

HALIFAX

Appeal Hearing

Site Plan Approval 23653

1109 Fall River Road, Fall River

North West Community Council, March 7

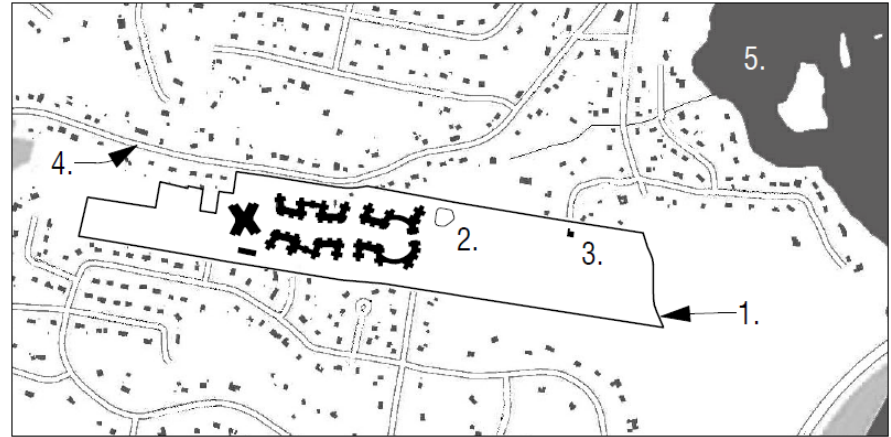
Slide 1

Applicant Proposal

Applicant: Vision 7 Developments Ltd.

Location: 1109 Fall River Rd

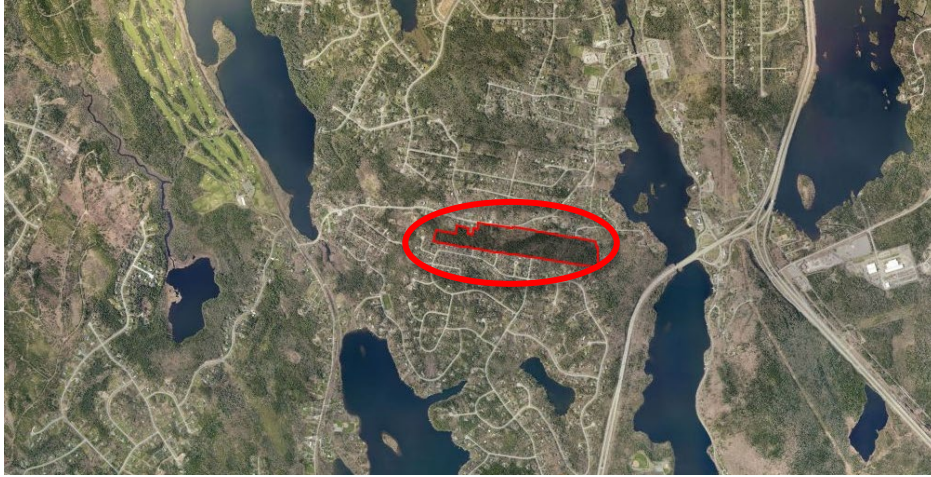
Proposal: Construct four buildings comprising of 500 units for seniors housing, and one building containing approximately 140 nursing home beds



1. site boundary
2. stormwater pond
3. wastewater treatment plant
4. Fall River Road
5. Thomas Lake

DRAWING SCALE = 1 : 20,000

Site Context



General Site location in Red



Site Boundaries in Red

Background

The River Lakes Secondary Planning Strategy (SPS) identifies 1109 Fall River Road as an Opportunity Site (Site B) to address the pressures of the growing and aging population in Fall River.

- March 2019, the Planning Districts 14 and 17 Municipal Planning Strategy and Land Use By-Law were amended by Regional Council to include the RLRC (River Lakes Residential Campus) Zone.
- April 2021, the LUB was amended by North West Community Council to include “Nursing Home” as a permitted use within the RLRC Zone.

Zoning

Planning Districts 14 and 17 Land Use By-Law

Zone: River Lakes Residential Campus Zone (RLRC)

Permitted Uses:

Multiple Unit Dwellings

Nursing Homes

Office

Day Care Facilities

Medical Clinic

Personal Service

Park and Open Space

Recreation Uses

Required Uses:

Multiple Unit Dwellings

Amenity Area

Office

Health and Wellness Centre

Personal Service

Zoning

14G.3 Development permit in RLRC zone

- (a) No Development Permit shall be issued by the Development Officer for any use permitted in the RLRC (River-Lakes Residential Campus) Zone unless Site Plan Approval has been granted by the Development Officer for the development.

- (b) No development permit shall be issued for a development in the RLRC zone unless the required uses and the requirements set out in sections 14G.2, 14G.4, 14G.5, 14G.6, 14G.7, 14G.8 and **14G.9** are met.

Development Officer's Assessment of the Site Plan Approval Request:

The Charter sets out the following criteria by which the Development Officer shall approve an application for site plan approval:

*“247 (1) A development officer shall approve an application for site plan approval unless
a) the matters subject to site-plan approval do not meet the criteria set out in the land-use by-law; or
(b) the applicant fails to enter into an undertaking to carry out the terms of the site plan.”*

To be approved, any proposed site plan approval must not conflict with any of the site plan approval requirements of the RLRC Zone of the LUB.

Approved Site Plan

A Proposed Site Plan for an Age-in-Place Community

The proposed community would provide housing for seniors to live comfortably in the Fall River area. Its 500 apartments encourage "outdoor living" with generous verandahs and winter gardens that connect indoor to outdoor spaces. A shared street invites people of all ages and abilities to move between buildings. Residents in need of greater care have access to homecare as well as 100 full-care beds in the nursing home on site.

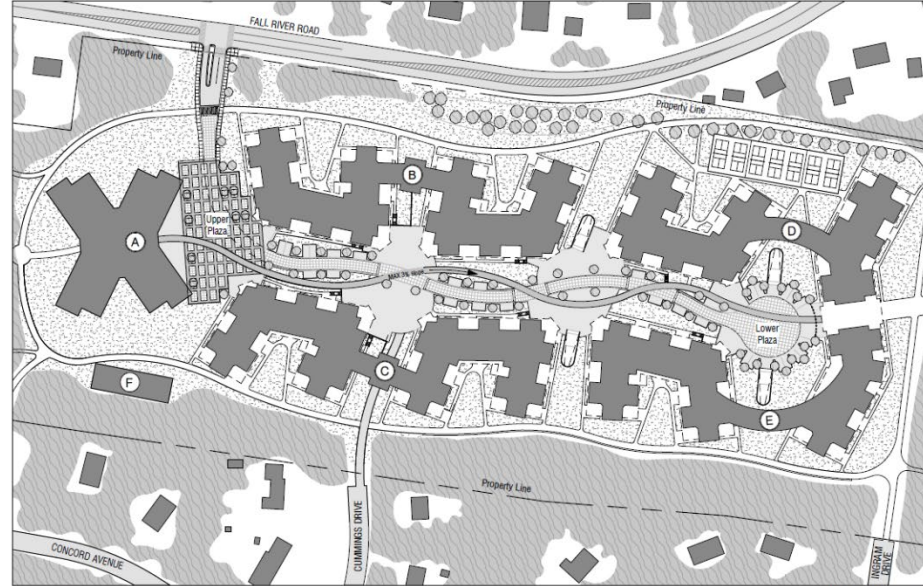


- DRAWING SCALE = 1 : 20,000
1. site boundary
 2. stormwater pond
 3. wastewater treatment plant
 4. Fall River Road
 5. Thomas Lake

LOCATION:	1109 & 1008 Fall River Road (PID 00506501)
HRM FILE #:	23653
BUILDINGS:	<p>(A) Nursing Home - 100 beds</p> <p>(B - E) Apartments - 8 three bedroom - 258 two bedroom - 256 one bedroom</p> <p>(F) Community Centre</p>
PARKING:	580 underground, 53 in shared street
LOT AREA:	50 Acres (20 hectares)
FOOTPRINTS:	The gross building footprint of each building will not exceed 45,000 SF

Other Notes:

1. The Cummings Dr. entrance is for emergency vehicles only.
2. The Ingram Dr. entrance is to be closed to motor vehicles.
3. Nova Scotia Environment has approved a private wastewater treatment plant for this community.
4. A stormwater management system will be in place to control stormwater and phosphorous.



SITE PLAN

DRAWING SCALE = 1 : 1500



ELEVATION OF BUILDING "B"

DRAWING SCALE = 1 : 1000

- existing woodland to remain
- soft landscaping: sod, shrubs, etc.
- new trees
- retaining wall
- ▭ building footprint
- verandah / eaves / winter garden
- dark concrete (barrier free walkway)
- medium-tone concrete (parking/walking/loading)
- light-tone concrete (driving / cycling)
- two-tone concrete (upper plaza)

Attachment B- Approved Site Plan and Elevation

Site Plan Approval Criteria

Section 14G.9: General Requirements: Site Plan Approval Criteria

Criteria		Review Comment
1	<i>Applications for Site Plan Approval shall be in the form specified in Appendix B.</i>	The application submitted meets all submission requirements as outlined in Appendix B of the Planning Districts 14 and 17 Land Use By-Law.
2	<i>All Applications for Site Plan Approvals shall be accompanied by a site plan drawn to scale and of sufficient detail to address all matters identified in this Section.</i>	The site plan submitted is drawn to scale and includes sufficient detail to address all matters identified in this section.
3 (a)	<i>All proposed and existing buildings shall be located centrally on the site, as generally shown on Schedule O as “General Area of Development”;</i>	The site plan shows all proposed and existing buildings to be located centrally on the site, as generally shown on Schedule O as “General Area of Development”.

Approved Site Plan

A Proposed Site Plan for an Age-in-Place Community

The proposed community would provide housing for seniors to live comfortably in the Fall River area. Its 500 apartments encourage "outdoor living" with generous verandahs and winter gardens that connect indoor to outdoor spaces. A shared street invites people of all ages and abilities to move between buildings. Residents in need of greater care have access to homocare as well as 100 full-care beds in the nursing home on site.



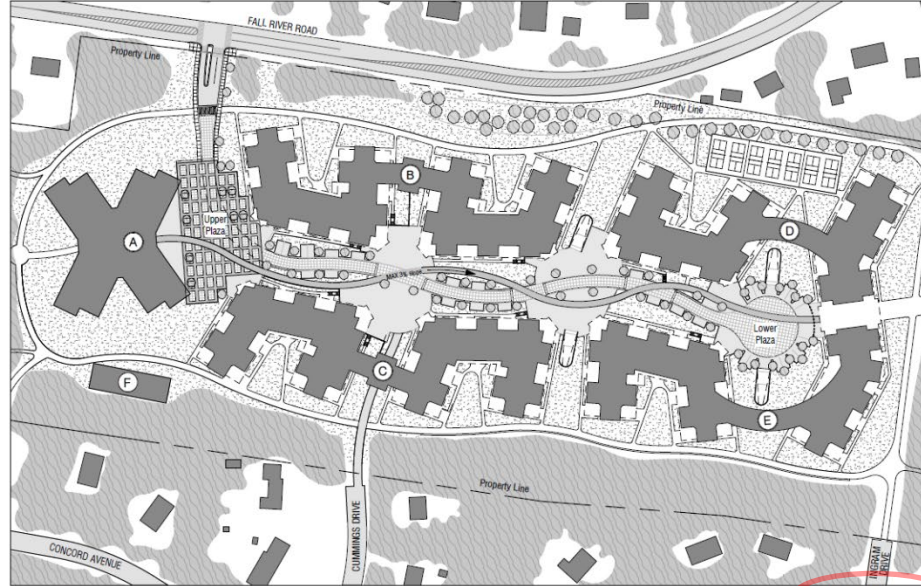
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LOCATION:	1109 & 1008 Fall River Road (PID 00506501)
HRM FILE #:	23653
BUILDINGS:	<ul style="list-style-type: none"> (A) Nursing Home - 100 beds (B - E) Apartments - 8 three bedroom - 235 two bedroom - 255 one bedroom (F) Community Centre
PARKING:	580 underground, 53 in shared street
LOT AREA:	50 Acres (20 hectares)
FOOTPRINTS:	The gross building footprint of each building will not exceed 45,000 SF

Other Notes:

1. The Cummings Dr. entrance is for emergency vehicles only.
2. The Ingram Dr. entrance is to be closed to motor vehicles.
3. Nova Scotia Environment has approved a private wastewater treatment plant for this community.
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SITE PLAN

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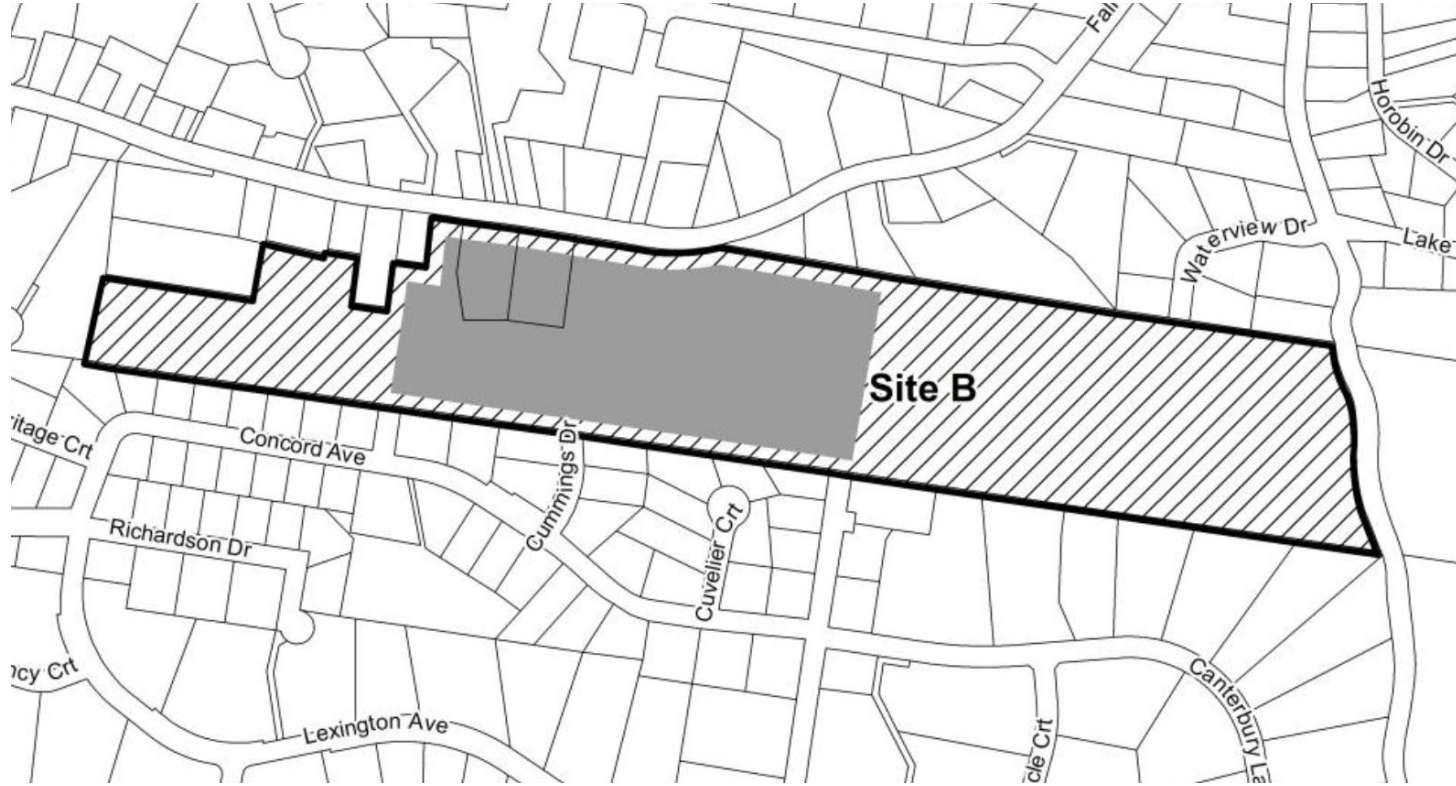


ELEVATION OF BUILDING "B"

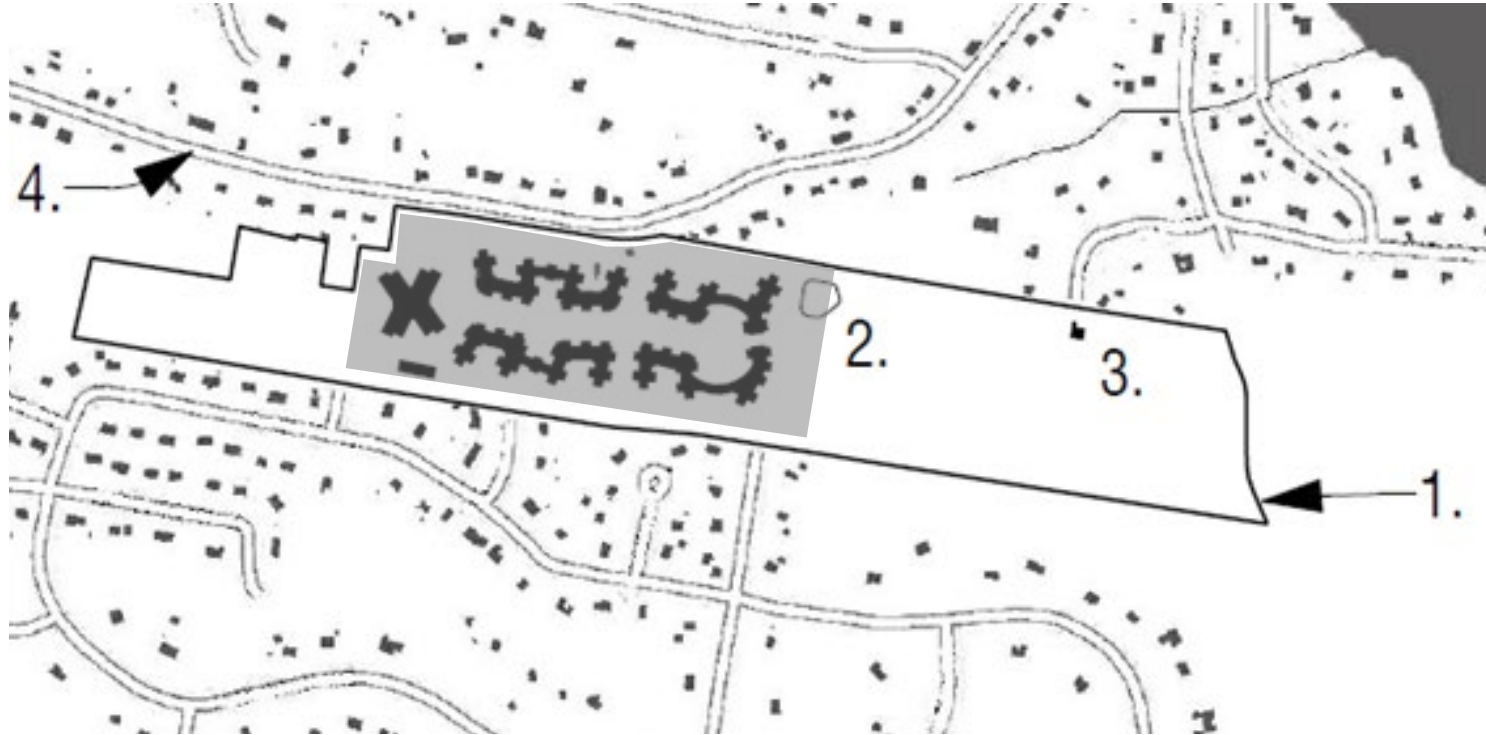
DRAWING SCALE = 1 : 1000

Attachment B- Approved Site Plan and Elevation

Schedule O



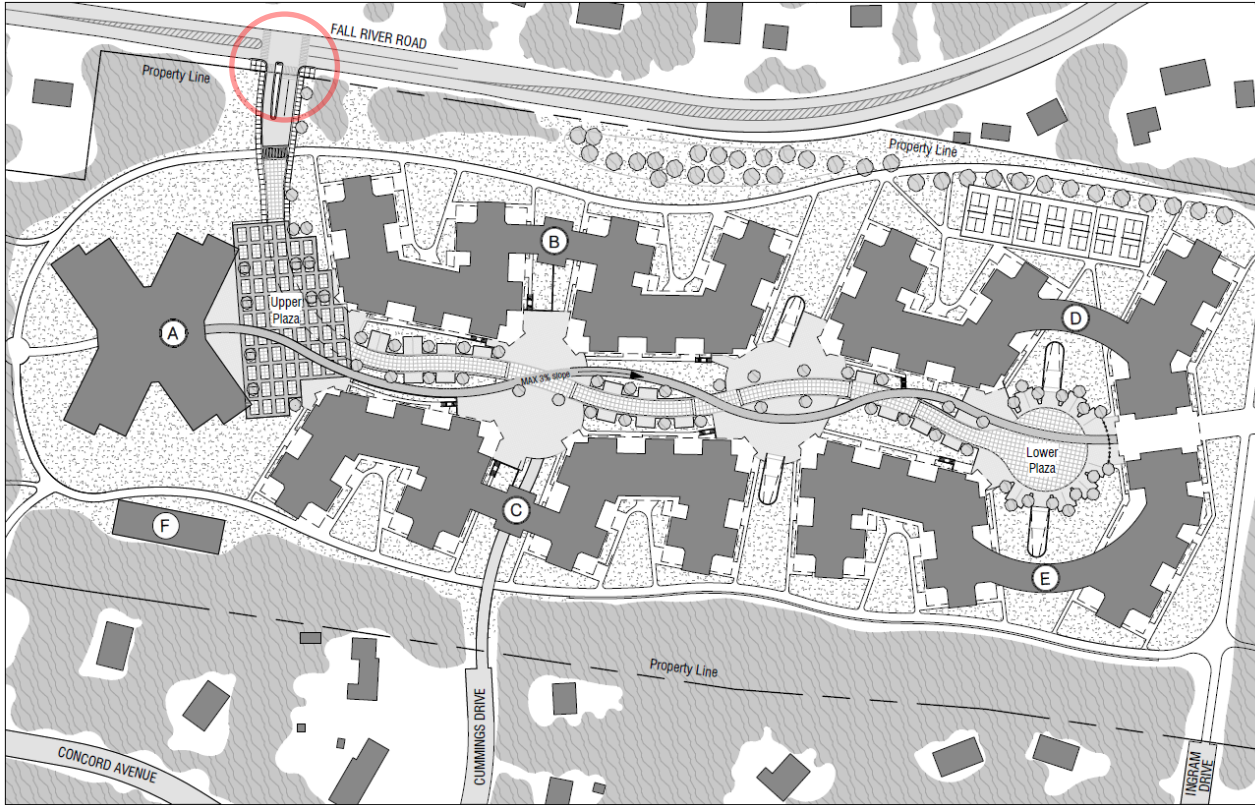
Schedule O con't



Sect. 14G.9 - Approval Criteria

Criteria		Review Comment
3 (b)	<i>All proposed parking and loading facilities shall be located: (i) in close proximity to the buildings, and (ii) centrally on the development site, as generally shown on Schedule O as “General Area of Development”. (Parking may include underground parking).</i>	The site plan shows all proposed parking and loading facilities to be located in close proximity to the buildings and within the “General Area of Development”.
3 (c)	<i>Driveway access shall be limited to one access to Fall River Road and any existing driveway access that the Development Officer determines is no longer necessary shall be removed;</i>	The site plan shows one proposed driveway access to Fall River Road.

Approved Site Plan



LOCATION: 1109 & 1008 Fall River Road
(PID 00506501)

HRM FILE #: 23653

BUILDINGS: **A** Nursing Home - 100 beds
 - 8 three bedroom
 - 236 two bedroom
 - 256 one bedroom
B - E Apartments
F Community Centre

PARKING: 580 underground; 53 in shared street

LOT AREA: 50 Acres (20 hectares)

FOOTPRINTS: The *gross building footprint* of each building will not exceed 45,000 SF

Other Notes:

1. The Cummings Dr. entrance is for emergency vehicles only.
2. The Ingram Dr. entrance is to be closed to motor vehicles.
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4. A stormwater management system will be in place to control stormwater and phosphorous.

Sect. 14G.9 - Approval Criteria

Criteria		Review Comment
3 (d)	<i>An emergency secondary access shall be provided to Cummings Drive or Ingram Drive, as required;</i>	The site plan shows the proposed emergency secondary access to Cummings Drive.
3 (e)	<i>Landscaping, hedges, or fencing shall be used as buffering along the yard setbacks, parking areas, and along property lines;</i>	The site plan shows proposed landscaping and utilizes existing vegetation along the yard setbacks, parking areas, and along property lines.
3 (f)	<i>Within the non-disturbance area, (i) existing natural vegetation shall be retained, and (ii) activity shall be limited to walkways and trails not exceeding 3 metres in width, conservation uses, driveway crossings, and infrastructure for wastewater, stormwater, and water, and water control structures;</i>	The site plan shows existing natural vegetation is to remain within the non-disturbance area, and activity is limited to walkways and trails, driveway crossings, and infrastructure for wastewater, stormwater and water, and water control structures.

Approved Site Plan



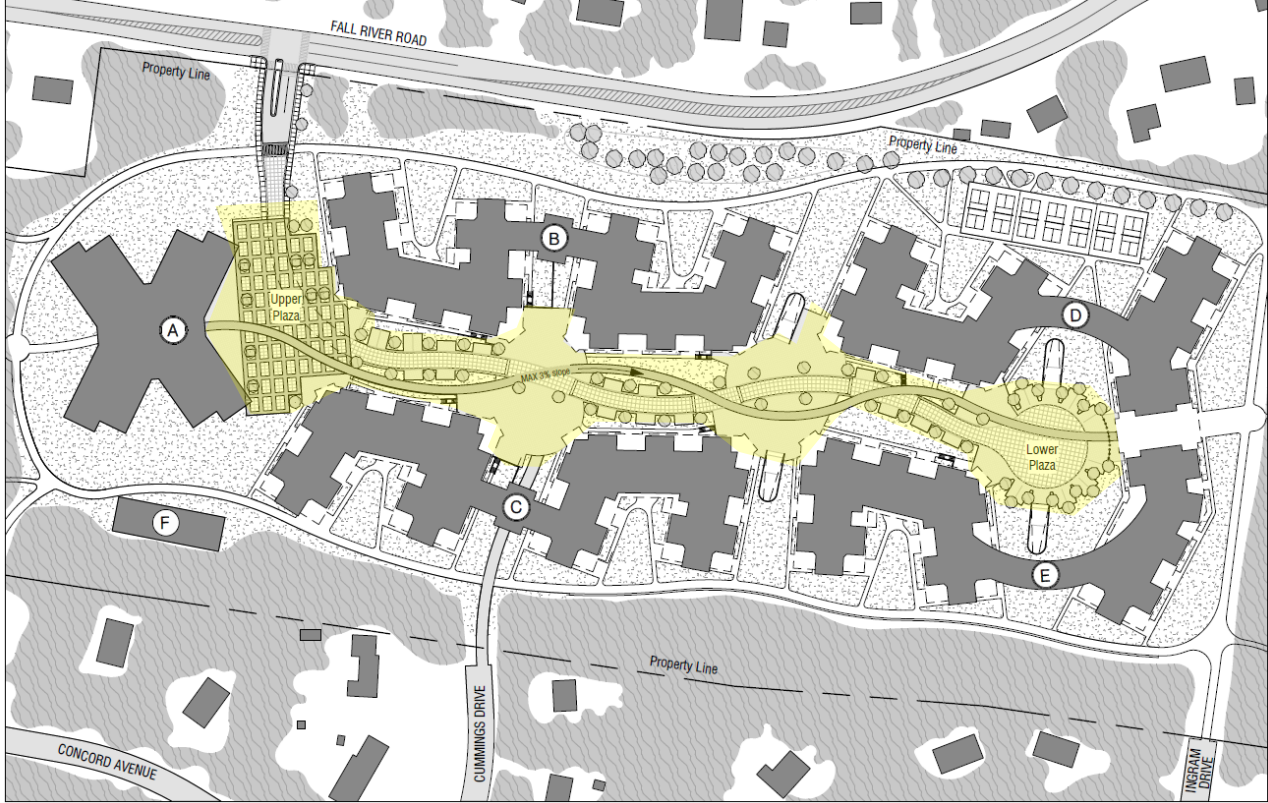
- existing woodland to remain
- soft landscaping: sod, shrubs, etc.
- new trees
- retaining wall
- building footprint
- verandah / eaves / winter garden
- dark concrete (barrier free walkway)
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- light-tone concrete (driving / cycling)
- two-tone concrete (upper plaza)

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Sect. 14G.9 - Approval Criteria

Criteria	Review Comment
<p>3 (g) <i>All proposed walkways shall be:</i></p> <ul style="list-style-type: none"><i>(i) located to provide safe and accessible pedestrian access to the buildings from the parking area and from the street,</i><i>(ii) surfaced with a non-slip material, such as brick, concrete, or any other suitable material to clearly delineate pedestrian walkways from vehicle circulation areas, and</i><i>(iii) continuous, well-lit, free of obstruction, with low curbs, and accommodate mobility devices such as walkers, wheelchairs and scooters;</i>	<p>The site plan shows connected pedestrian walkways made of suitable materials. The applicant has confirmed in writing that the walkways will be well-lit, free of obstruction, with low curbs and will accommodate mobility devices such as walkers, wheelchairs and scooters.</p> <p>These criteria will be further reviewed during the building permit review.</p>

Approved Site Plan



- existing woodland to remain
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Sect. 14G.9 - Approval Criteria

Criteria		Review Comment
3 (h)	<i>All lighting devices shall be designed to direct light to driveways, parking areas, loading area, building entrances and walkways, and arranged to divert the light away from streets, adjacent lots, and buildings;</i>	The applicant has confirmed that all lighting devices shall be designed to direct light to driveways, parking areas, loading area, building entrances and walkways, and arranged to divert the light away from streets, adjacent lots, and buildings, using the appropriate fixtures. These criteria will be reviewed in further detail during the building permit review.
3 (i)	<i>Different purpose oriented lighting shall be provided, such as flush mount lighting for building accent, or ground-oriented lighting along pathways,</i>	
3 (j)	<i>Lighting shall comprise full cut-off fixtures that are properly shielded to reduce the spillover of lighting onto adjacent properties;</i>	

Sect. 14G.9 - Approval Criteria

Criteria		Review Comment
3 (k)	<i>Any alteration of land, including the removal of topsoil, shall be undertaken in a manner which does not impact negatively on the natural function of any watercourse abutting the property or located on the property including runoff and erosion;</i>	The Storm Drainage Plan is included in the report as Attachment I. In addition, stormwater management and erosion and sedimentation control will be reviewed in detail at the permit stage under By-Law G-200 “Respecting Grade Alteration and Stormwater Management Associated with Land Use”.
3 (l)	<i>Measures are identified for the effective drainage of stormwater within the development site as well as any downstream or upstream areas which may be affected by the development; and</i>	

Sect. 14G.9 - Approval Criteria

Criteria		Review Comment
3 (m)	<i>Site design and layout shall take into consideration the soil conditions and shall minimize the amount of clearing and grubbing on steep slopes or erosive soils.</i>	<p>The applicant has confirmed that the site plan minimizes grubbing and excavation, while providing a barrier-free shared street connecting all the buildings. The applicant is required to comply with By-Law G-200 “Respecting Grade Alteration and Stormwater Management Associated with Land Use”.</p> <p>These criteria will be reviewed in further detail during the building permit review.</p>

Sect. 14G.9 - Approval Criteria

Criteria		Review Comment
4	<i>The notification distance for the approval or refusal of a Site Plan Approval in the RLRC zone shall be 328.08 feet (100 metres) from the property boundary of the lot that is the subject of the approval or the refusal.</i>	Property owners within 328.08 feet (100 metres) from the property boundary of the subject site were notified of the site plan approval and were provided a copy of the site plan.
5	<i>All matters considered by site plan approval shall be adequately maintained.</i>	This requirement will be ongoing after the development is completed.

Points of Appeal

The Site Plan Approval was mailed out to property owners within 328.08 feet (100 metres) from the property boundary of the subject site. The following points of appeal were received:

- Increases to traffic
- Environmental concerns
- Form and density concerns
- Impacts of blasting
- Impacts to schools/EHS

Appeal
Period



14 days

Notifications
Mailed



111

Appeals
Received



38

Staff Recommendation

In accordance with Administrative Order One, the following motion shall be placed on the floor:

That the appeal be allowed.

Community Council approval of the appeal will result in refusal of the site plan approval.

Community Council denial of the appeal will result in approval of the site plan approval.

Staff recommend that North West Community Council deny the appeal.

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Thank You

Trevor Creaser



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