

Re: Item No. 10.2

**HALIFAX**

# Development Approval KPIs

Planning & Development

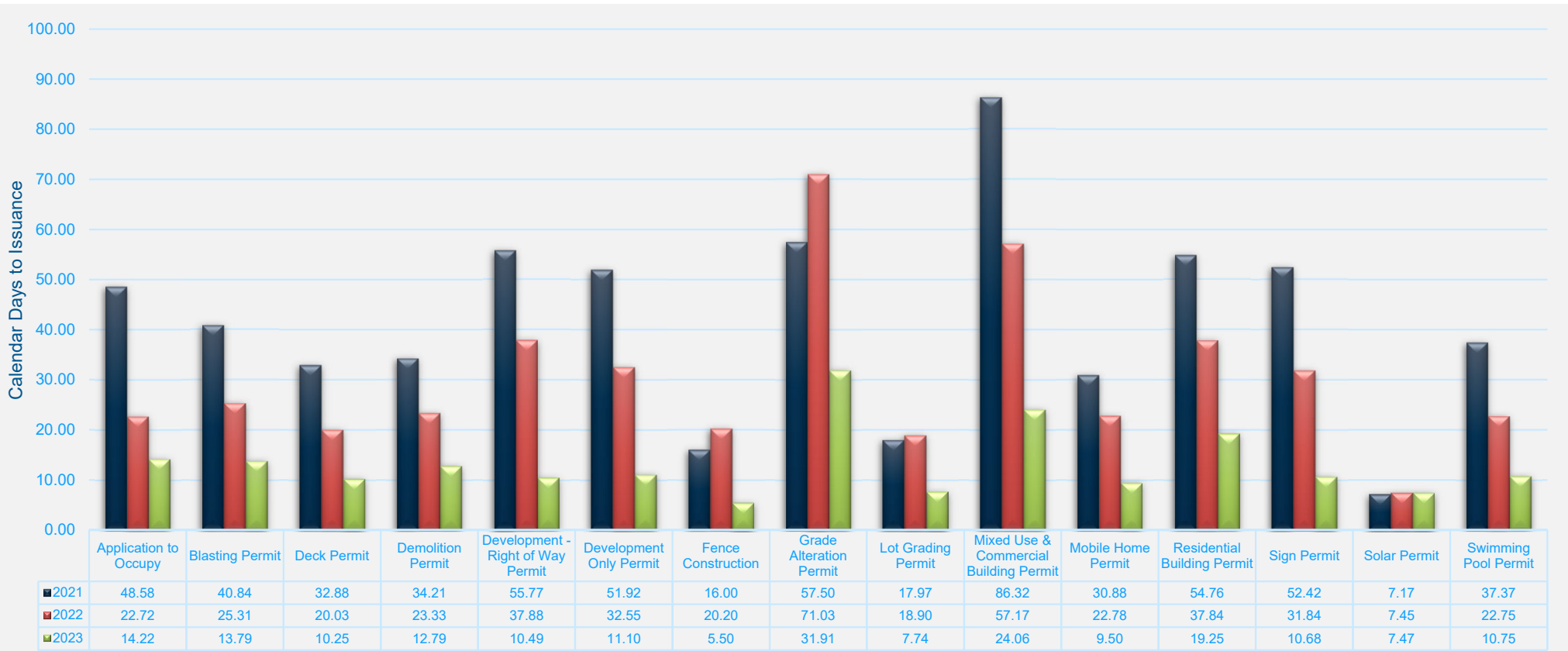
July 11, 2023  
August 22, 2023

# Request of Council

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1. Outline current timeframes and recommendations for establishing KPIs and target timeframes for the various application and permitting processes within the Planning and Development business unit;
2. Require staff to prepare a twice-yearly report on these KPIs;
3. Prepare a list of potential Charter changes that would speed up the various permitting and approval processes for Council's consideration, and;
4. Return with a report within 120 days and include options for service delivery improvements along with any additional resourcing and legislative supports.

# Average Time from Submission to Issue 2021-2023



# Permit Processing Times and Targets

## PERMITS (measured in calendar days)

Application Type	Current Processing Time (Jan 1 – Mar 31/23)	Yearly Processing Time (previous 12 months)	Target Processing Time
Residential Building Permits	17 Days	33 Days	14 Days
Mixed Use and Commercial Building Permits (MICI)	21 Days	45 Days	45 Days
Construction Permits	7 Days	12 Days	14 Days
Engineering Permits	13 Days	25 Days	45 Days
Land Use Approval Only Permits (Development Only)	13 Days	23 Days	14 Days - Minor Residential 45 Days - MICI

# Subdivision Processing Times and Targets

## SUBDIVISION

Application Type	Current Processing Time (2022 applications as end of year)	Target Processing Time
Preliminary	2.5 months	2 months
Concept	7.5 months	4 months
Final (Infill)	3 months	2 months
Final (with new infrastructure)	6 months	4 months

# Planning Application Processing Times and Targets

## PLANNING APPLICATIONS

Application Type	Current Processing Time (2020 to March 2023)	Target Processing Time
Development Agreement	8 months to 2.5 years	8 months
Discharge of a Development Agreement	4 to 8 months	4 months
Substantive Amendment to Development Agreement	10 months to 2 years	8 months
Non-Substantive Amendment to Development Agreement	2 to 6 months	3 months
Rezoning	8 to 16 months	8 months
DA or LUB Amendment with Municipal Planning Strategy Amendment	10 months to 2.5 years	18 months

# Permit Volume and Processing Time Webpage

## Residential Building Permits

(New Builds, Additions or Renovations to Low Density/6 units or less Residential)

Rolling previous 3 months: Apr 1/23 - June 30/23

Rolling Year: July 1/22 - June 30/23

**580** Permits Submitted

**518** Permits Issued

**1895** Permits Submitted

**1742** Permits Issued

**16** avg # days to issue  
(of those submitted within past 3 months)

▼ **4 days vs previous reporting period**

**28** avg # days to issue  
(of those submitted within past 3 months)

▼ **18 days vs previous year**

Permit Open Data

## Mixed Use & Commercial Building Permits

(New Builds, Additions or Renovations to Commercial Buildings & Large-Scale/High Density Residential)

Rolling previous 3 months: Apr 1/23 - June 30/23

Rolling Year: July 1/22 - June 30/23

**166** Permits Submitted

**130** Permits Issued

**555** Permits Submitted

**502** Permits Issued

**18** avg # days to issue  
(of those submitted within past 3 months)

▼ **7 days vs previous reporting period**

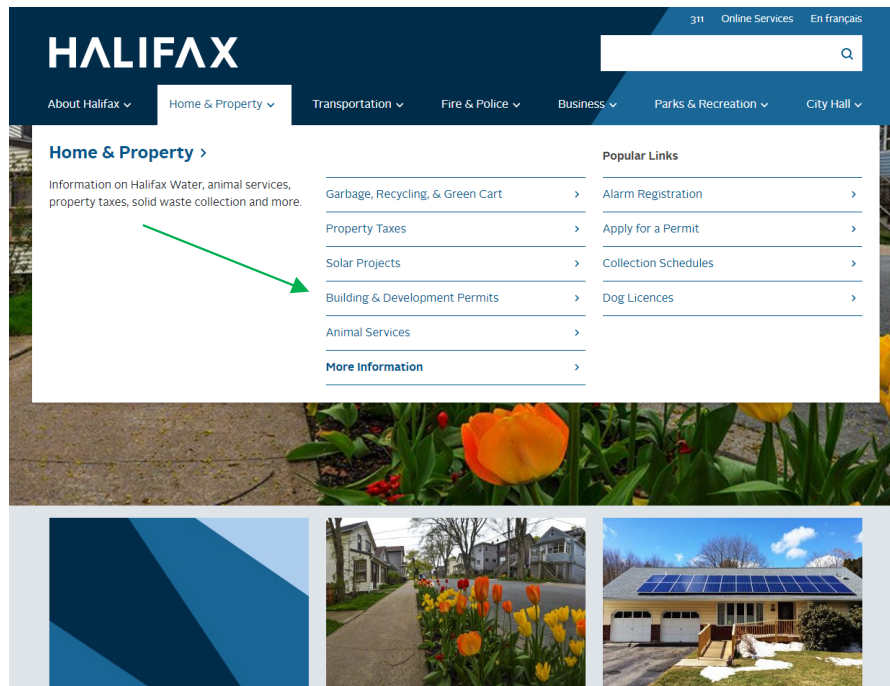
**39** avg # days to issue  
(of those submitted within past 3 months)

▼ **27 days vs previous year**

Permit Open Data

- <https://www.halifax.ca/home-property/building-development-permits/permit-volume-processing-times>

# Permit Volume and Processing Time Webpage



- <https://www.halifax.ca/home-property/building-development-permits/permit-volume-processing-times>



# Permit Volume and Processing Time Webpage

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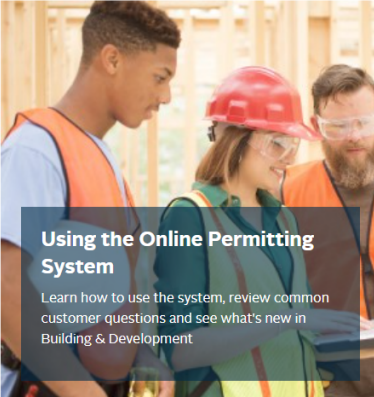
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## Building & Development Permits

Home > Home & Property > Building & Development Permits

### Welcome to our Permitting Page

Here you'll find everything you need to know about permits, what permit you'll need for your project and how to use the [new online permitting system](#). Select the type of work you are planning below to get started.



#### Using the Online Permitting System

Learn how to use the system, review common customer questions and see what's new in Building & Development

#### Apply for Planning or Subdivision Approval

Zoning confirmation, Variance, LUB Amendments, Rezoning, Heritage & Site-Plan Approval

#### Apply for a Commercial Building Permit

New or changes to commercial/mixed use buildings, signs & application to occupy

#### Apply for a House and Home Permit

Home improvements, new home construction, develop your property

#### Login/Register for an Account

### In Building & Development Permits

- Help using the online PPL&C system +
- Commercial Building Permits +
- Permit volume and processing times +
- House and Home Permits +
- Related/Additional Permits
- Streets and Services Permits
- Permit fees
- Building code & regulatory information +

# Legislative Changes

- Conversion of notices from newspaper advertisements to website postings;
- Shortening of the review time for planning documents by the Provincial Director of Planning;
- The ability to provisionally approve a development agreement associated with supporting plan and by-law amendments;
- The ability for a development agreement to contain terms and requirements for supporting off-site upgrades;
- Suspension of the referral of planning decision to community councils or any advisory committee (including a planning advisory committees) for three years;
- Decision-making on discharge of existing development agreements by the CAO; and
- Decision-making on non-substantive amendments to development agreements by the Development Officer.

## Halifax Regional Municipality Charter

### CHAPTER 39 OF THE ACTS OF 2008

*as amended by*

2008, c. 41; 2009, cc. 15, 16; 2010, cc. 16, 52; 2010, c. 64, ss. 3, 4; 2011, c. 4, ss. 2-5; 2011, c. 16; 2011, c. 17, s. 1; 2012, c. 59; 2012, c. 63, ss. 5, 6; 2013, c. 18; 2014, c. 15; 2014, c. 16, ss. 1-10; 2014, cc. 49, 50; 2015, c. 20; 2015, c. 24, ss. 4-6; 2016, c. 9; 2016, c. 12, s. 2; 2016, c. 13, ss. 3, 4; 2016, c. 22; 2016, c. 25, ss. 3, 4; 2017, c. 13, ss. 12, 13, 15-17, 18 (in part); 2018, c. 1, Sch. A, ss. 116-119; 2018, cc. 9, 10; 2018, c. 17, ss. 7-10; 2018, c. 33, s. 18; 2018, c. 39, ss. 11-20; 2019, c. 19, ss. 10-18; 2019, c. 36, s. 2; 2020, c. 16, s. 3; 2021, c. 7, s. 7; 2021, c. 11; 2021, c. 12, s. 2; 2021, c. 14, s. 3; 2021, c. 33, ss. 4-6; 2022, c. 4, Sch., ss. 30-35; 2022, c. 13, ss. 1, 2, 3(2)(a), (3), (4)(a), (5) & (6), 4(1), (2) & (3)(a); 5-8, 9(1) & (2), 10-12; 2022, c. 38, ss. 17-23; 2022, c. 48; 2022, c. 50, s. 2; 2023, c. 2, ss. 29-34



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Halifax

# HALIFAX

# Next Steps



# Thank You

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