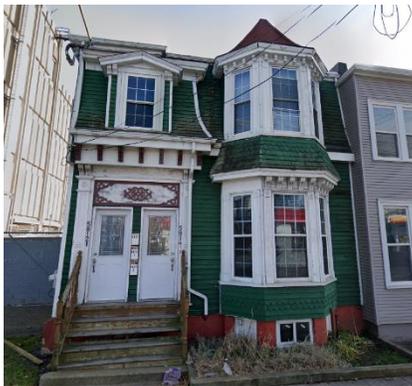


Figure 4: 5812-5814 North Street



Figure 3: 2539 Agricola Street



Figure 5: View of 6032-6034, 6038 and 6040 Charles Street from the east side of Charles Street (Staff photo, June 16, 2023)

FINANCIAL IMPLICATIONS

The HRM costs associated with advertising and processing this application can be accommodated within the approved 2023/2024 operating budget for C340 – Heritage and Planning Information Services.

COMMUNITY ENGAGEMENT

The community engagement process for heritage registrations is consistent with the intent of the HRM Community Engagement Strategy. The level of community engagement was information sharing achieved through public access to the required Heritage Advisory Committee meeting. As a provision of the *Heritage Property Act*, no registration of a municipal heritage property shall take place until Regional Council has given the owner of the property an opportunity to be heard.

ENVIRONMENTAL IMPLICATIONS

There are no significant environmental implications associated with the recommendations in this report.

ALTERNATIVE

1. The Heritage Advisory Committee may choose to refuse the application to include 6038 Charles Street, Halifax in the Registry of Heritage Property for the Halifax Regional Municipality if the property scores less than 50 points based on the evaluation criteria. In doing so, the application will not proceed to Regional Council for evaluation.

ATTACHMENTS

Map 1: Location Map

Attachment A: Evaluation Criteria

Attachment B: Staff Research Report

A copy of this report can be obtained online at halifax.ca or by contacting the Office of the Municipal Clerk at 902.490.4210.

Report Prepared by: Elizabeth Cushing, Planner II – Heritage, 902.478.2586



Map 1 - Location Map

6038 Charles Street,
Halifax

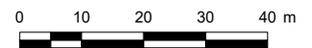


Subject Properties



Registered Heritage Property

HALIFAX



HRM does not guarantee the accuracy of any representation on this plan.

Attachment A

HALIFAX REGIONAL MUNICIPALITY HERITAGE PROPERTY PROGRAM EVALUATION CRITERIA

**EVALUATION CRITERIA
FOR REGISTRATION OF HERITAGE BUILDINGS (Revised 2004)**

1. AGE

Age is probably the single most important factor in the popular understanding of the heritage value of buildings. The following age categories are based on local, national and international occasions that may be considered to have defined the character of what is how the Halifax Regional Municipality and its architecture.

Date of Construction	Points	Timeline
1749 - 1785	25	Halifax Garrison Town to the Loyalist migration
1786 - 1830	20	Boom period following construction of Shubenacadie Canal
1831 - 1867	16	From Boom to Confederation
1868 - 1899	13	Confederation to the end of the 19 th century
1900 - 1917	9	Turn of the Century to Halifax Harbour Explosion
1918 - 1945	5	The War Years
1945 - Present	3	Post-War

** Maximum score of 25 points in this category*

2. HISTORICAL OR ARCHITECTURAL IMPORTANCE

A building can receive points for:

- A) Having specific associations with important occasions, institutions, personages and groups,
OR
B) For being architecturally important unique/representative of a particular period.

2A) Relationship to Important Occasions, Institutions, Personages or Groups

Nationally	Points	Comments
Intimately Related	16 - 20	
Moderately Related	11 - 15	
Loosely Related	1 - 10	
Provincially	Points	Comments
Intimately Related	11 - 15	
Moderately Related	6 - 10	
Loosely Related	1 - 5	

Locally	Points	Comments
Intimately Related	11 - 15	
Moderately Related	6 - 10	
Loosely Related	1 - 5	
No relationship to important occasions, institutions, personages or groups.	0	

** Maximum score of 20 points in this category, scoring from one of the three categories only*

2B) Important/Unique Architectural Style or Highly Representative of an Era

Importance	Points	Comments
Highly important, Unique, or representative of an era	16 - 20	
Moderately important, Unique, or representative of an era	11 - 15	
Somewhat important, or representative of an era	10 - 1	
Not important, Unique, or representative of an era	0	

** Maximum score of 20 points in this category.*

3. SIGNIFICANCE OF ARCHITECT/BUILDER

Is the structure representative of the work of an architect or builder of local, provincial or national importance?

Status	Points	Comments
Nationally	7 - 10	
Provincially Significant	4 - 6	
Locally Significant	1 - 3	
Not Significant	0	

** Maximum score of 10 points in this category.*

4. ARCHITECTURAL MERIT

The assessment of architectural merit is based on two factors:

A) **Construction type/building technology**: which refers to the method by which the structure was built (early or rare uses of materials), and building techniques;

AND

B) **Style**: which refers to the form or appearance of the architecture.

Construction Type/Building Technology		
A) Construction type	Points	Comments
Very rare/ early example	7 - 10	
Moderately rare/ early	4 - 6	
Somewhat rare/ early example	1 - 3	
Not rare/ common example	0	
B) Style	Points	Comments
Very rare/ early example	7 - 10	
Moderately rare/ early	4 - 6	
Somewhat rare/ early example	1 - 3	
Not rare/ common example	0	

** Maximum score of 10 points for Construction Type, and a maximum score of 10 for Style - a total maximum of 20 points in this category.*

5. ARCHITECTURAL INTEGRITY

Architectural Integrity refers to the extent to which the building retains original features/ structures/ styles, not the state of the building's condition.

Architecture	Consider any additions/ removal/ alterations to windows, doors, porches, dormers, roof lines, foundations, chimneys, and cladding.	
Exterior	Points	Comments
Largely unchanged	11 - 15	
Modest changes	6 - 10	
Major changes	1 - 5	
Seriously compromised	0	

** Maximum score of 15 points in this category.*

6. RELATIONSHIP TO SURROUNDING AREA

Points	Comments
6 - 10	The building is an important architectural asset contributing to the heritage character of the surrounding area.
1 - 5	The Architecture is compatible with the surrounding area and maintains its heritage character.
0	Does not contribute to the character of the surrounding area.

** Maximum score of 10 points in this category.*

SCORING SUMMARY

Property	Date Reviewed	Reviewer

Criterion	Highest Possible Score	Score Awarded
1. Age	25	
2. a) Relationship to Important Occasions, Institutions, Personages or Groups OR 2. b) Important, Unique Architectural Style, or Highly Representative of an Era	20	
3. Significance of Architect or Builder	10	
4. a) Architectural Merit: Construction type/building technology	10	
4. b) Architectural Merit: Style	10	
5. Architectural Integrity	15	
6. Relationship to Surrounding Area	10	
Total	100	

SCORE NECESSARY FOR DESIGNATION**50****Designation Recommended?****YES****NO****COMMENTS:**

Attachment B

Research Report

6038 Charles Street, Halifax

Prepared by:

HRM Planning & Development
Elizabeth Cushing, Planner II - Heritage

06 July 2023



HALIFAX

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- Relationship to Surrounding Area 17**
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Age

6038 Charles Street, formerly 62 Charles Street, is situated on the south side of Charles Street, in the block bound by Clifton and Robie Streets in peninsular Halifax.

The subject property was originally part of Block G of the *Plan of the Subdivision of the Woodill Field*. Although the physical plan could not be located, the area was generally bound by North Street to the north, Robie Street to the east, Cunard Street to the south and Windsor Street to the west. No structures are depicted in Hopkin's 1878 City Atlas and Charles Street did not yet extend past Robie Street at that time (Figure 1). The street was extended around 1897 (Plan #M-1-842). The block of Charles Street between Clifton and Robie Streets are identified as being vacant in McAlpine's 1897-98 City Directory.

In 1897, John H. Blakley mortgaged and purchased Lots 6 and 7 of Woodill Field (Book 323, Page 23 and Book 316, Page 696). Blakley had a partnership with James A. Ross, a farmer from the County of Hants, under the firm name Blakley and Ross. In 1898, as a term of their partnership agreement, all their real estate was transferred to the partnership (Book 332, Page 350). That following year, Blakley and Ross deeded the subject property to James' mother, Caroline Ross (widow; Book 332, Page 693), and James is listed as occupying a building on this lot by McAlpine's 1899-1900 City Directory. James had previously occupied the neighbouring property at 64 Charles Street (McAlpine 1898). By Goad's 1911 (IS 1895) Fire Insurance Plan, three structures and an outbuilding had been constructed at the corner of Clifton and Charles Streets, with the subject property identified as number 62 (Figure 2).

Upon Caroline's death in 1917, the property was willed to her daughter-in-law (James's wife) Mary DeWolf Ross (Book 474, Page 439). In 1929, the property was granted to John Gerald DeWolf, real estate broker (Book 651, Page 87), who subsequently sold to James Louis Lewis, musician (Book 641, Page 1221). Lewis also owned the property at 6105-6107 Charles Street, and properties on Jubilee Road and Clifton Street. In his 1979 will, Lewis left the property to his grandson James Stephen Lewis (Book 3307, Page 838). James Lewis took out a mortgage on the property in 1980 (Book 3421, Page 80) and retained the property until 1985 when it sold to Carson W. Moore (Book 3998, Page 948). In 1990, the property sold to the present-day owners.

With a construction date of circa 1899, the subject property at the time of writing is 124 years old.

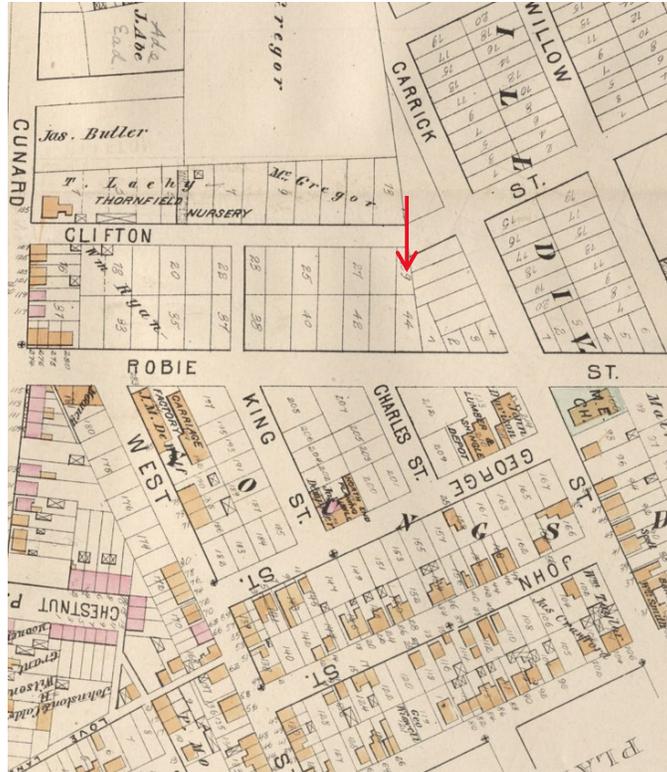


Figure 1: Hopkin's 1878 Fire Insurance Plan with approximate location of subject property identified in red

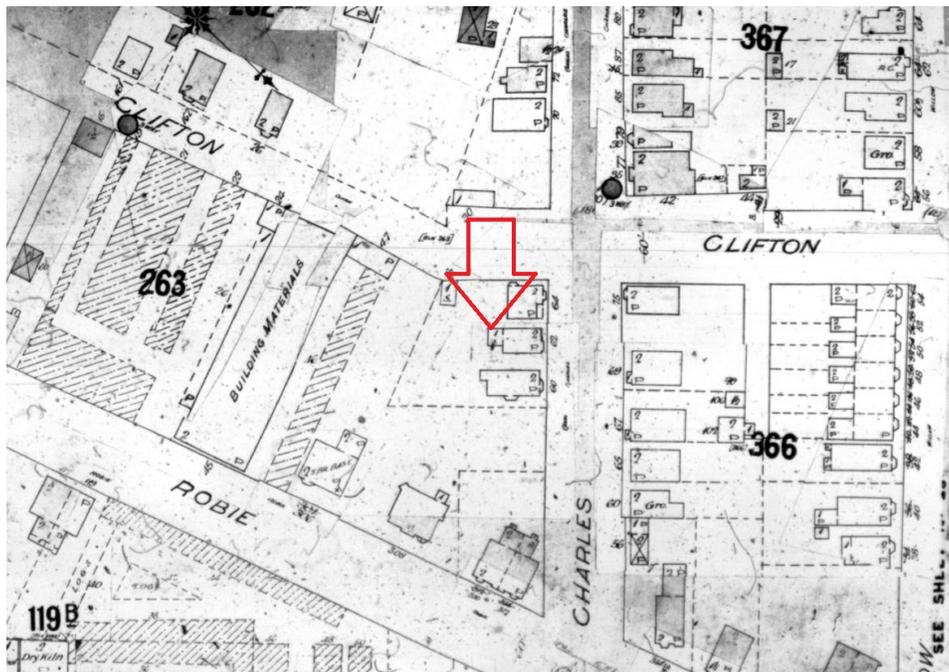


Figure 2: Goad's 1911 (IS 1895) Fire Insurance Plan with the subject property identified in red

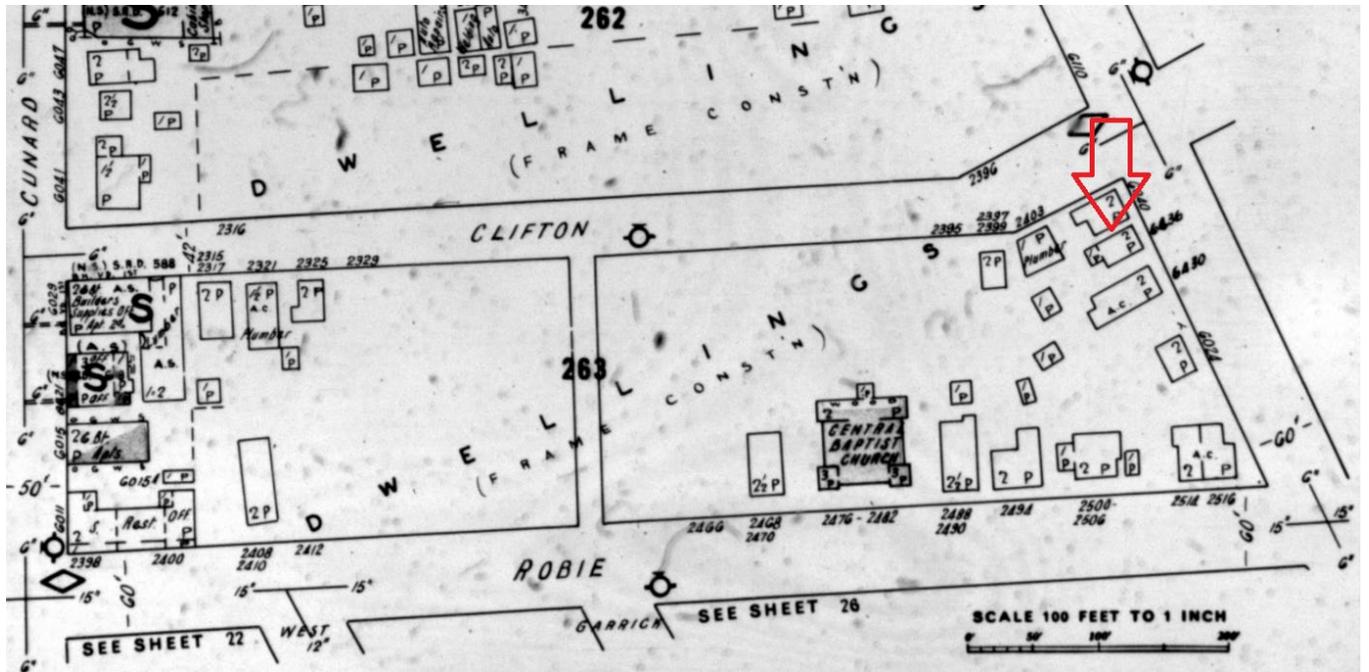


Figure 3: 1952 Underwriter's Insurance Bureau's Fire Insurance Plan with the subject property identified in red

Historical or Architectural Importance

Relationship to Important Occasions, Institutions, Personages or Groups

James Archibald Ross (1875-1940) was of Scottish Presbyterian descent. Prior to moving to Halifax at the turn of the century, James was living in Scotch Village in Hants County. In 1901, James was working as a commercial traveller, living with his wife Mary DeWolf Ross (1879-1942), and their son Melville. By 1911, James is listed as working in the grocery industry and living at 62 Charles Street with Mary, son Allison, daughter Florence, and his mother Caroline. James and Mary had moved to Garden Street by 1940 (Canada Voter's List 1940). Ross was in a business partnership with John H. Blakley (1858-1930), who operated Blakley & Co. (later J.H. Blakley & Co.), a grocers and victuallers shop at 102 Gottingen Street (near intersection with Cornwallis Street). Blakley lived at the neighbouring property, present day 6032-6034 Charles Street. Ross died in 1940 and is buried with Mary at Saint James' Anglican Church Cemetery in Brooklyn, Hants County, Nova Scotia.

Important / Unique Architectural Style or Highly Representative of an Era

The subject property was constructed in the 'Halifax Box' style, characterized by a flat roof, two-storey massing, two-storey bay window on one side with the doorway on the other, and varied decoration and ornament (Archibald and Stevenson 2003). Design elements tend to borrow from Second Empire, Queen Anne, and Italianate architectural styles. The overall simplicity of the 'Halifax Box' design allowed construction firms to erect this style of building cheaply and quickly. These large employers of building trades craftsmen, often advertising themselves as a sort of all-in-one architects and builders, began buying lots for property development by contract as well as speculation (Archibald & Stevenson, 78).

Although the Halifax Box style can be found throughout peninsular Halifax, these style homes are representative of turn of the 20th century local vernacular architecture and contributes to the special architectural style of the city. As such, the style can be viewed as preserving the cultural identity and special characteristics of Halifax (Salman 2018). As Salman (2018:4) states, "regionalism in architecture reflects local features related to place, culture, climate and technology in a certain era; the result a timeless architecture". 6038 Charles Street provides a somewhat rare example of a Halifax Box style as it has a high level of integrity.

Significance of Architect or Builder

The residence at 6038 Charles Street was built by carpenters Thomas D. Shand and Frederick C. Campbell (Figure 4 and Figure 5).

Thomas (1866-?) was of Scottish descent and originally from Bridgewater, Nova Scotia. The 1871 and 1881 censuses list him as living with his parents, Paul and Cassie, sisters Elizabeth, Mary and [illegible], and brothers Alexander and John. Thomas is first listed in the McAlpine City Directory for 1897-1898 as living on 151 North Street (formerly 5801 North Street), and by the 1899-1900 City Directory was living on Duncan Street and working as a carpenter. Thomas briefly operated Shand & Umlah, a planning and moulding mill near 14 Edward Street (now 1246 Edward Street), in partnership with William Umlah. By the 1901 Census, he had moved to Glace Bay, Cape Breton, and was living with his wife Angus and four children: James, Thomas, Walter, and Joseph.

Frederick C. Campbell (1877-?) was a carpenter of Scottish descent. The City Directory for 1897-1898 lists him as a carpenter boarding at the 'Willow Extension'. In the 1900-1901 City Directory, Frederick is listed as a carpenter living at 20 Merkel. By 1931, Frederick was widowed and owned his own carpentry shop. At this time, he was living in Ward 3 with his cousins, Ray, and Emily.

DATE	NO.	OWNER	APPLICANT	STREET NO.	OTHER LINE BY WHOM GIVEN	DATE	REMARKS
July							
10		Mrs. C. Walsh	G. S. Davis				
10		Wm. Donald Brown	R. J. Walters	32239			For repairs to shop Dwelling
11		W. K. Olsen	John C. Colp				For repairs
11		Estate of J. H. Matthews	C. H. Matthews				To put in glass front
12		John Longard	F. Morash				For repairs
12		Henry & Bolman	Henry & Bolman	389			For repairs
13		Wm. Johnson	Wm. Johnson				New wooden Dwelling
17		Estate of J. B. Wilson	P. Gough				New wooden Dwelling
17		Berg Broadhurst	Geo. L. Hill	217			For repairs
18		Miss Mary Shortall	Miss Fraser				New wooden Dwelling
20		W. P. Foster	Albert Gray	419			For repairs
22		Wm. Robertson	Samuel H. Marshad				New wooden Dwelling
22		Est. James Klim	Est. J. Klim	205227			To put in back front porch and
24		Wm. D. Lingley	Alex. Davidson	63			For repairs
24		E. W. Donnell	E. W. Donnell	94			For repairs
28		E. W. Donnell	E. W. Donnell	21			To alter & repair
28		Peter Martin	Gray & Klim	35287			To alter & repair
August 1899							
		Mrs. Caroline Ross	Geo. H. Hand				New wooden Dwelling
		W. H. Clewdon	W. H. Clewdon				New wooden Dwelling
		Wm. Gaden	Gray & Klim				New wooden Dwelling
		Wm. Gaden	W. H. Gaden	61			New wooden Dwelling
		Parker R. Goffitt	Parker R. Goffitt				New wooden Residence
		P. Morrison	John C. Colp	361-38			For repairs
		Mary Elms	Ewan MacDonald				New wooden Dwelling
		E. W. Donnell	E. W. Donnell	247 & 257			Alter to flat roof Dwelling
		J. H. Walker	G. G. Seymour				Alter to flat roof
		Joseph Rogers	Joseph Rogers				New wooden Dwelling
		J. S. Huntley	John C. Colp				For repairs
		Mrs. Murphy	Alex. Fraser	69			New wooden Shop

Figure 4: Building Permit Record for Mrs. Caroline Ross's Charles Street property from August 1899 highlighted in red (Source: Halifax Municipal Archives)



Figure 5: Paper found within the walls of the subject property during renovations, which reads "This house was built in 1899 by T. [illegible] and F. Campbell, both of the City of Halifax"

Architectural Merit

Construction Type or Building Technology

The residence at 6038 Charles Street is a two-storey building of balloon construction with a rectangular plan. It stands on a coursed rubblestone foundation mixed with large granite blocks (Figure 6). The foundation has been parged with concrete in the exterior. Balloon framing was the preferred method of construction from the late 19th to early 20th century (Region of Waterloo n.d.). The method allowed for buildings to be constructed quickly and used standard-cut lumber boards held together by nails. Balloon framing is rarely used today but influenced contemporary platform construction.



Figure 6: Interior of the foundation as visible from the basement (Staff photo, 16 June 2023)



Figure 7: Milled lumber as visible from the basement (Staff photo, 16 June 2023)

Style

6038 Charles Street was designed in the Halifax Box style (Figure 8 to Figure 15). The style gained prominence in the latter half of the 19th century as new suburbs developed in Halifax. It can be characterized by a flat roof, two-storey massing, two-storey bay window on one side with the doorway on the other, and varied decoration and ornament (Archibald and Stevenson 2003). See Important / Unique Architectural Style or Highly Representative of an Era for more information.

Character Defining Elements

The character defining elements of 6038 Charles Street include, but are not limited to:

- Two-storey, Halifax Box style house with flat roof;
- Wood shake cladding;
- Rubblestone and granite block foundation;
- Two-storey Bay window with panels, piers, and bracket and corbel detailing;
- Protruding square bay on the second storey with bracket and corbel detailing; and,
- Main entrance with transom and wood piers.



Figure 8: North elevation of 6038 Charles Street (Staff photo, 16 June 2023)



Figure 9: North and west elevation (Staff photo, 16 June 2023)



Figure 10: South elevation (Staff photo, 02 March 2023)



Figure 11: East elevation (Staff photo, 16 June 2023)



Figure 12: Foundation of 6038 Charles Street, showing concrete parging (Staff photo, 16 June 2023)



Figure 13: Two-storey Bay window with paneling, wood piers and bracket and corbel detailing on the north elevation (Staff photo, 16 June 2023)



Figure 14: Second storey protruding square bay (Staff photo, 16 June 2023)



Figure 15: Main entrance to 6038 Charles Street, with wood piers and transom (Staff photo, 16 June 2023)

Architectural Integrity

The single-detached, two-storey residential building at 6038 Charles Street stands on a rubblestone and granite block foundation which has been parged with concrete. The building has a short rectangular façade and rear addition. The structure is clad in wood siding. The flat roof has some remaining wood bracket detailing on the north elevation. There is a two-storey bay window on the north elevation that has panelling, wood piers, and bracket and corbel detailing. The bay window also has a flat roof. Flat one-over-one windows have moulded trim. The rear addition has a flat roof with one-storey bay window.

6038 Charles Street has a high level of architectural integrity. Although no historical photographs were discovered during historical research, some minor modifications are evident based on visual inspection. All windows have been replaced. The rubblestone and granite block foundation has been faced with concrete. An addition was constructed in the rear; however, this is not visible from the public realm and appears in mapping around the turn of the 20th century. The main entrance has been replaced along with the stairs and railing leading up to it. The soffit is vinyl and some of the bracket detailing on the second storey have been removed as a result.

As mentioned in previous sections, the Halifax Box style can be found throughout peninsular Halifax. However, the level of integrity of the remaining Halifax Box style residential structures, especially around this block of Charles Street, vary significantly (Figure 16 and Figure 17). 6038 Charles Street provides a representative example of the style with minor modifications.



Figure 16: Halifax Box style house at 6111 Charles Street (Staff photo, 22 February 2023)



Figure 17: Halifax Box style homes on Clifton Street near Charles Street intersection (Staff photo, 22 February 2023)

Relationship to Surrounding Area

6038 Charles Street is surrounded by other residential buildings constructed in the Halifax Box style, with varying levels of architectural integrity. The block of Charles Street between Clifton and Robie Streets is a relatively contiguous stretch of houses of the same style and age (Figure 18). 6038 Charles Street has visual and historical connections to the immediately neighbouring properties at 6032-6034 and 6040 Charles Street which were built around the same time (Figure 19). The recently registered structure at 6032-6034 Charles Street and the subject property at 6038 Charles Street have particularly strong historical connections, as the structures were built around the same time and 6032-6034 Charles Street was occupied by James A. Ross's business partner, John H. Blakley. Both structures display the same style and near identical woodwork detailing. Ross also briefly resided at 6040 Charles Street prior to moving into 6038 Charles Street.

Surrounding Registered Heritage Properties:

6038 Charles Street is within 250m of three recently registered Halifax Box houses. Most recently, the immediate neighbouring property at 6032-6034 Charles Street was registered, which has historical associations with James A. Ross's business partner, John H. Blakley. 5812-5814 North Street, and 2539 Agricola Street are both similar in architectural style and age as these two properties, but do not contain the high level of architectural integrity shown by the subject property. The Princess Place Victorian Streetscape is also 250m to the southeast (Figure 20). These properties are constructed in the Victorian Plain architectural style, which is another term commonly applied to Halifax Box style homes.



Figure 18: Intersection of Charles and Clifton Streets, facing east (Staff photo, 16 June 2023)



Figure 19: Newly registered heritage building at 6032-6034 Charles Street, and 6038 and 6040 Charles Street (Staff photo, 16 June 2023)

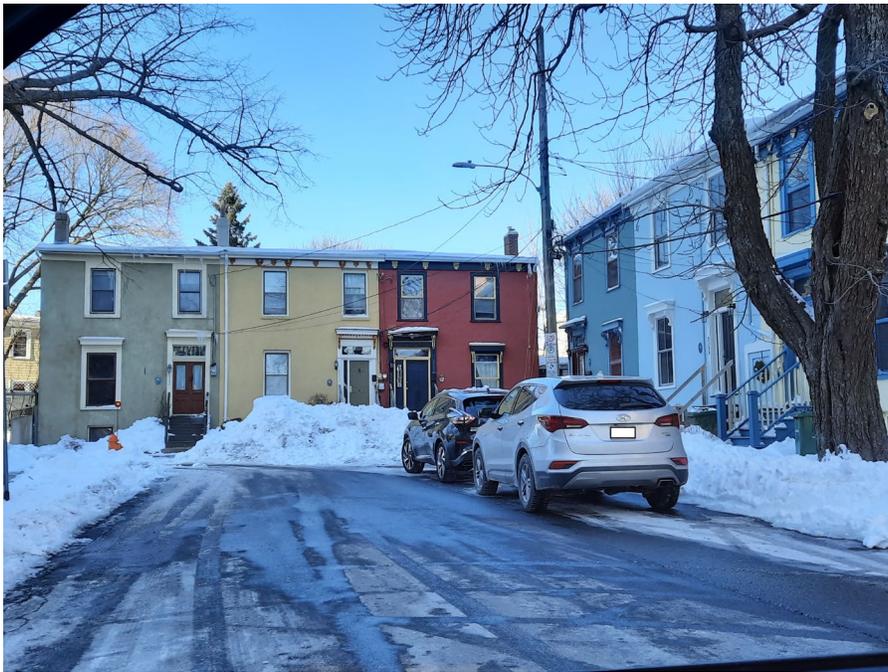


Figure 20: Registered Heritage Buildings on Princess Place (Staff photo, 09 February 2021)

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Attachment 2

Scoring for Case H00569

Criterion	Score
1. Age	13
2B. Architectural Importance	18
3. Significance of Architect/Builder	1
4A. Architectural Merit: Construction Type	2
4B. Architectural Merit: Style	2
5. Architectural Integrity	13
6. Relationship to Surrounding Area	9
Total	58