

Case 22547: Municipal Planning Strategy and Land Use By-law Amendments

HALIFAX

Winslow Drive, Upper Tantallon

North West Planning Advisory Committee

March 2, 2022

Applicant Proposal

Applicant: Zzap Consulting Inc. on behalf of Ramar Construction Ltd.

Location: Winslow Dr and Hammonds Plains Rd, Upper Tantallon

- Lot 4A – 445 Winslow Drive (41277765)
- Lot 4B (PID 41277773)
- Lot 3 (PID 41249681)

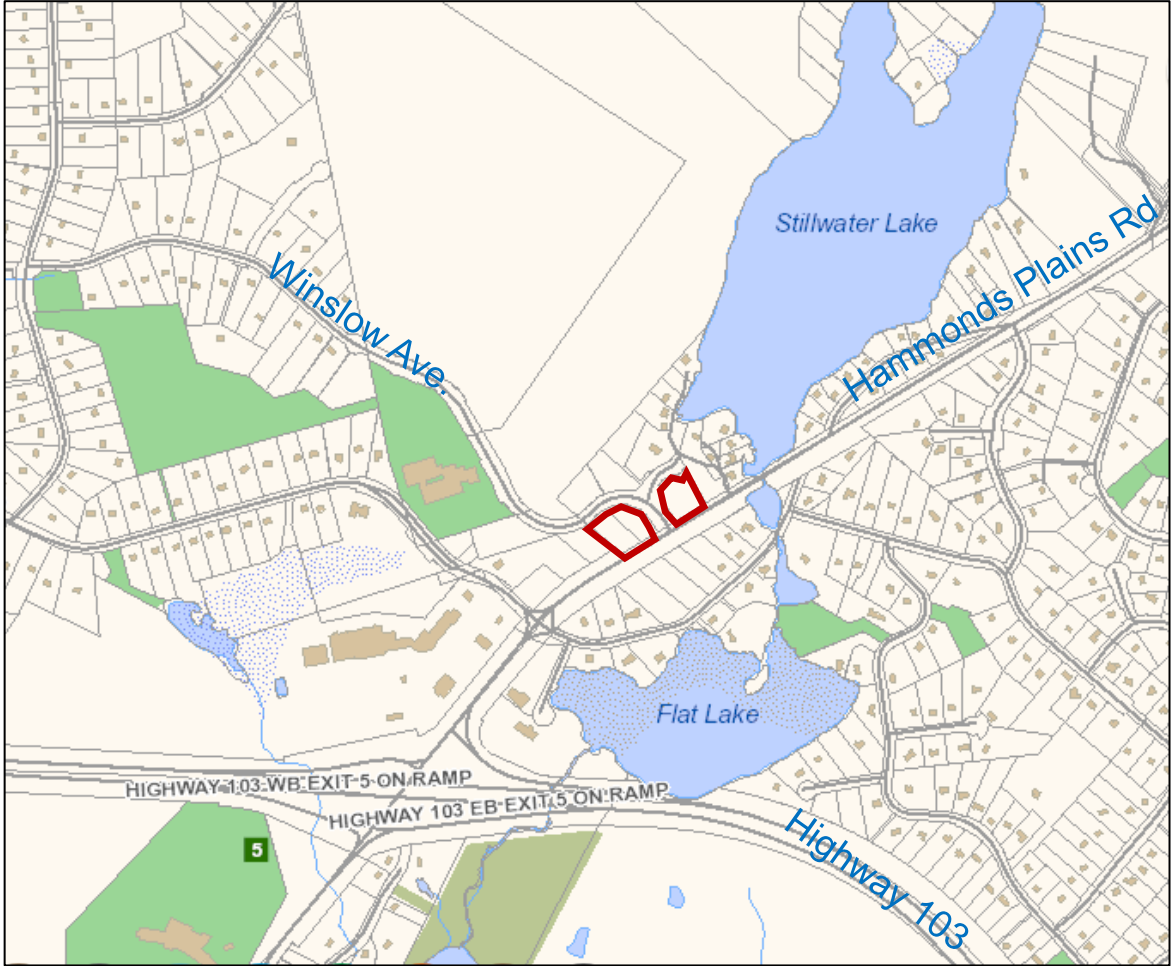
Proposal: To construct 3 commercial buildings (on 3 separate lots) in accordance with the MU-1 Zone of the Land Use By-law for Planning Districts 1 & 3 (St Margarets Bay)

Site Context

Winslow Drive, Upper Tantallon



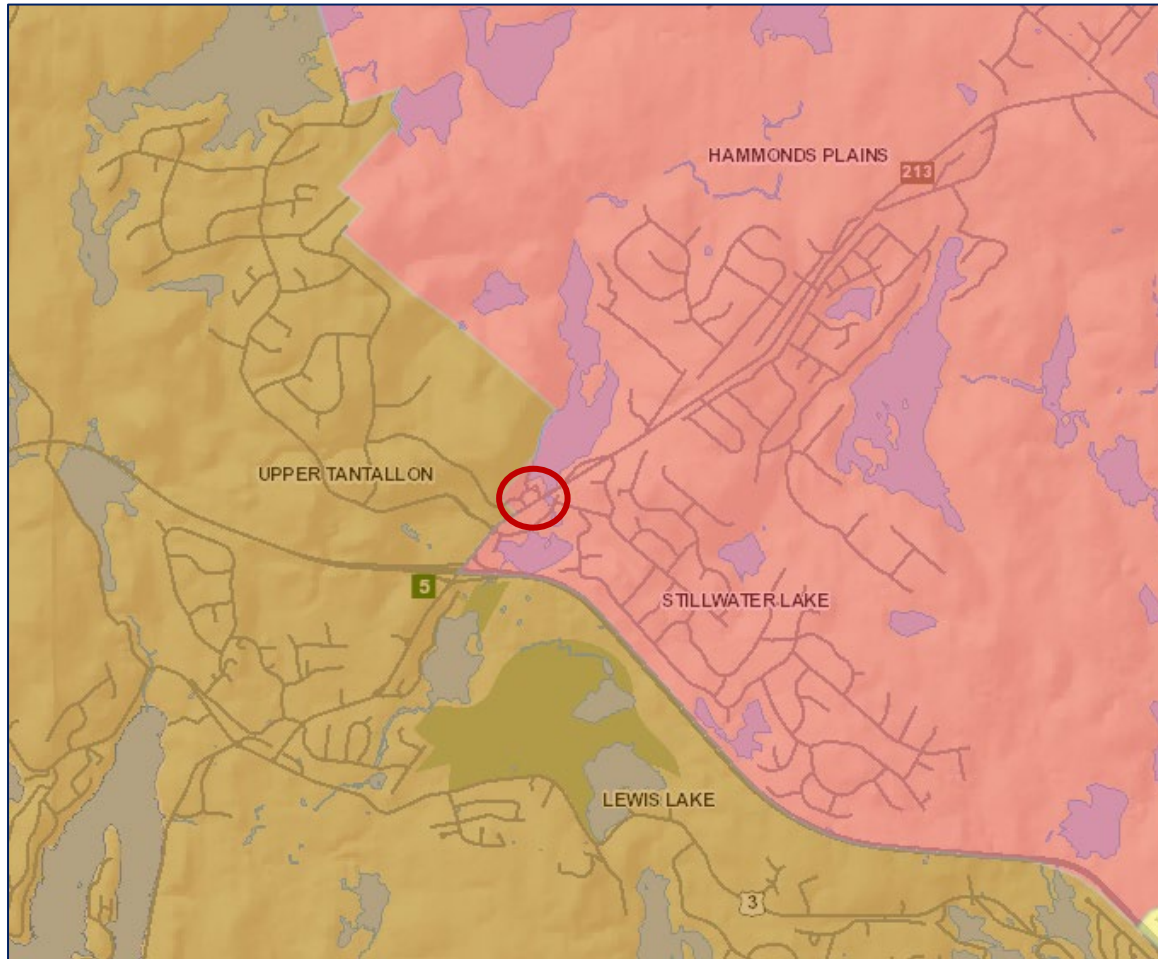
General Site location in Red



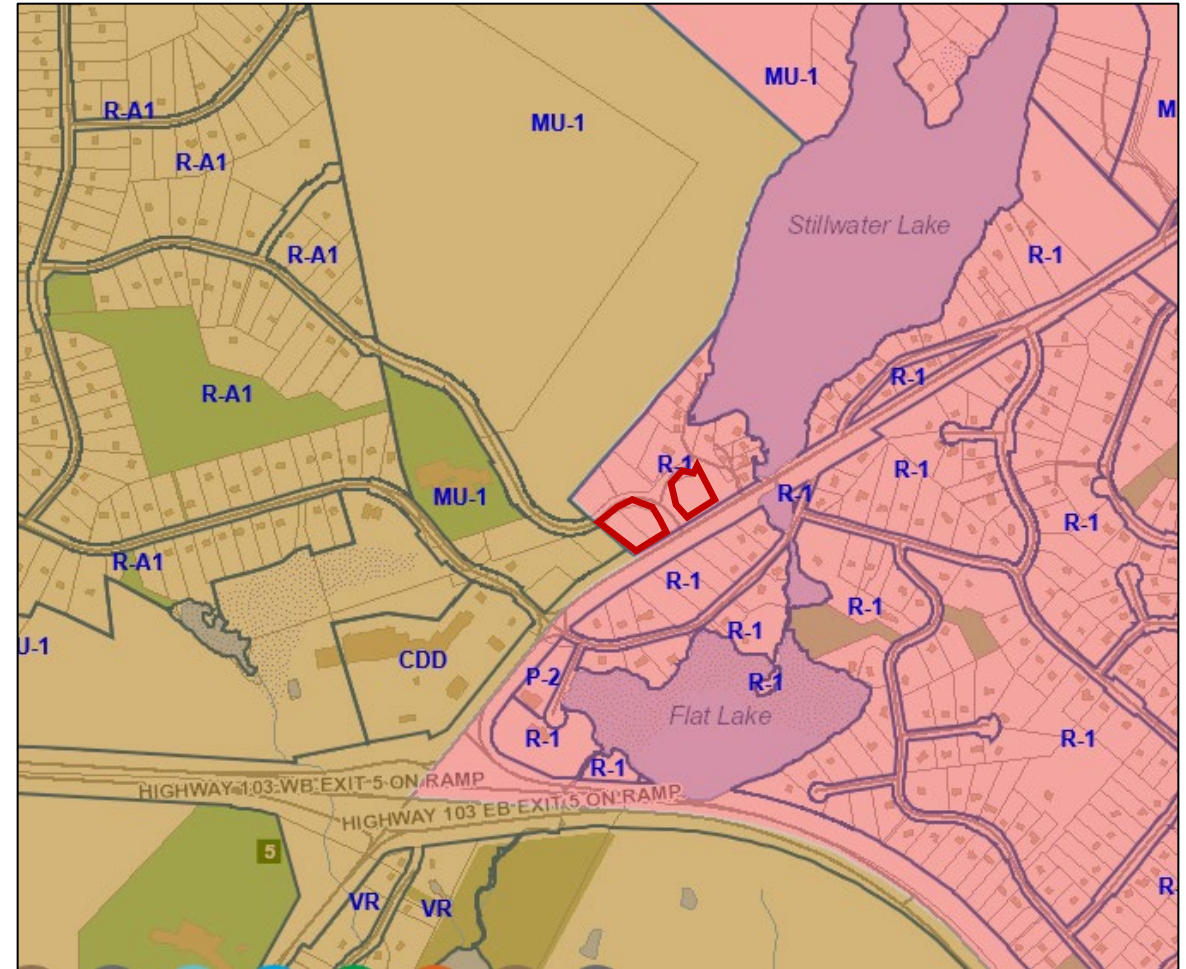
Site Boundaries in Red

Site Context – with Plan Area shading

Winslow Drive, Upper Tantallon

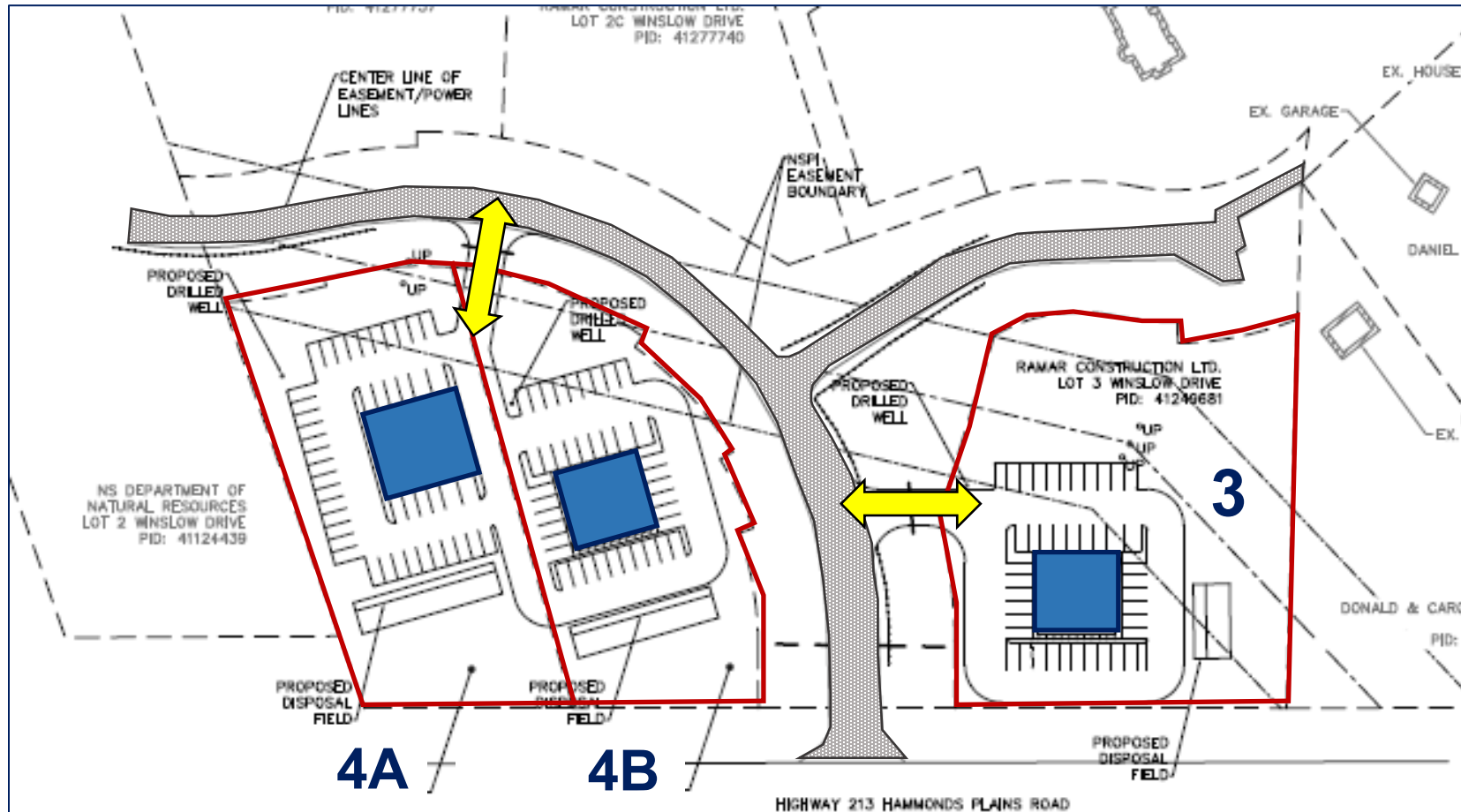


General Site location in Red



Site Boundaries in Red

Previous Proposal



Site Plan

Proposed Details

- 3 Existing Lots (red lines)
- 3 Commercial Buildings (blue squares)
 - 2 storeys
 - 696 m² gross floor area (7,500 sq.ft.)
- 2 Driveways (yellow arrows)

HALIFAX

Initiation Report - 2019

Applicant Rational:

- A boundary realignment would enable a development that is consistent with surrounding context:
 - The site currently abuts properties that are zoned MU-1 within the Planning District 1&3 plan area
 - Commercial uses have been developed.

- The presence of a Nova Scotia Power easement assures separation and buffering between residential development and the proposed commercial development.

Initiation Report - 2019

Staff Review:

The site configuration and location poses challenges in relation to residential development:

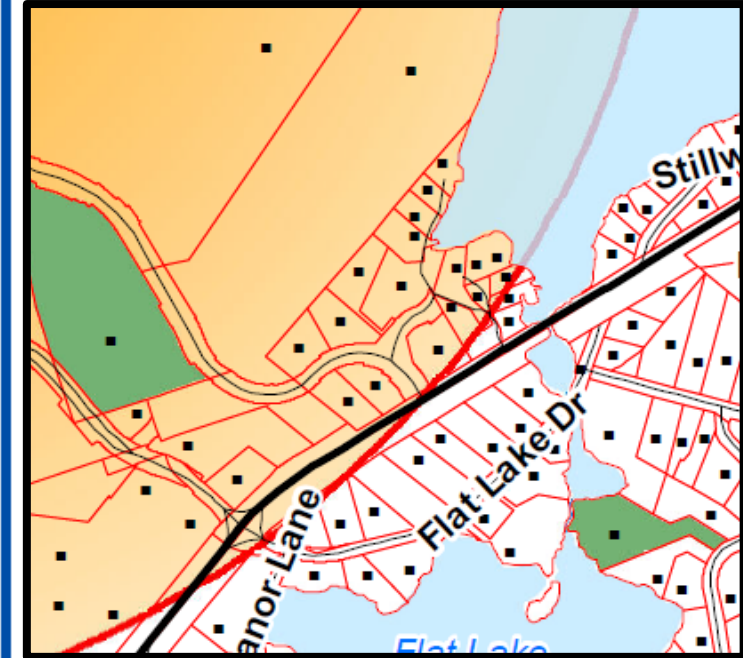
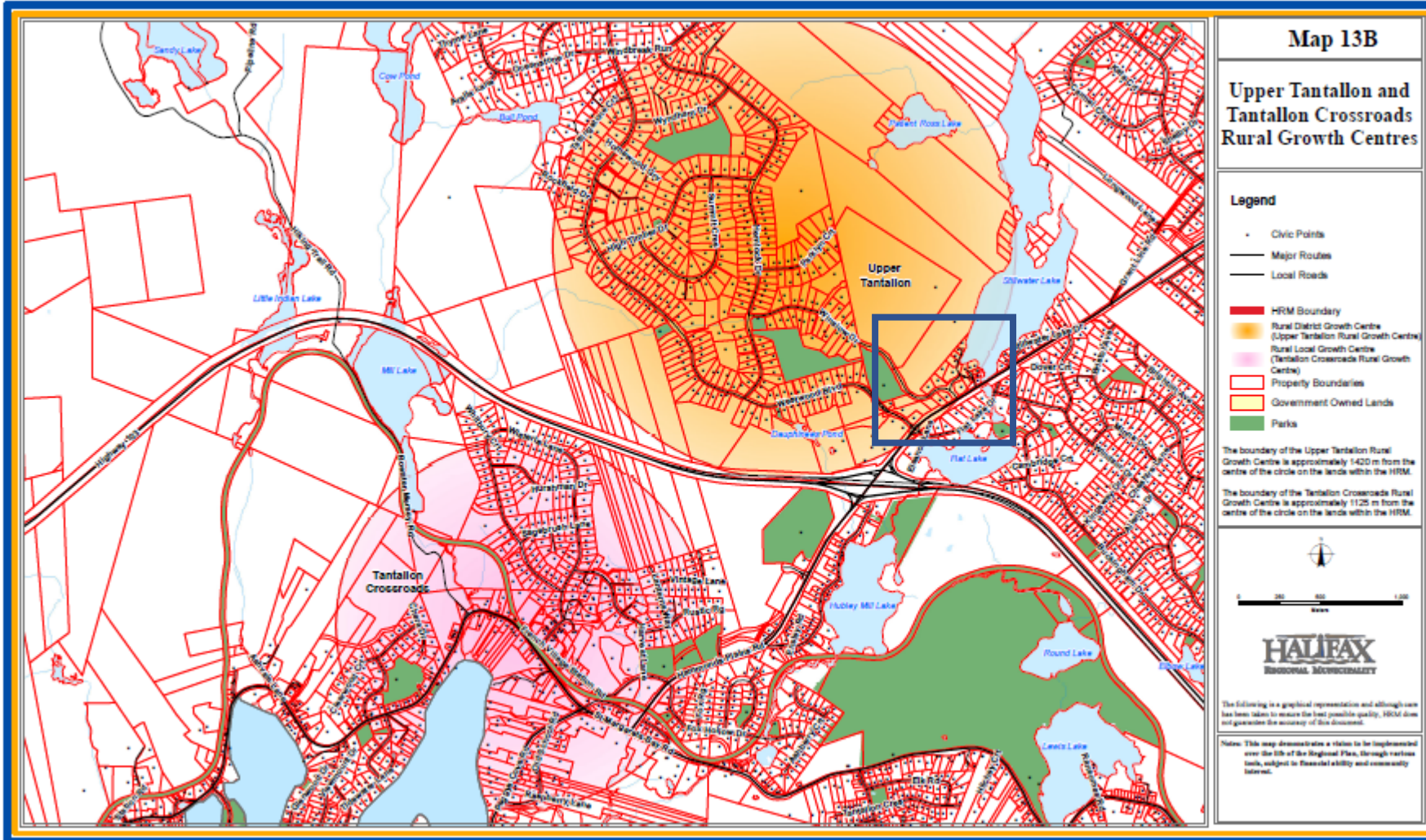
- the presence of Nova Scotia Power infrastructure; and
- the existing street right-of-ways (impact of traffic: noise, headlights, privacy).

A full review would consider the following:

- the scope and appropriateness of different planning tools, such as:
 - re-zoning or zone amendments;
 - development agreements; or
 - site plan approvals.
- The specific types of commercial uses that would be appropriate for the site circumstances;
- the feedback received through community engagement initiatives; and
- the feedback received from other HRM departments and teams.

The logo for HALIFAX, featuring the word "HALIFAX" in a bold, blue, sans-serif font. The letters are spaced out, and the "H" and "A" are slightly larger than the other letters.

Regional Plan – Map 13B

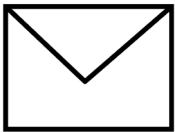


HALIFAX

Public Consultation

- Level of engagement completed (to date) has been consultation achieved through:
 - A webpage on Halifax.ca;
 - A mail out notification; and
 - A virtual public information meeting held on December 9, 2020

Notifications Mailed



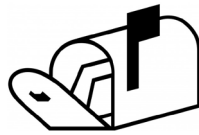
28

Meeting Attendees

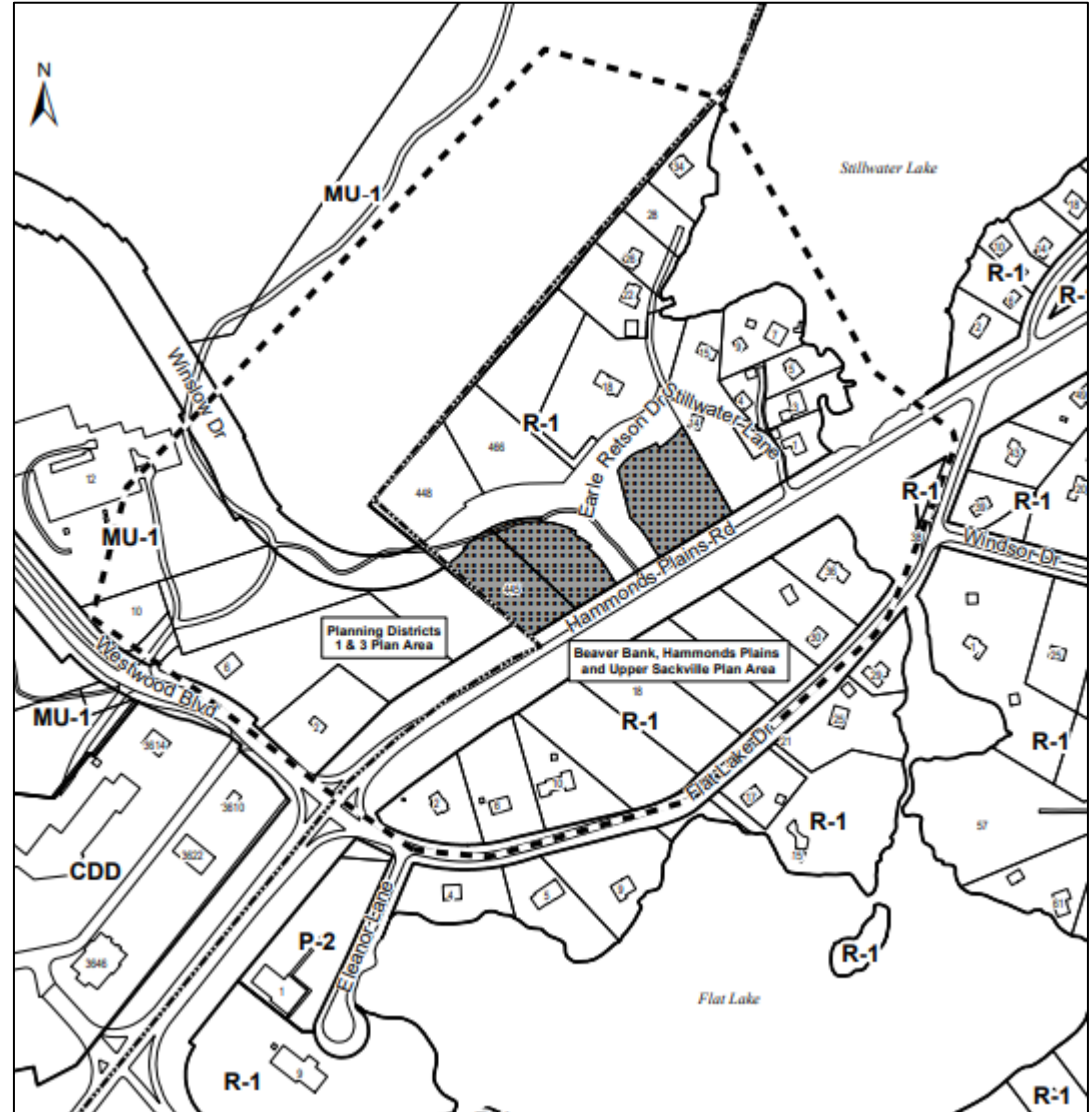


8

Letters/ Emails Received



13



Public Feedback

- Traffic
- Runoff impacting Stillwater Lane (water supply);
- Impact on wildlife
- Loss of wetland on Lot 3
- Light pollution
- Noise pollution (both during construction, and post development)
- Impact of refuse (attraction of pests and smell)
- Disruption to quiet, private, and safe residential area
- Potential for theft and destruction of property
- Negative impact on property values

HALIFAX

NWPAC Recommendation 3 March 2022

NWPAC recommended rejection of the application due to the following:

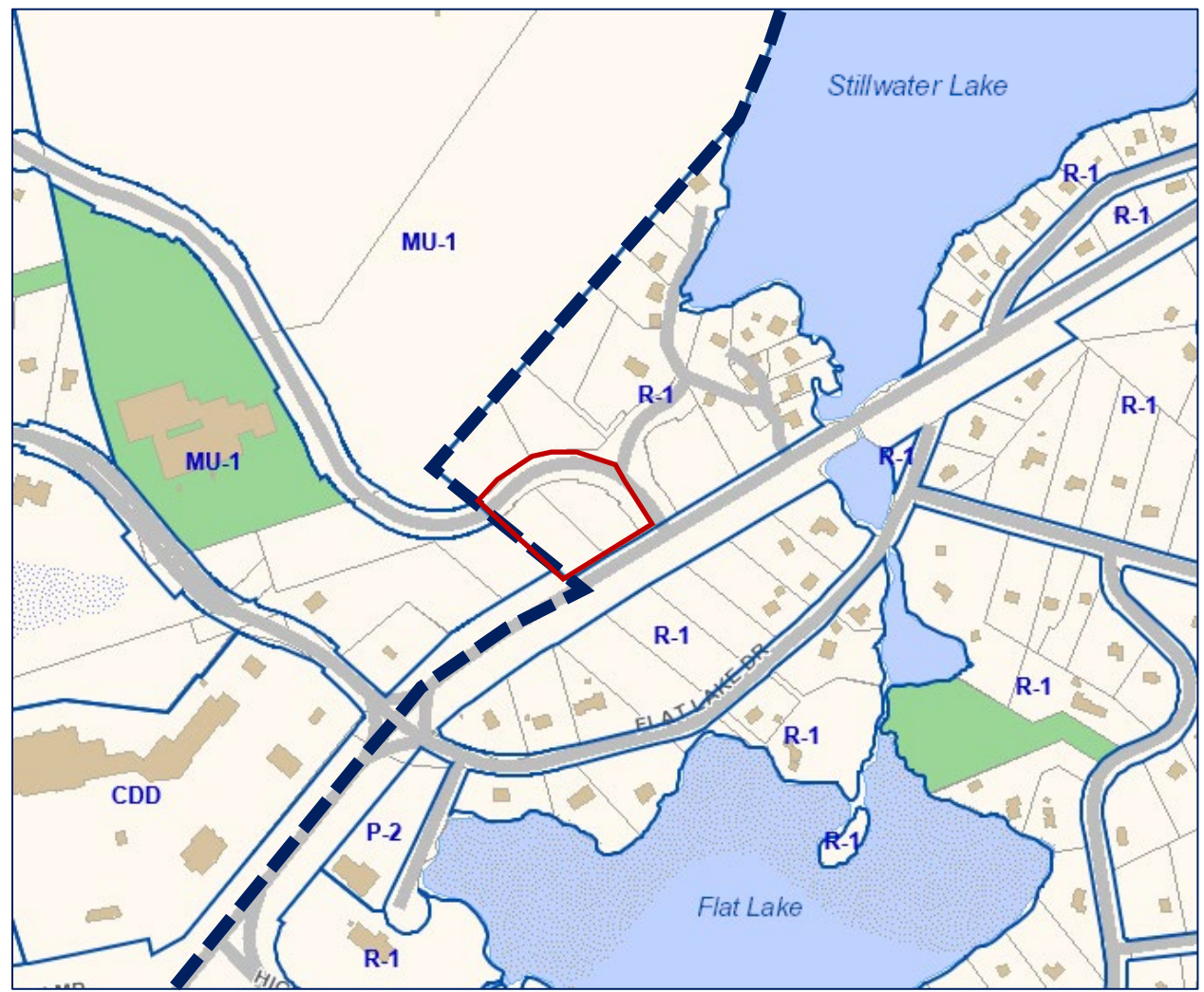
- Lack of alternatives to moving the boundary line;
- Lack of wetland delineation report;
- Traffic study concerns;
- Lack of information with respect to commercial uses;
- Light pollution;
- Noise concerns; and
- Inappropriate zoning.

Response to NWPAC and Public Concerns

HALIFAX

Site Context

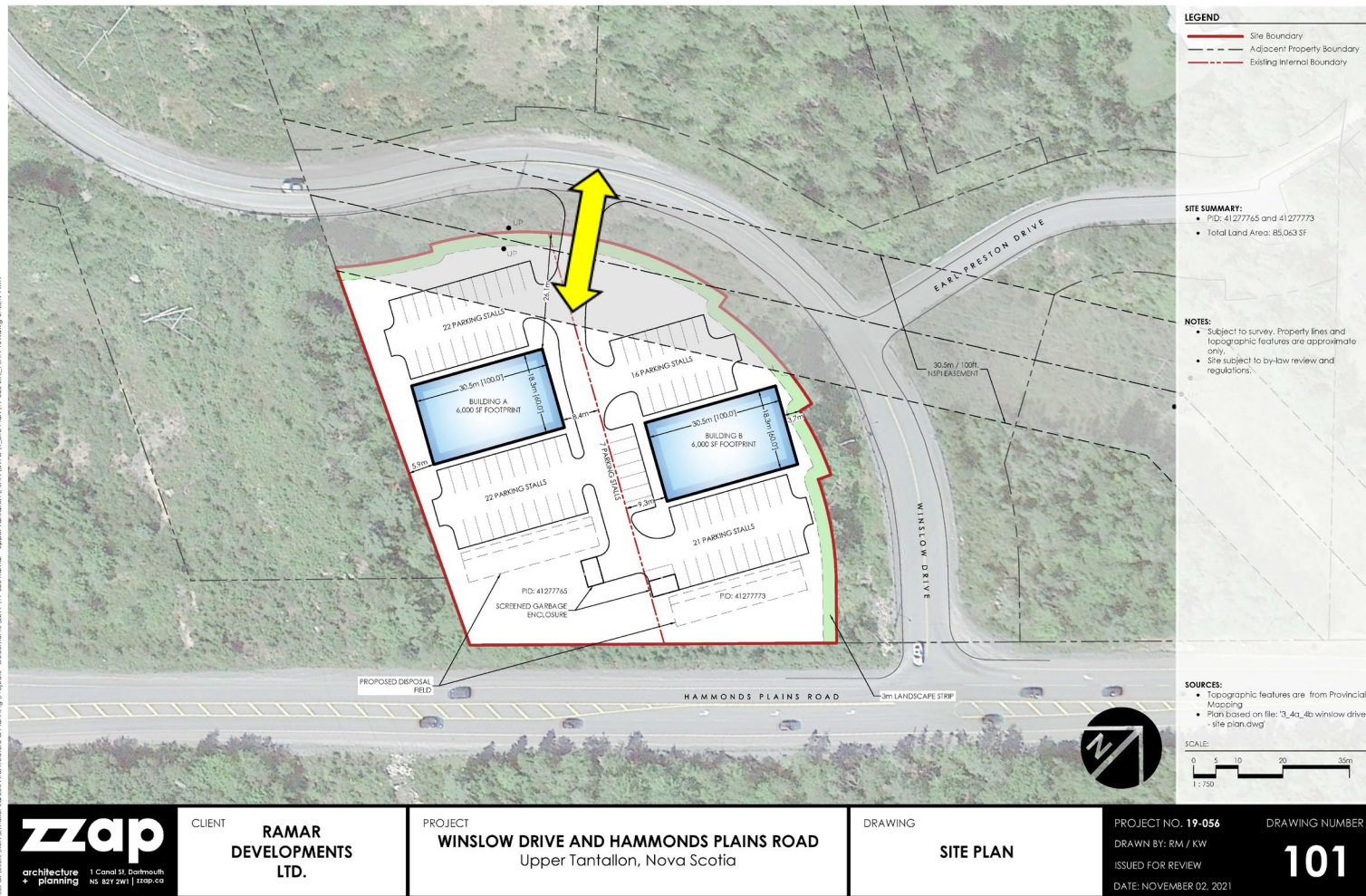
Winslow Drive, Upper Tantallon



Site Boundaries in Red



Revised Proposal



Proposed Details

- 2 Existing Lots (red lines)
- 2 Commercial Buildings (blue squares)
 - 2 storeys
 - 557 m² per floor (6,000 sq.ft.)
 - 1,114 m² per bldg. (12,000 sq.ft.)
- Driveway (yellow arrow)

Building Elevations



FILE: C:\Users\kuan\OneDrive\Personal\Architecture & Planning\Projects - Documents\2019\19-056 Ramar - Upper Tantallon\PLAN\DWG\1_21e Plan\19-056-SITE_PLAN_102.dwg SHEET 11/17



CLIENT
RAMAR DEVELOPMENTS LTD.

PROJECT
WINSLOW DRIVE AND HAMMONDS PLAINS ROAD
Upper Tantallon, Nova Scotia

DRAWING
CONCEPT RENDERING

PROJECT NO. **19-056**
DRAWN BY: RM / KW
ISSUED FOR REVIEW
DATE: NOVEMBER 15, 2021

DRAWING NUMBER
102



Policy & By-law Overview

Municipal Planning Strategy & Land Use By-law for Beaver Bank, Hammonds Plains and Upper Sackville

- **Existing Zone**
 - R-1 (Single Unit Dwelling) Zone
- **Existing Designation**
 - Residential
- **Existing Use**
 - Vacant
- **Enabling Policy**
 - There is no policy to consider the proposal

Request to Enable Following Uses by DA

- Retail stores
- Food stores
- Service and personal service shops
- Offices
- Banks and financial institutions
- Full-Service and Take-out Restaurant
- Commercial Entertainment Uses with Full-Service Restaurants
- Bakeries
- Motels
- Service stations

HALIFAX

Request to Enable Following Uses by DA

- Greenhouses and nurseries
- Veterinary clinics and indoor kennel
- Building supply outlets
- Drive in and take out restaurants
- Display Courts
- Craft shops
- Farmers markets
- Medical clinics

HALIFAX

Development Agreement Enables

- Design, layout and controls on appearance to facilitate compatibility
- Plans for sedimentation and erosion control
- Plans for stormwater management and site grading
- Landscaping and screening
- Parking and traffic
- Controls on lighting
- Controls on hours of operation
- Maintenance of the proposed development

HALIFAX

Does this address NWPAC Concerns

- Lot 3 removal removes need for wetland delineation
- Lot 3 removal moves development further away from Stillwater Lake Community
- Stormwater Management and Erosion and Sedimentation Control Plans can be submitted at permitting stage to prevent impact on Lake
- Development Agreement gives control on lighting, landscaping and design to prevent impact on community.
- Development Agreement gives control over hours of operation and maintenance.
- Range of proposed commercial uses are in line with the types of uses permitted in a commercial complex of this size
- TIS will be finalized during detailed review

The logo for HALIFAX, featuring the word "HALIFAX" in a bold, blue, sans-serif font.

HALIFAX

**Questions/
Comments**

HALIFAX

Thank You