

PO Box 1749 Halifax, Nova Scotia B3J 3A5 Canada

### MEMORANDUM

TO: Chair and Members of the Design Advisory Committee

FROM: Sean Audas, Principal Planner & Development Officer, Current Planning

DATE: July 14, 2021

SUBJECT: Case #23515 - Level II Site Plan Approval Application – 1134 Tower Road,

Halifax

### **Background:**

The applicant has submitted a Level II Site Plan Approval under the Regional Centre Land Use Bylaw (LUB) for 1134 Tower Road, Halifax, N.S. (PID #00154021). A pre-application has been completed and the proposal has been deemed compliant with the requirements of the LUB.

The applicant is seeking a recommendation from the Design Advisory Committee on the design requirements, as required by the LUB. Confirmation has been received that the Public Information process is ongoing and has met the requirements of Sections 21, 26 and 27 of the land use by-law.

Existing Use: The property is currently being used as a twelve (12) unit multi residential building.

**Zoning:** HR-1 (Higher-Order Residential 1) under the Regional Centre Land Use Bylaw.

#### Proposal:

The proposal before the Committee is a four (4) storey, sixteen (16) unit rear addition to the existing multi residential building which would result in a twenty-eight (28) unit multi residential building. The proposed building contains one level of underground parking and is classified as a mid-rise building under the Land Use By-law.

### **Input Requested from Design Advisory Committee:**

In accordance with the requirements of the LUB and the Terms of Reference for the Design Advisory Committee, the Committee is being asked to provide a recommendation to the Development Officer regarding the design requirements of Part VI. No variations have been requested. The following chapters of Part VI are relevant to this proposal:

Chapter 1: General Site Plan	Chapter 1 sets out the requirement for site plan
Approval Design Requirements	approval. There are no criteria to be satisfied.

Current Planning – Planning & Development

Tel: 902-476-9553

Email: audass@halifax.ca www.halifax.ca

Chapter 2: At-Grade Private Open Space Design Requirements	The proposal is for a rear addition which does not front or face a streetline.  There are no proposed changes to the existing building fronting Tower Road. Existing Conditions exist.  There are no criteria to be satisfied.
Chapter 3: Building Design Requirements	<ul> <li>The Elevation Drawings and Building Renderings illustrate the following design requirements of this Chapter that apply to the rear addition.</li> <li>As shown on elevation drawings and renderings, exterior foundation walls and underground parking areas exceeding 0.6 metres above grade have been clad with similar colour and metal siding as the overall design of the exterior façade.</li> <li>Building top is a penthouse which is differentiated from the lower two thirds of the building by colour and recessed.</li> <li>Penthouse is visually integrated into the overall design of the building with complimentary cladding and fenestration</li> </ul>
Chapter 4: Parking, Access, and Utilities Design Requirements	<ul> <li>The motor vehicle parking is internal to the building and not located within the streetwall. The vehicle access does not exceed the height of the ground floor nor 4.5metres.</li> <li>Mechanical features are not visible from streetline</li> <li>Heat Pumps are not proposed.</li> </ul>
Chapter 5: Heritage Conservation Design Requirements	<ul> <li>Not applicable – the subject property is not a heritage property and is not within a heritage conservation district.</li> </ul>
Chapter 6: Other Design Requirements	<ul> <li>Common Building Entrances and walkways will be illuminated.</li> <li>The subject site is not a View Terminus Site.</li> </ul>
Chapter 7: Variation Criteria	<ul> <li>No variations have been proposed.</li> </ul>

Any recommendations made by the Committee will be considered by the Development Officer prior to approval or refusal of the Site Plan Approval application. Any changes to the building informed by the recommendation of the Committee must meet the requirements of the Land Use Bylaw.

### **Attachments:**

Please refer to the digital building plans package for all renderings, floor plans, landscaping, and design rationale.

Tel: 902-476-9553

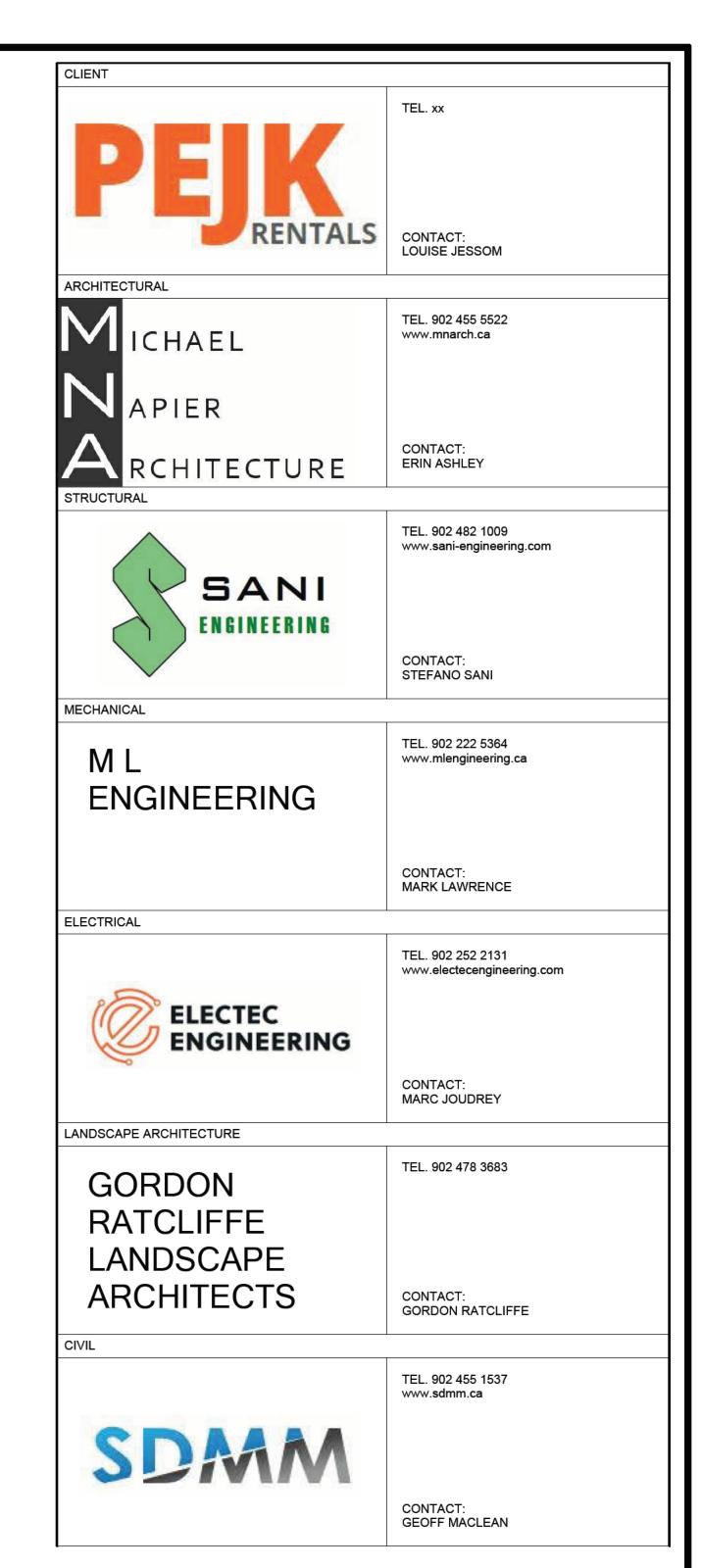
Email: <u>audass@halifax.ca</u> <u>www.halifax.ca</u>

# RESIDENTIAL ADDITION

1134 TOWER ROAD, HALIFAX, NS

PID: #00054445

	ARCHITECTURAL SHEET LIST				
SHEET NO.	SHEET NAME	ISSUE DATE	CURRENT REVISION	CURRENT REVISION DESCRIPTION	REVISION DATE
A-001	EXISTING BUILDING DRAWINGS	2021.05.25			
A-002	PROPOSED SITE PLAN	2021.05.25			
A-003	CENTRE PLAN SUMMARY	2021.05.25			
A-101	FLOOR PLANS	2021.05.25			
A-102	FLOOR PLANS	2021.05.25			
A-201	EAST & NORTH ELEVATIONS	2021.05.25			
A-202	WEST & SOUTH ELEVATIONS	2021.05.25			



RENOVATIONS PROPOSED BY MNA ARE SHOWN IN /TALICS

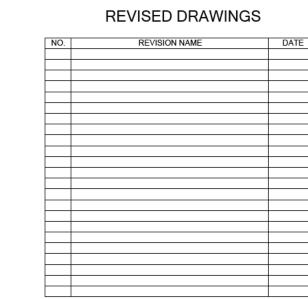
1 EXISTING SITE PLAN

A-001 3/32" = 1'-0"

WINDOWS TO BE REMOVED

2 A-001 EXISTING BASEMENT 3/32" = 1'-0"

PEJK RENTALS



1. ALL CONSTRUCTION TO MEET ALL APPLICABLE CODES, STANDARDS, BY-LAWS, ETC.
2. DO NOT SCALE THIS DRAWING FOR CONSTUCTION PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
3. ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING.
4. ELEVATIONS ARE FOR REPRESENTATION ONLY AND DO NOT INDICATE FINAL CLADDING COLOURS.

EXISTING DRIVEWAY 78.11/2. .7/6-09 33.-61/2" **EXISTING** PARKING H EXISTING 16 HOUSE 1 JEXISTING DEXISTING HOUSE # 1134 EXISTING 16 TOTAL "ROOF TOP PATIO": //402.43 SQFT/

DROP CEILING FOR
DOMESTIC WATER AND
SPRINKLER LINES TO
CONNECT TO PROPOSED
ADDITION

WATER ENTRANCE ROOM

11-10 1/2" WINDOWS TO BE REMOVED bestupes al gnibbets eletinonen existing NEW ELECTRICAL EQUIPMENT TO GO IN EXISTING ELECTRICAL ROOM 3 A-001 S/32" = 1'-0"

DATE ISSUED: 2021.05.25 ISSUED FOR:

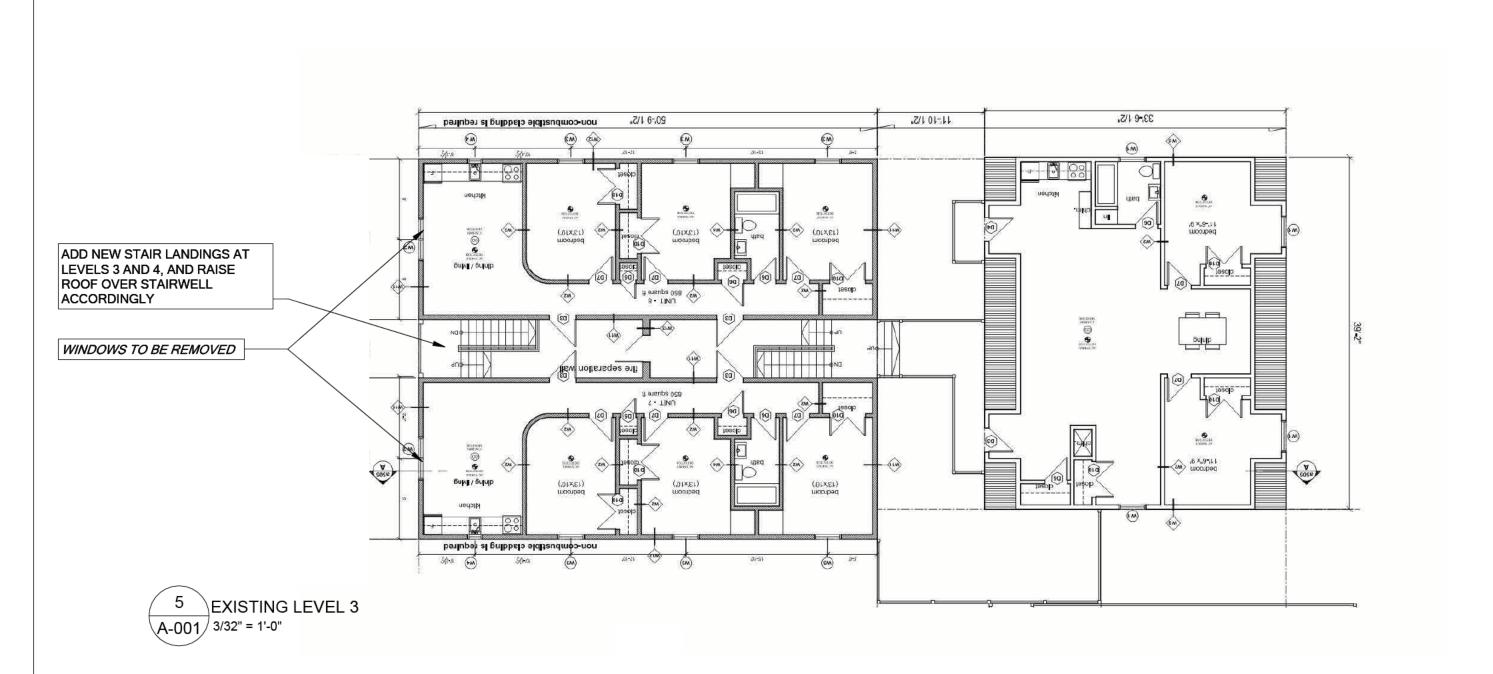
33.-6 1/2"

LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT:

33.-6 1/2" non-combustible cladding is required WINDOWS TO BE REMOVED 4 A-001 EXISTING LEVEL 2 3/32" = 1'-0"







EXISTING BUILDING **DRAWINGS** 

DRAWN: MNA	DRAWING NUMBER:
SHEET ISSUE DATE: 2021.05.25	$\Delta$ -001
SCALE: 3/32" = 1'-0"	

2021-05-24 7:54:22 PM

PROJECT DATA

PID: 00154021 CIVIC: 1134 TOWER ROAD (PID #000054445)

SITE AREA: 13,348 SF (1,240m2)

ZONE: HR-1

FLOOR AREA: PARKADE: 2,574 SF (239m2) 2,837 SF (264m2) 2,855 SF (265m2) 2,855 SF (265m2) LEVEL 1: LEVEL 2: LEVEL 3: LEVEL 4: 2,855 SF (265m2) PENTHOUSE 859 SF (80m2)

TOTAL: 14,835 SF (1,378m2)

PARKING REQUIRED PARKING SPACES: 9 (1 SPACE FOR EVERY 3 UNITS) PROPOSED PARKING SPACES: 9

BICYCLE PARKING REQUIRED: 14 (11 CLASS 'A' / 3 CLASS 'B')

PROPOSED: 14 (11 CLASS 'A' / 3 CLASS 'B')

CIVIC 5784 & 5786

REQUIRED ACCESSIBLE PARKING SPACES: 1 (NSBC 3.8.2.5) PROPOSED ACCESSIBLE PARKING SPACES: 1

EXISTING RESIDENTIAL UNIT MAKEUP LEVEL NO. UNITS 2 BR EXIST. BASEMENT LEVEL EXIST. LEVEL 1 EXIST. LEVEL 2 EXIST. LEVEL 3 EXIST. TOTALS

NO. UNITS PARKADE RES. LEVEL 1 RES. LEVEL 2 RES. LEVEL 3 RES. LEVEL 4 PROPOSED TOTALS 16

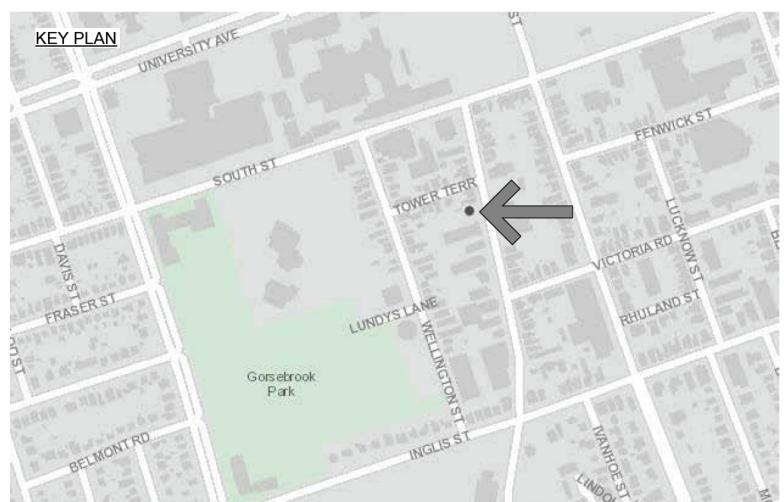
PROPOSED RESIDENTIAL UNIT MAKEUP

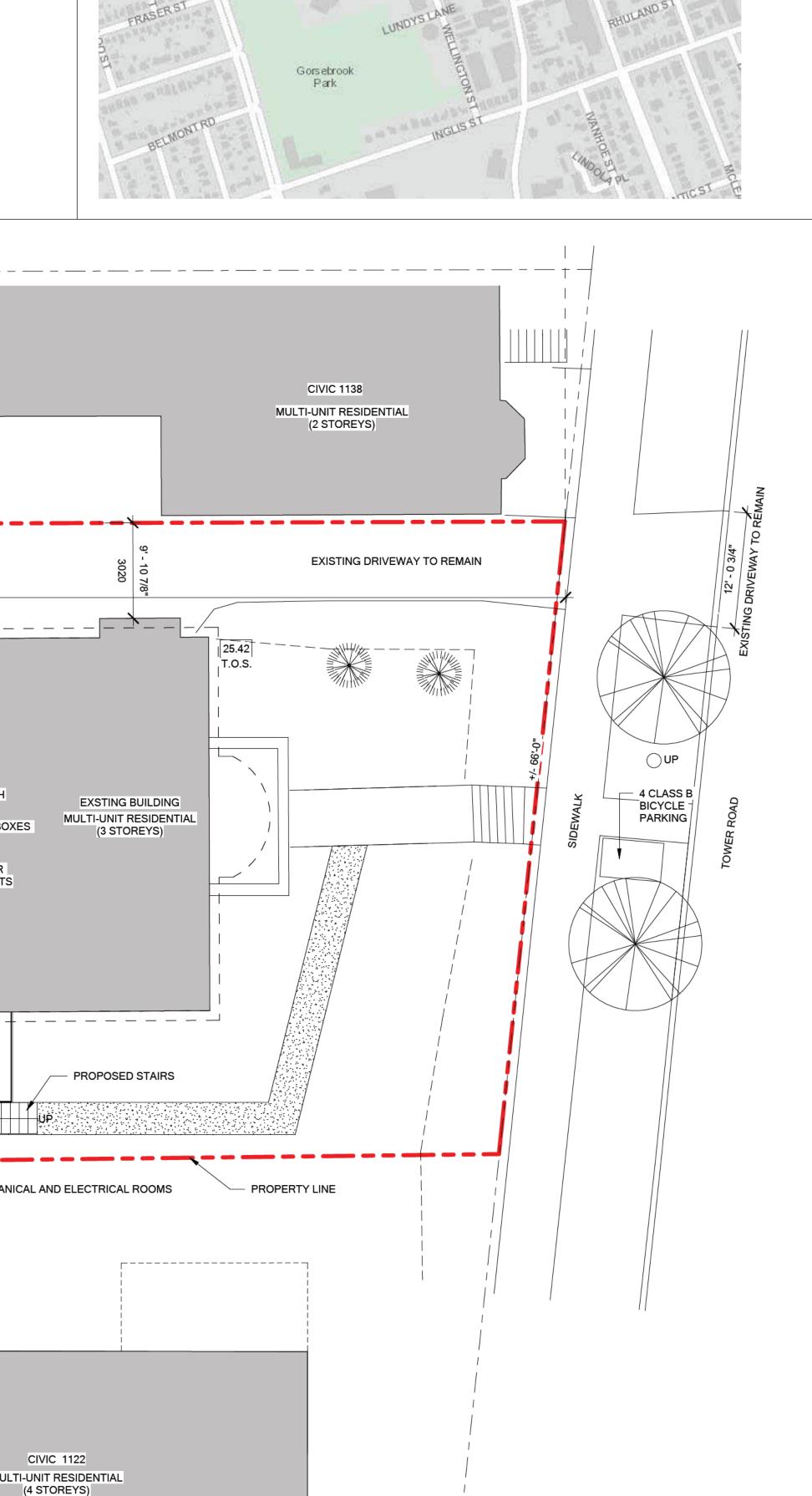
TOTAL RESIDENTIAL UNIT MAKEUP

2 BR UNITS: 17 3 BR UNITS: 11 TOTAL UNITS: 28

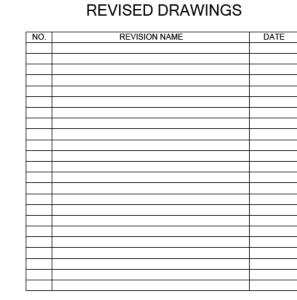
NOTE: PROPOSED ADDITIONAL UNITS TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AS DICTATED BY ADAPTIVE LIVING STANDARDS - NSBC 2019











1. ALL CONSTRUCTION TO MEET ALL APPLICABLE
CODES, STANDARDS, BY-LAWS, ETC.
2. DO NOT SCALE THIS DRAWING FOR CONSTUCTION
PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
3. ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE.
ALL DISCREPANCIES ARE TO BE REPORTED TO THE
ARCHITECT AND AGREED UPON BEFORE PROCEEDING.
4. ELEVATIONS ARE FOR REPRESENTATION ONLY AND DO NOT
INDICATE FINAL CLADDING COLOURS.

DATE ISSUED:

2021.05.25 ISSUED FOR:

LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT:



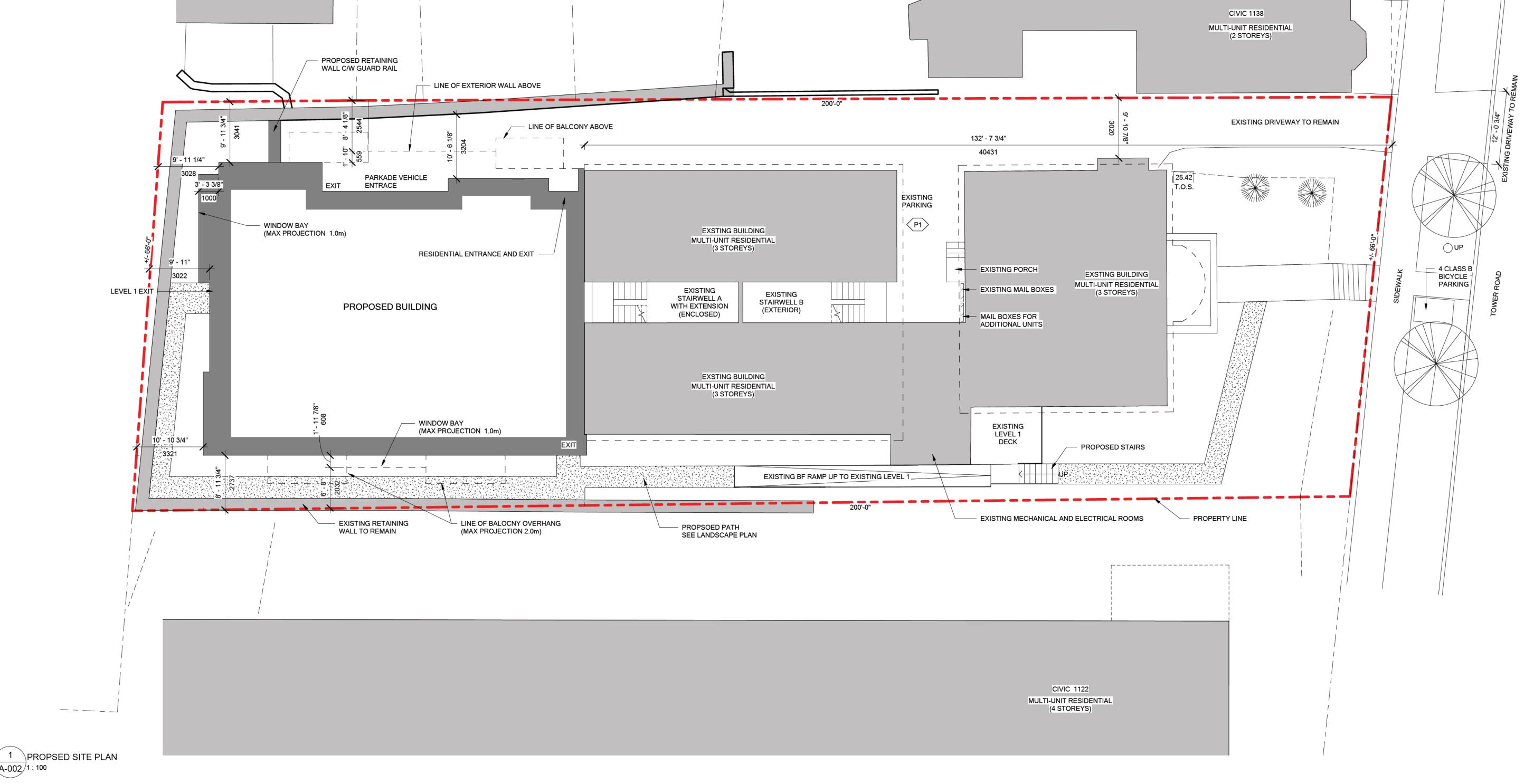


**1134 TOWER ROAD** HALIFAX, NS

PROPOSED SITE PLAN

DRAWN: MNA	DRAWING NUMBER:
SHEET ISSUE DATE: 2021.05.25	$\Delta$ -002
SCALE: As indicated	,, , , ,

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PROHIBITED EXTERNAL CLADDING MATERIALS

(h) vinyl windows on registered heritage buildings or on lots within a heritage conservation district. PROPOSED ADDITION TO COMPLY - NO PROHIBITED CLADDING MATERIALS PROPOSED (SEE A-201 &

PROJECTIONS, OVERHANGS, RECESSED ENTRANCES, AND CANTILEVERS (1) A new building or an addition to an existing building shall not cantilever over a registered heritage building located on (2) Subject to Subsection 80(3) and 80(4), the combined total of all cantilevered and recessed portions of any streetwall,

excluding recessed pedestrian entrances, shall not exceed 30% of the width of the streetwall. (3) Up to 100% of the ground floor portion of the streetwall may be recessed by up to 0.5 metres and shall not be counted towards the width requirement of Subsection 80(2). (4) Where a development makes use of both Subsections 80(2) and 91(2), the combined streetwall exemptions shall not exceed 30% of the entire width of the streetwall.

(5) Above the streetwall stepback, any portion of a building shall not project beyond the vertical plane of the streetwall. PROPOSED: EXISTING CONDITIONS / N/A

STREETWALL HEIGHT DETERMINATION (1) A building with a streetwall width of 8.0 metres or less shall have its streetwall height determined at the midpoint of the streetwall width. 48 Regional Centre Land Use By-Law PROPOSED: EXISTING CONDITIONS / N/A

MAXIUMUM BUILDING HEIGHT

(1) Subject to Section 86, a building's height shall not exceed the maximum building heights specified on Schedule 7. The requirements of Part VII still apply. PROPOSED: MAX HEIGHT: 14.0m PER SCHEDULE 7

**BUILDING ROOFTOP FEATURES** (1) Excluding any low-density dwelling use, which is addressed in Subsection 86(5), Table 4 regulates the height, coverage, and setback of features on building rooftops. PENTHOUSE: 30% COVERAGE RESTRICTION, 4.5m MAX HEIGHT, 3.0m SETBACK

MAXIUMUM FLOOR AREA (FAR) (1) A building shall not be erected, constructed, altered, reconstructed, or located in any D, CEN-2, or CEN-1 zone so that it exceeds its maximum FAR as specified on Schedule 8.

(2) If no maximum FAR is specified on Schedule 8, no maximum FAR applies. PROPOSED: NO FAR APPLIES PER SCHEDULE 8

**BUILT FORM REQUIREMENTS** (1) Any main building erected, constructed, altered, reconstructed, or located in any D, CEN-2, CEN-1, COR, HR-2, or HR-1 zone shall meet the built form requirements of Sections 89 to 97. (b) Any building that is greater than 11.0 metres high but no more than 20.0 metres high is a mid-rise building; PROPOSED: MID-RISE BUILDING

GROUND FLOOR REQUIREMENTS (1) Every building shall have a ground floor abutting street lines

(2) Excluding a low-density dwelling use and a grade-related unit use, but including a parking structure use, a main building shall have a floor-to-floor height of at least 3.5 metres, measured from the streetline grade, for any ground floor (4) Grade-related units shall have for each unit: 53 Regional Centre Land Use By-Law

(a) A porch that is facing the public right-of-way and is at least 3.0 meters wide and at least 1.5 meters deep (b) a floor level at least 0.25 metres above the streetline grade. (6) Grade-oriented premises shall be maintained to a minimum building depth of 3.0 metres, as measured perpendicularly

from the exterior wall of a building nearest a streetline. (8) Any pedestrian entrance along any streetline shall be set back at least 1.5 metres from the streetline. EXISTING CONDITIONS: N/A

FRONT AND FLANKING YARDS (D, CEN-2, CEN-1, COR, HR-2, HR-1) (1) Subject to Subsections 91(2) and 91(3), a main building shall have: (a) a minimum front or flanking yard as specified on Schedule 9; and

PROPSOED: EXISTING CONDITIONS: N/A (b) a maximum front or flanking yard, where one is specified on Schedule 10, excluding any community PROPOSED: EXISTING CONDITIONS:N/A

(5) Subject to Subsection 91(6), underground parking areas are exempt from front and flanking yard requirements, but shall not protrude more than 0.25 metres above any streetline grade when located within those PROPOSED ADDITION OBSERVES MIN. YARD REQUIREMENTS WHERE APPLICABLE

SIDE AND REAR YARDS (D, CEN-2, CEN-1, COR, HR-2, HR-1) (2) Subject to Subsection 92(4), a main building in any HR-2 or HR-1 zone shall have minimum side yards of 2.5 PROPOSED ADDITION OBSERVES MIN. SIDE YARD OF 2.5m

(3) Subject to Subsection 92(4), a main building shall have a minimum rear yard of at least:

(b) 3.0 meters PROPOSED ADDITION OBSERVES 3.0m REAR YARD AT GROUND LEVEL (5) Underground parking areas are exempt from side and rear setback requirements, if they do not protrude more than 0.6 metres above the average finished grade along any side or rear lot line when located within those required yards.

PROPOSED ADDITION OBSERVES MIN. YARD REQUIREMENTS WHERE APPLICABLE (6) Where a site plan approval is required, underground parking areas that protrude more than 0.6 metres above the average finished grade along any side or rear lot line shall meet the finishing requirements specified in Section 131.

PROPOSED ADDITION OBSERVES FINISHING REQUIREMENTS STREETWALL HEIGHTS AND STEPBACKS (D, CEN-2, CEN-1, COR, HR-2, HR-1)

(1) A main building's maximum streetwall height shall be: PROPOSED ADDITION TO OBSERVE MAX 14.0m HEIGHT (2) Subject to Subsection 93(3), a main building's minimum streetwall height shall be: PROPOSED: EXISTING CONDITIONS: N/A

(3) No greater than 20% of the entire width of the streetwall, to a maximum of 8.0 metres, may be reduced in height to 3.5 metres (Diagram 5). PROPOSED: EXISTING CONDITIONS: N/A

SIDE AND REAR SETBACKS AND STEPBACKS (D, CEN-2, CEN-1, COR, HR-2, HR-1) (1) Subject to Subsections 92(2) and 94(5), for low-rise buildings and mid-rise buildings, no side and rear setbacks or stepbacks are required

PROPOSED: NO REAR SETBACK REQUIRED ABOVE GROUND LEVEL MAXIMUM BUILDING DIMENSIONS (D, CEN-2, CEN-1, COR, HR-2, HR-1)

(1) Below the height of the streetwall, any portions of a main building at least 0.6 metres above the average finished grade shall not exceed a building depth or building width of: (a) subject to Clause 96(1)(b), in any D, CEN-2, CEN-1, COR, HR-2, or HR-1 zone: (i) 64.0 metres wide, and 58 Regional Centre Land Use By-Law

(ii) 64.0 metres deep; and PROPOSED: BUILDING WIDTH 15.8m. BUILDING DEPTH 48.5m.

BUILDING ARTICULATION (D, CEN-2, CEN-1, COR, HR-2, HR-1) Where a site plan approval is required, a main building's streetwall shall meet the articulation requirements contained in Part VI. PROPOSED: EXISTING CONDITIONS: N/A

DESIGN REQUIREMENT: CONSTRIBUTION TO OPEN SPACE NETWORK Where one or more at-grade private open space(s) are proposed, at least one shall contribute to the Regional Centre's network of open spaces by (Diagram 6):

DESIGN REQUIREMENT: AT-GRADE PRIVATE OPEN SPACES ABUTTING A PUBLIC SIDEWALK 114 At-grade private open spaces that abut public sidewalks shall provide pedestrian access by having at least one contiguous connection of not less than 2.0 metres wide, from the at-grade private open space to the public

sidewalk. PROPOSED: EXISTING CONDITIONS: N/A

DESIGN REQUIREMENT: AT-GRADE PRIVATE OPEN SPACES - MEDIUM SCALE At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall: (a) provide (i) barrier-free access, and

(ii) permanent seating; and (b) provide one or more of the following materials for groundcover (ii) brick pavers, stone pavers, or concrete pavers, or (iii) wood, excluding composites.
PROPOSED: EXISTING CONDITIONS N/A

PROPOSED: EXISTING CONDITIONS: N/A

DESIGN REQUIREMENT: WEATHER PROTECTION FOR AT-GRADE PRIVATE OPEN SPACES - MEDIUM At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less

than 3.0 metres by 5.0 metres shall offer weather protection to its users through at least one of the following (Diagram 7): (a) a new deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres:

(b) canopies or awnings on abutting façades; (c) recessed entrances of abutting façades;

(d) cantilever(s) of a building on the same lot; or (e) structures such as gazebos, pergolas, or covered site furnishings PROPOSED: EXISTING CONDITION: N/A

DESIGN REQUIREMENT: PRIVACY FOR GRADE RELATED UNITS

119 At-grade private open spaces which are 2.5 metres deep or greater, as measured perpendicularly from the streetline, and which are located between the streetline and a grade-related unit, shall provide privacy for the residential units by using a minimum of one of the following elements per grade-related unit (Diagram 8): (a) a deciduous tree that is not a shrub with a minimum base caliper of 50 millimetres; (b) a minimum of two shrubs, each no less than 1.0 metre in height; (c) planters ranging in height from 0.25 to 1.0 metres; or

(d) masonry walls ranging in height from 0.25 to 1.0 metres. PROPOSED: EXISTING CONDITIONS: N/A DESIGN REQUIREMENT: WALKWAYS TO BE HARD-SURFACED

Walkways within at-grade private open spaces shall be hard-surfaced, excluding asphalt. PROPOSED: EXISTING CONDITIONS: N/A DESIGN REQUIREMENT: STREETWALL ARTICULATION

Streetwalls shall be divided into distinct sections no less than 0.3 metres in width and not exceeding 8 metres in width, from the ground floor to the top of the streetwall, with each section differentiated by using at least two of the following (Diagram 9): (a) colour(s); (b) material(s); or

(c) projections and recesses not less than 0.15 metres in depth PROPOSED: EXISTING CONDITIONS: N/A **DESIGN REQUIREMENT: SIDE FACADE ARTICULATION** 

DESIGN REQUIREMENT: PEDESTRIAN ENTRANCES ALONG STREETWALLS

(1) Subject to Subsection 124(2), pedestrian entrances in the streetwall shall

Where a side yard is proposed or required, the side yard façade shall continue the streetwall articulation for a depth greater than or equal to the width of the side yard, as measured at the streetline, using the same options chosen to achieve the design requirement in Section 121 (Diagram 10). PROPOSED: EXISTING CONDITIONS: N/A

be distinguished from the remainder of the streetwall by using at least two of the following: (a) changes in colour; (b) changes in materials; or (c) projections and recesses not less than 0.15 metres in depth. 71 Regional Centre Land Use By-Law (2) Canopies or awnings shall not be used to meet the requirements of Subsection 124(1). PROPOSED: EXISTING CONDITIONS: N/A

DESIGN REQUIREMENT: GROUND FLOOR TRANSPARENCY - GRADE-RELATED UNIT USES

For grade-related unit uses in the streetwall, between 25% and 80% of the building's ground floor façade dedicated to grade-related unit uses shall consist of clear glass glazing PROPOSED: EXISTING CONDITIONS: N/A

DESIGN REQUIREMENT: WEATHER PROTECTION

130 (1) Subject to Subsection 130(2), where entrances for commercial uses or multi-unit dwelling uses are proposed in the streetwall, weather protection for pedestrians shall be provided above the entrances and shall consist of at least one of the following (Diagram 11): 72 Regional Centre Land Use By-Law

a) canopies; (b) awnings; (c) recessed entrances; or

(d) cantilevers (2) Subsection 131(1) shall not apply to the entrances of grade-related units PROPOSED: EXISTING CONDITIONS: N/A

DESIGN REQUIREMENT: EXPOSED FOUNDATIONS AND UNDERGROUND PARKING STRUCTURES Exterior foundation walls and underground parking structures the height of which exceeds 0.6 metres above grade shall be clad in a material consistent with the overall design of the same exterior façade PROPOSED BUILDING CLADDING TO COMPLY (SEE A-201 & A-202)

DESIGN REQUIREMENT: BUILDING TOP DISTINCTION 132 (1) Subject to Subsection 132(2), a portion of the top third of a building shall be differentiated from lower portions of the same building, by using two or more of the following (Diagram 12):

(b) material(s); and (c) projections and recesses not less than 0.15 metres in depth. (2) The minimum height of the differentiated portion shall be no less than:

(a) 0.5 metres in height for a (...) mid-rise building; PROPOSED: ADDITION TO COMPLY - PENTHOUSE IS RECESSED AND DIFFERENTIATED IN

**DESIGN REQUIREMENT: PENTHOUSES** Penthouses shall be visually integrated into the overall design of the building

PROPOSED: ADDITION TO COMPLY - PENTHOUSE IS VISUALLY INTEGRATED INTO THE OVERALL DESIGN OF THE BUILDING WITH COMPLIMENTARY CLADDING AND

DESIGN REQUIREMENT: ROOFTOP MECHANICAL FEATURES Rooftop mechanical features shall be visually integrated into the design of the building and concealed from the public view at the streetline

PROPOSED: ADDITION TO COMPLY - ROOFTOP MECHANICAL FEATURES NOT VISIBLE FROM STREETLINE

DESIGN REQUIREMENT: MOTOR VEHICLE AND SERVICE ACCESSES (2) All motor vehicle and service accesses shall: (a) not exceed the height of the ground floor or 4.5 metres, whichever is less; and (b) be completely enclosed with a door(s).

PROPOSED ADDITION TO COMPLY DESIGN REQUIREMENT: VISUAL IMPACT MITIGATION FOR UTILITY AND MECHANICAL FEATURES The visual impact of utility features and mechanical features, including vents and

meters, shall be minimized by concealing them from public view at the streetline by: (a) using opaque screening; or (b) enclosing them within a projection or recess in the building. PROPOSED: ADDITION TO COMPLY - MECHANICAL FEATURES NOT VISIBLE FROM STREETLINE

DESIGN REQUIREMENT: HEAT PUMPS AND OTHER HEATING AND VENTILATION EQUIPMENT FOR INDIVIDUAL UNITS 140 Heat pumps and other heating and ventilation equipment for individual units are permitted on balconies.

unenclosed porches, and verandas if they are concealed from public view at the streetline by: (a) using opaque screening; or (b) enclosing them within a projection or recess in the building. PROPOSED: ADDITION TO COMPLY - NO HEAT PUMPS PROPOSED

DESIGN REQUIREMENT: GENERAL LIGHTING The following features shall be illuminated: (a) common building entrances;

(b) walkways; (d) parking lots; and

(e) off-street loading spaces. PROPOSED ADDITION TO COMPLY (SEE A-201 & A-202)

PART IX: LANDSCAPING:

REQUIREMENT TO MAINTAIN LANDSCAPING IN HEALTHY CONDITION 178 All required soft landscaping shall be maintained in healthy condition. Any required soft landscaping that dies shall be replaced at the beginning of the next growing season. PROPOSED ADDITION TO COMPLY

REQUIREMENT FOR SOFT LANDSCAPING Excluding any hard landscaping required in Subsection 185(3), at least 50% of the remaining required landscaping on a lot shall be soft landscaping. Amenity space containing soft landscaping may be counted toward this

PROPOSED ADDITION TO COMPLY LANDSCAPING ON FLAT ROOFS (1) Subject to Subsection 184(2), any building with a flat roof, or a flat-roofed addition, that is not exempt from site plan approval in Section 16, and subject to Subsection 200(4) regarding roof-top parking, shall provide soft landscaping on at least 40% of the area of any flat roof. Soft landscaping on flat roofs shall be provided in areas of at least 10.0 contiguous square metres and have at least one linear dimension exceeding 2.0 metres.

(2) Portions of flat roofs used for solar collection, rain water harvesting, storm water infrastructure, and rooftop greenhouses shall not be used to determine the area of a flat roof that must be landscaped under Subsection (3) Landscaping on rooftops does not need to be accessible PROPOSED ADDITION TO COMPLY (SEE LANDSCAPE PLAN)

SCREENING FOR SOLID WASTE MANAGEMENT AREAS

186 Except where associated with a low-density dwelling use, any outdoor solid waste management area shall be fully enclosed by an opaque wood fence or masonry wall at least 1.8 metres high, except for an opening or

gate required for access (Diagram 19). PROPOSED ADDITION TO COMPLY (SEE 1/A-101)

REQUIREMENT TO SUBMIT A LANDSCAPE PLAN (1) When required in Section 17, a site plan approval application shall include a landscape plan stamped and signed by a landscape architect, certifying that the plan meets the minimum requirements of this By-law. PROPOSED: ADDITION TO COMPLY - SEE ATTACHED LANDSCAPE PLAN

**PART X: PARKING** 

PARKING SPACE AND DRIVING AISLE DIMENSIONS (1) Subject to Sections 205 and 206, for any accessory surface parking lot, for a parking structure, or for parking internal to a building:

(a) any required motor vehicle parking space shall be at least 2.4 metres wide and 5.5 metres long (Diagram 20); and (b) in the case of parking parallel to an internal driveway, any required motor vehicle parking space shall

be at least 6.1 metres long (Diagram 20). (2) Subject to Section 205, driving aisles between rows of motor vehicle parking spaces in an accessory surface parking lot, in a parking structure, or for parking internal to a building shall be 6.0 metres wide for two-way traffic, and 3.0 metres wide for one-way traffic.

PROPOSED ADDITION TO COMPLY (SEE 1/A-101)

PEJK RENTALS

Where the calculation of any motor vehicle parking requirement results in a portion of a parking space, the fraction

(1) Subject to Subsection 196(5), Table 7 sets out the minimum number of motor vehicle parking spaces required

for each listed use. Where a use is not listed in Table 7, no minimum parking requirement applies.

1 EXISTING EXTERIOR PARKING SPACE

8 PROPOSED INTERIOR PARKING SPACES

198 For a low-density dwelling use, a maximum of 40% of the width of any front or flanking yard may be used for the

(1) All parking spaces associated with a parking structure use shall be located inside or on the roof of the parking

(3) Except where associated with a hotel use, the provision of a parking structure and an accessory surface parking lot

(4) Where any portion of a parking structure roof is not used for parking, it shall be landscaped if required in Section 184.

(6) Subject to Subsections 90(6) and (7), all parking structures shall have commercial uses at grade along a streetline.

(1) Where a lot abuts a designated cycling thoroughfare in the Active Transportation Priorities Plan, access to all bicycle

(5) All bicycle parking racks shall provide two points of contact between each bicycle and rack, and be designed so that

CLASS 'B' BICYCLE PARKING LOCATED AT TOWER ROAD SIDEWALK (SEE A-002)

PROPOSED: CLASS 'A' BICYCLE PARKING LOCATED WITHIN ENCLOSED PARKING AREA

Where the calculation of any bicycle parking requirement results in a portion of a bicycle parking space, the fraction shall

Table 8 sets out the bicycle parking space requirements that shall apply for each use listed. The "Type" column specifies

which types of bicycle parking rack shall be provided in each bicycle parking space, as described in Sections 211 and

(d) vertical racks that are wall-mounted, not exceeding 50% of the total number of required Class A bicycle

(3) Any bicycle room, roofed bicycle cage, enclosed bicycle locker, or covered parking structure area reserved for

(4) The distance from any Class A bicycle parking area to the nearest occupant-accessible building entrance shall not

PROPOSED: CLASS 'A' BICYCLE ROOM LOCATED WITHIN ENCLOSED PARKING AREA ON

(2) Class B bicycle parking areas shall be located outside of a building and accessible to visitors and visible from the

(3) The walking distance from any Class B bicycle parking area to the nearest visitor-accessible building entrance

(4) On lots where lot coverage exceeds 90%, or where it is otherwise impractical to provide Class B bicycle parking

(1) Bicycle parking racks are prohibited within 2.5 metres of any building entrance (Diagram 22).

(a) at least 0.9 metres apart in the direction of a bicycle's width (Diagram 22); and

CALCULATION OF THE PUBLIC BENEFIT FOR A DEVELOPMENT EXCEEDING 2,000 SQUARE METRES (D, CEN-2,

(b) at least 1.8 metres apart in the direction of a bicycle's length (Diagram 22).

spaces on-site, the applicant may request an encroachment license from the Municipality to install the required Class

(3) A 1.5-metre-wide clear aisle shall be provided between rows of bicycle parking Racks, based on a typical bicycle

(4) Excluding wall-mounted racks, a space of 0.6 metres shall be provided between bicycle parking spaces and any

PROPOSED: CLASS 'B' BICYCLE PARKING LOCATED AT TOWER ROAD SIDEWALK (SEE A-002)

(2) All bicycle parking racks shall be constructed from galvanized steel or stainless steel, and designed to be tamper-

resistant. All bicycle parking racks and bicycle lockers shall be firmly secured to the ground, floor, or wall.

(Table 7: Multi-unit dwelling HR-1 requirements: 1 space for every 3 units)

- PROPOSED: 9 PARKING SPACES TOTAL

(2) Rooftop parking on a parking structure shall not be visible from any streetline.

parking areas shall be provided from a streetline that abuts the cycling thoroughfare.

(i) accessible from a ground floor with ramps, or

(ii) accessible from a ground floor by elevator.

(b) located within one storey of a ground floor and be:

212. REQUIRED: Multi-unit dwelling use 1 space for every 2 units

(b) within a roofed bicycle cage outside of a building;

(a) inverted-U that is at least 0.90 metres high;

(a) inverted-U that is at least 0.90 m high; and

(b) post-and-ring that is at least 0 90 metres high.

(a) 15 metres for unsheltered bicycle parking; or

PROPOSED BICYCLE PARKING TO COMPLY

PROPOSED DEVELOPMENT UNDER 2,000m

230 (1) Calculation of the public benefir for a development exceeding 2,000 square meters

(b) 30 metres for sheltered bicycle parking.

B bicycle parking spaces in the adjacent public right-of-way.

MINIMUM BICYCLE PARKING GEOMETRIC REQUIREMENTS

(2) Bicycle parking racks shall be spaced:

length of 1.8 metres (Diagram 22).

CEN-1, COR, HR-2, AND HR-1 ZONES)

obstruction, on all sides (Diagram22).

(b) post-and-ring that is at least 0 90 metres high;

(c) within an enclosed bicycle locker outside of a building; or

(2) Class A bicycle parking racks shall be one or more of the following types:

(d) within a covered parking structure area reserved for bicycles.

GROUND LEVEL (SEE 1/A-101)

- REQUIRED: 9 PARKING SPACES

PROPOSED: EXISTING CONDITIONS: N/A

(5) All parking structures shall meet the requirements of Part V.

PROPOSED ADDITION TO COMPLY

shall be rounded down to the nearest whole number.

REQUIRED NUMBER OF MOTOR VEHICLE PARKING SPACES

PROPSOSED: 28 UNITS TOTAL

PARKING WITHIN A FRONT OR FLANKING YARD

on the same lot is prohibited

GENERAL BICYCLE PARKING REQUIREMENTS

(3) All bicycle parking areas shall be lighted.

(4) All indoor Class A bicycle parking areas shall be:

(a) located on a ground floor; or

each bicycle is individually supported and lockable.

be rounded down to the nearest whole number.

REQUIRED: 14 (11 CLASS 'A' / 3 CLASS 'B')

- PROPOSED: 14 (11 CLASS 'A' / 3 CLASS 'B')

REQUIRED NUMBER OF BICYCLE PARKING SPACES

80% Class A

20% Class B

CLASS A BICYCLE PARKING REQUIREMENTS

211 (1) Class A bicycle parking racks are permitted:

(a) within a bicycle room;

(c) wheelwell-secured;

(e) two-tier racks with a lift-assist.

parking spaces; and

bicycles shall be access-controlled.

CLASS B BICYCLE PARKING REQUIREMENTS

212 (1) Class B bicycle parking racks permitted are:

exceed 200 metres.

shall not exceed:

PARKING STRUCTURES

ROUNDING REGULATION

parking and maneuvering of motor vehicles.

**REVISED DRAWINGS** 

ALL CONSTRUCTION TO MEET ALL APPLICABLE CODES, STANDARDS, BY-LAWS, ETC.
 DO NOT SCALE THIS DRAWING FOR CONSTUCTION PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
 ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE.

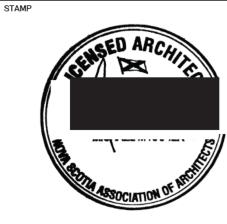
ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING. ELEVATIONS ARE FOR REPRESENTATION ONLY AND DO NOT INDICATE FINAL CLADDING COLOURS.

> 2021.05.25 ISSUED FOR:

LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT



APIER ARCHITECTURE www.mnarch.ca + 902.455.5522

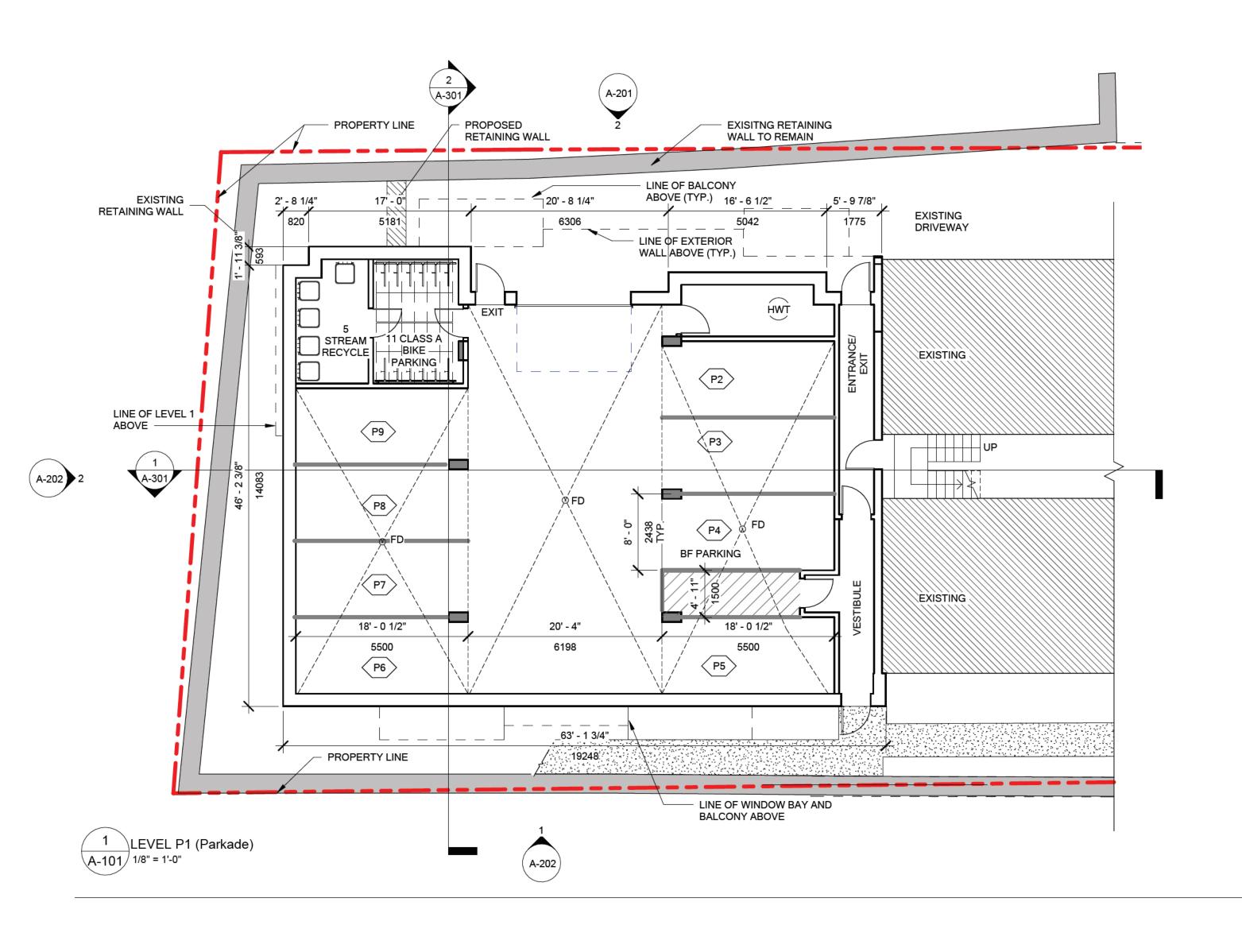
**1134 TOWER** ROAD

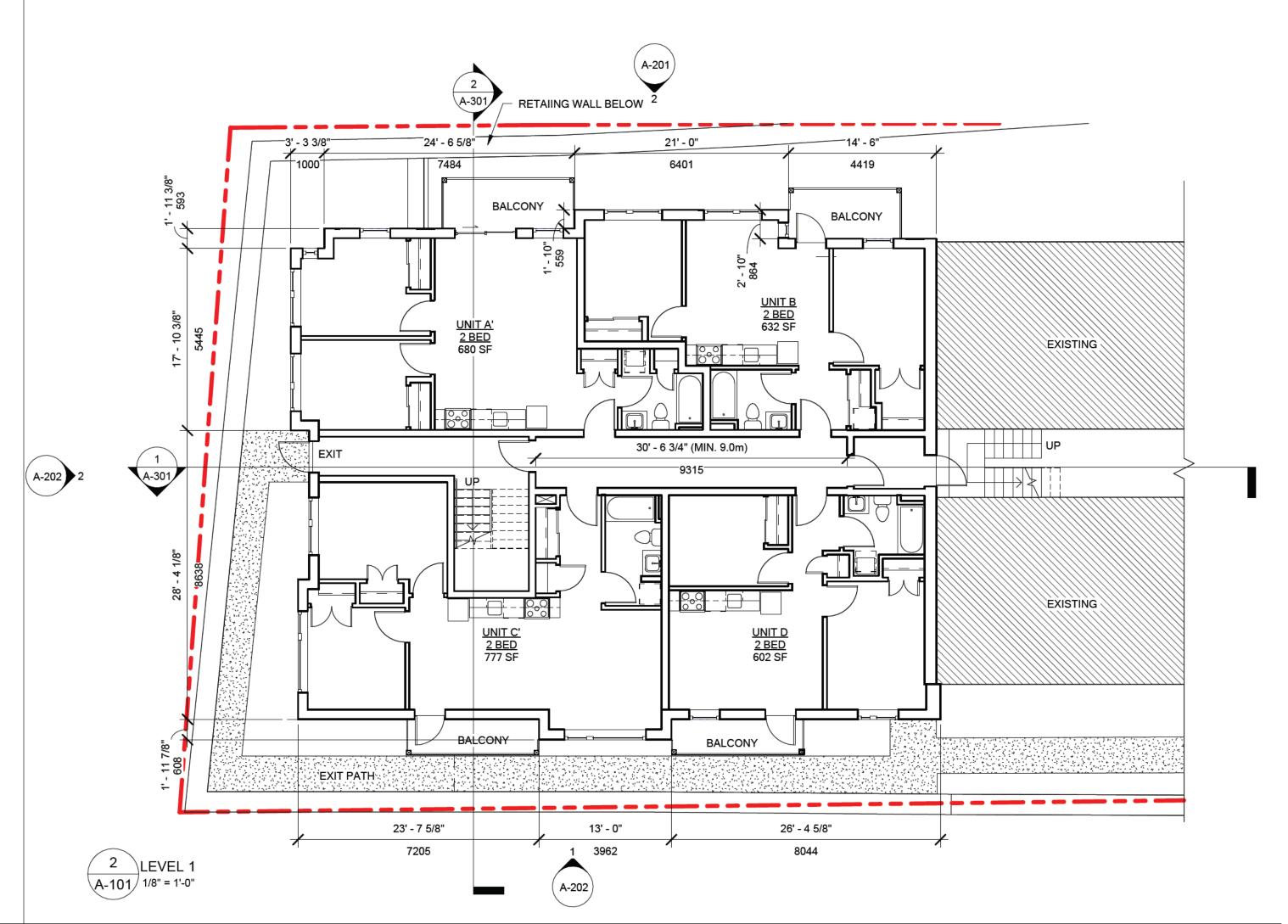
HALIFAX, NS

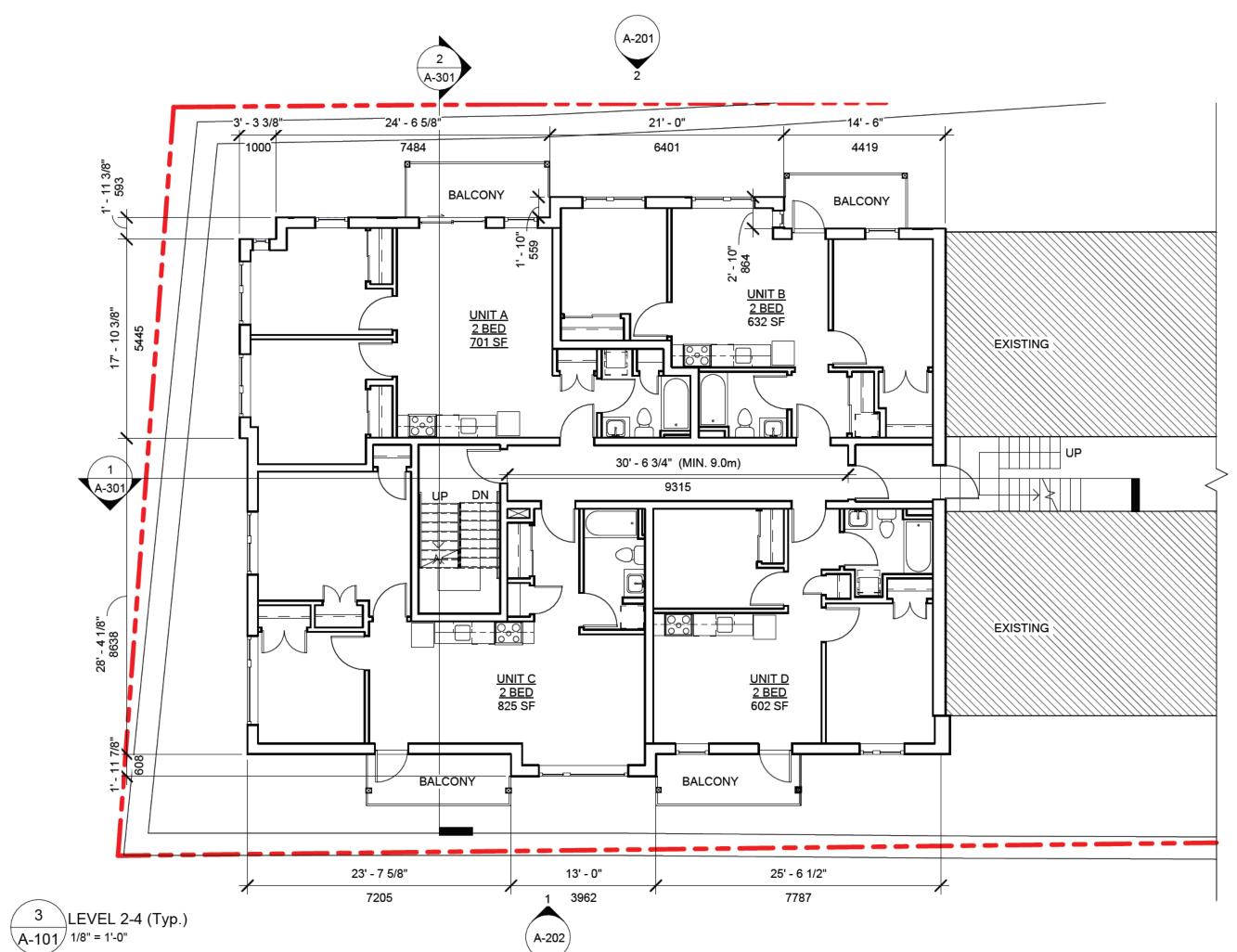
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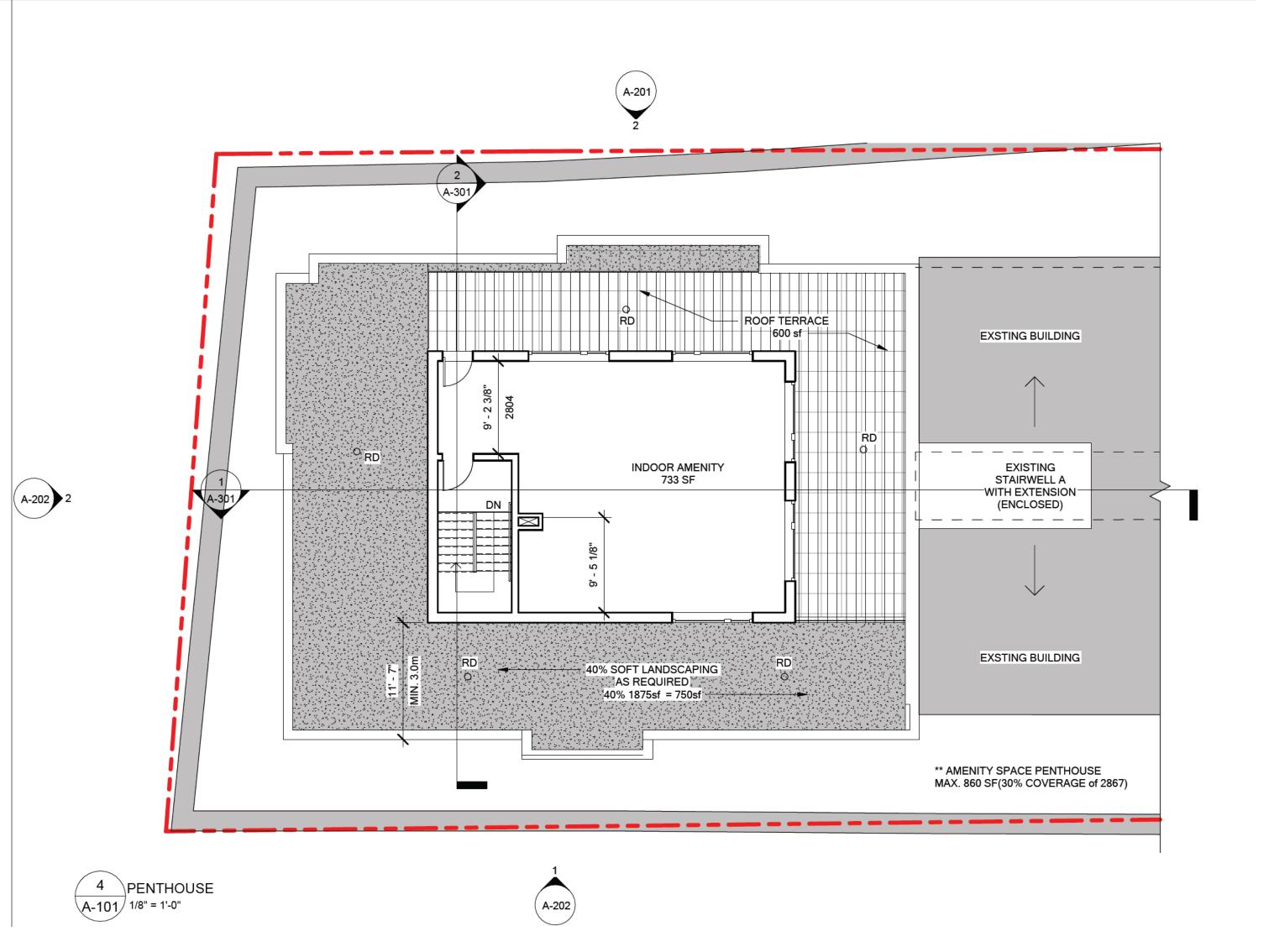
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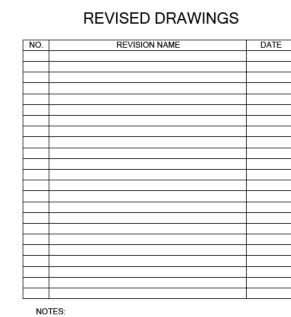
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- 1. ALL CONSTRUCTION TO MEET ALL APPLICABLE
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  2. DO NOT SCALE THIS DRAWING FOR CONSTUCTION
  PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
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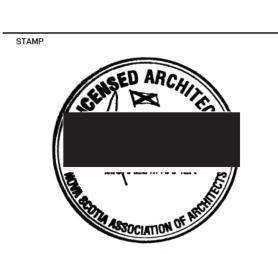
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DATE ISSUED:

LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT:





# **1134 TOWER** ROAD

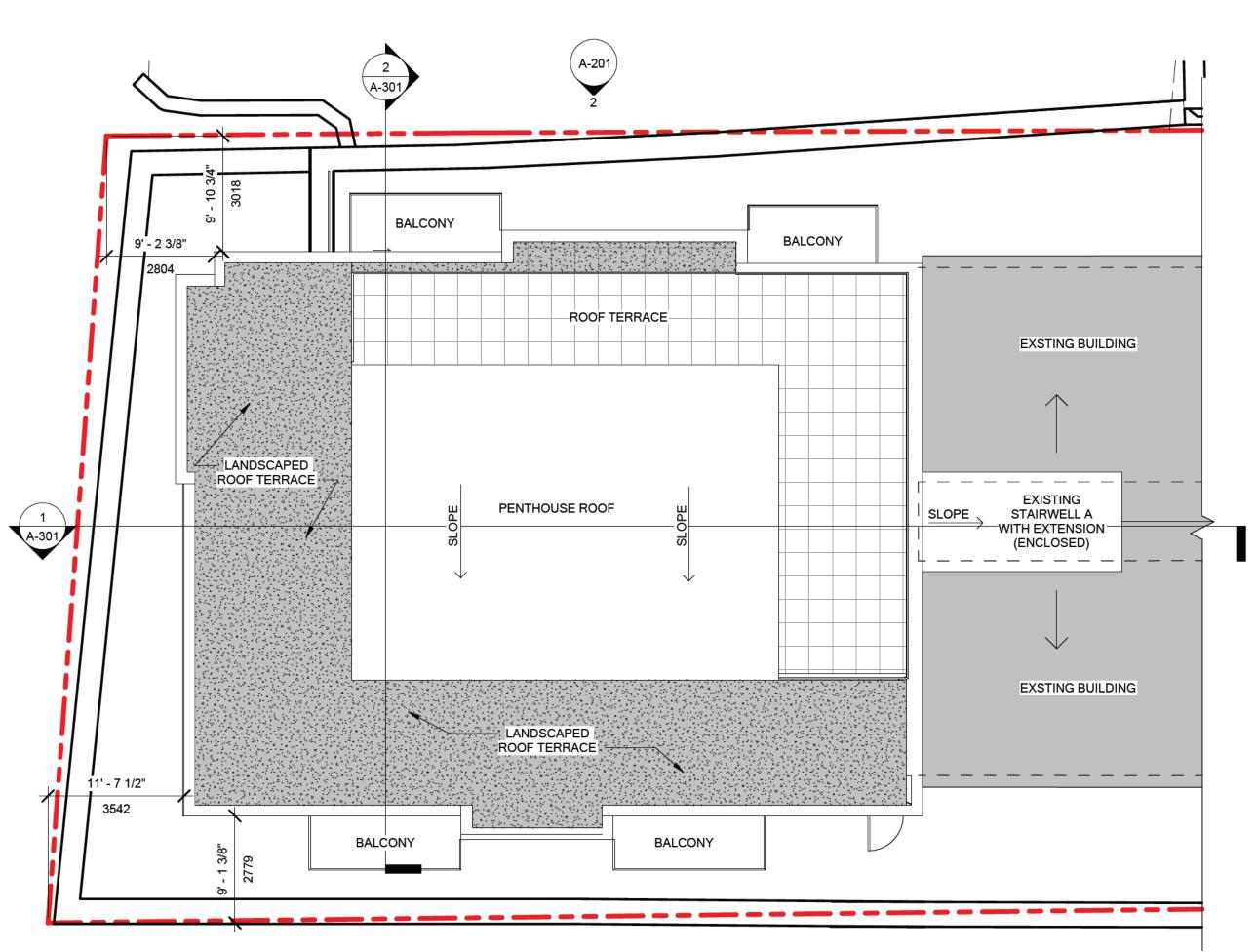
HALIFAX, NS

FLOOR PLANS

DRAWN: SHEET ISSUE DATE: 2021.05.25

SCALE: 1/8" = 1'-0"

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### REVISED DRAWINGS

NO.	REVISION NAME	D/
	-	

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DATE ISSUED: 2021.05.25

ISSUED FOR:

LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT:





**1134 TOWER** ROAD HALIFAX, NS

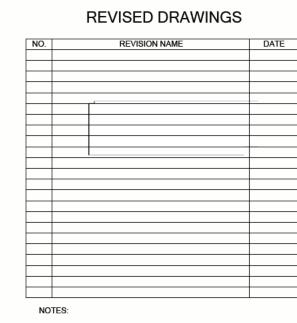
FLOOR PLANS

DRAWN: MNA

SHEET ISSUE DATE: 2021.05.25

SCALE: 1/8" = 1'-0"

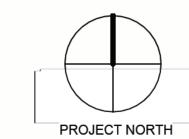
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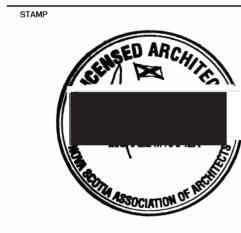
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DATE ISSUED: 2021.05.25

LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT:





1134 TOWER

ROAD HALIFAX, NS

DRAWING:

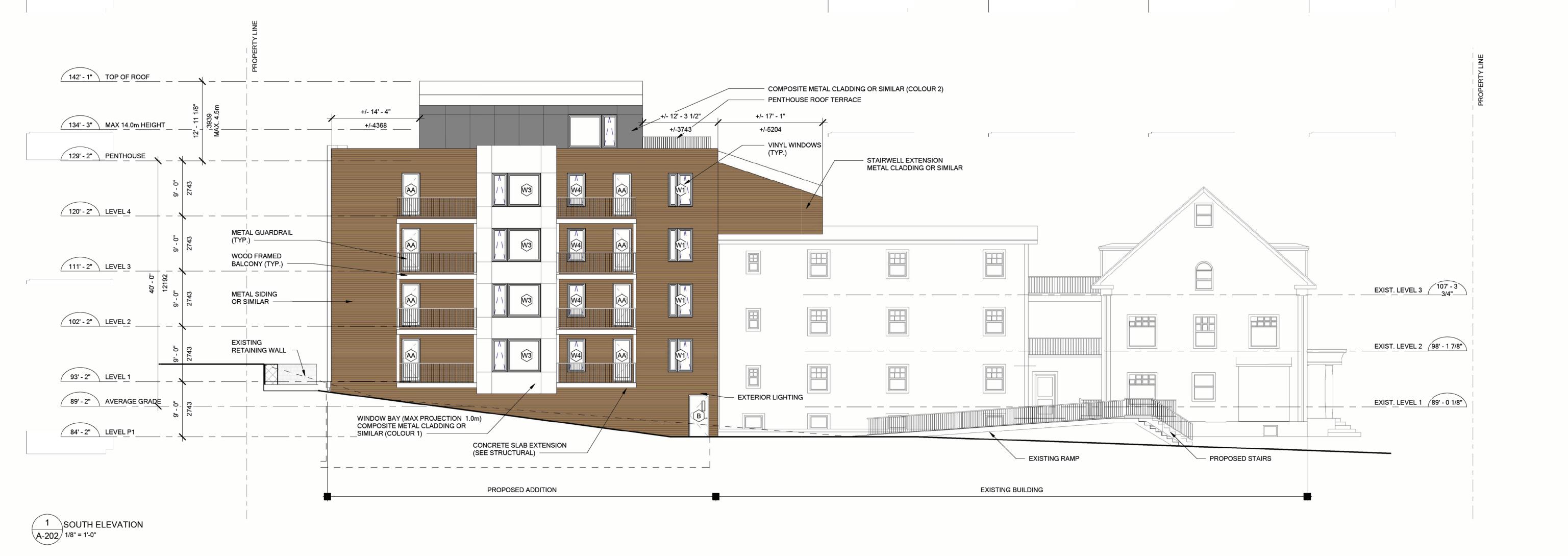
EAST & NORTH ELEVATIONS

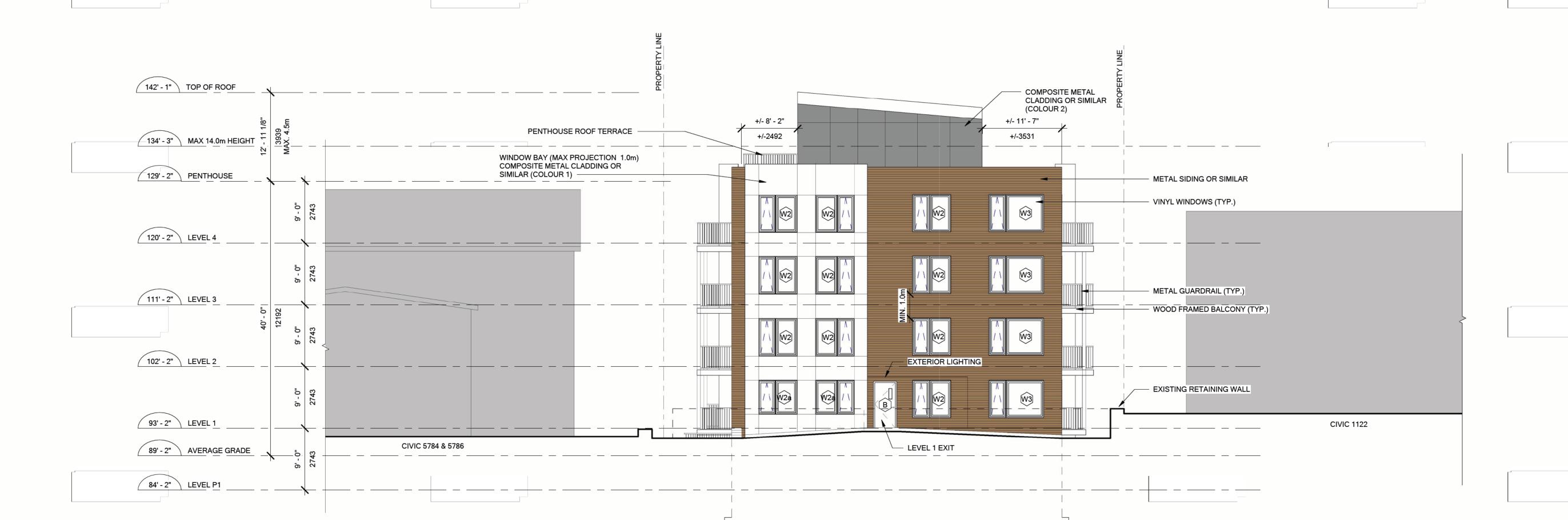
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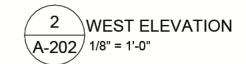
SHEET ISSUE DATE: 2021.05.25

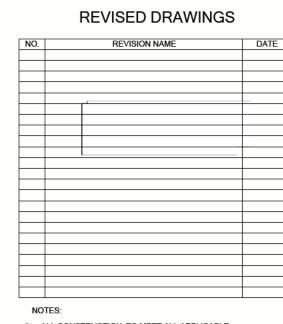
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DATE ISSUED:

LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT:



**1134 TOWER** ROAD HALIFAX, NS

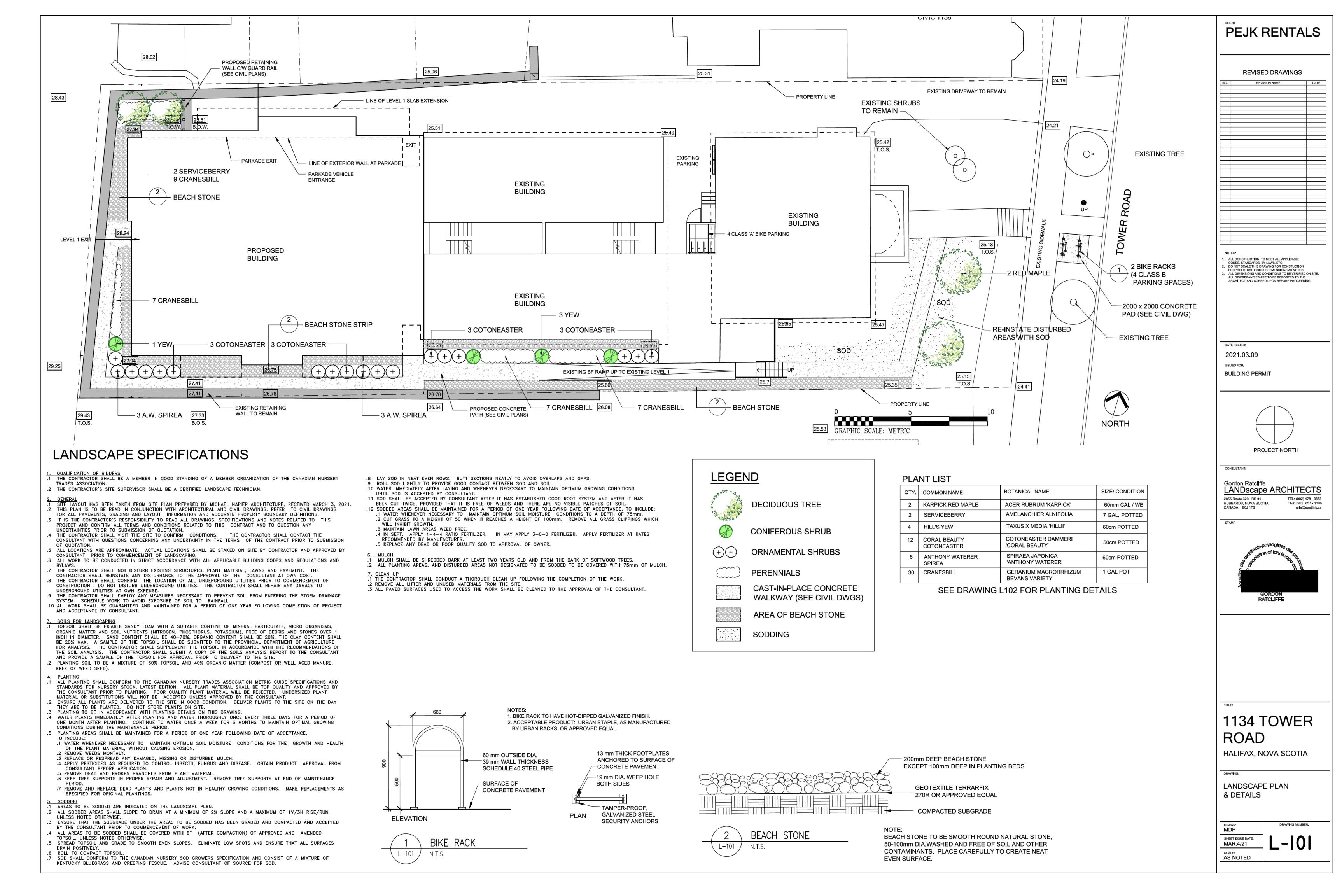
WEST & SOUTH ELEVATIONS

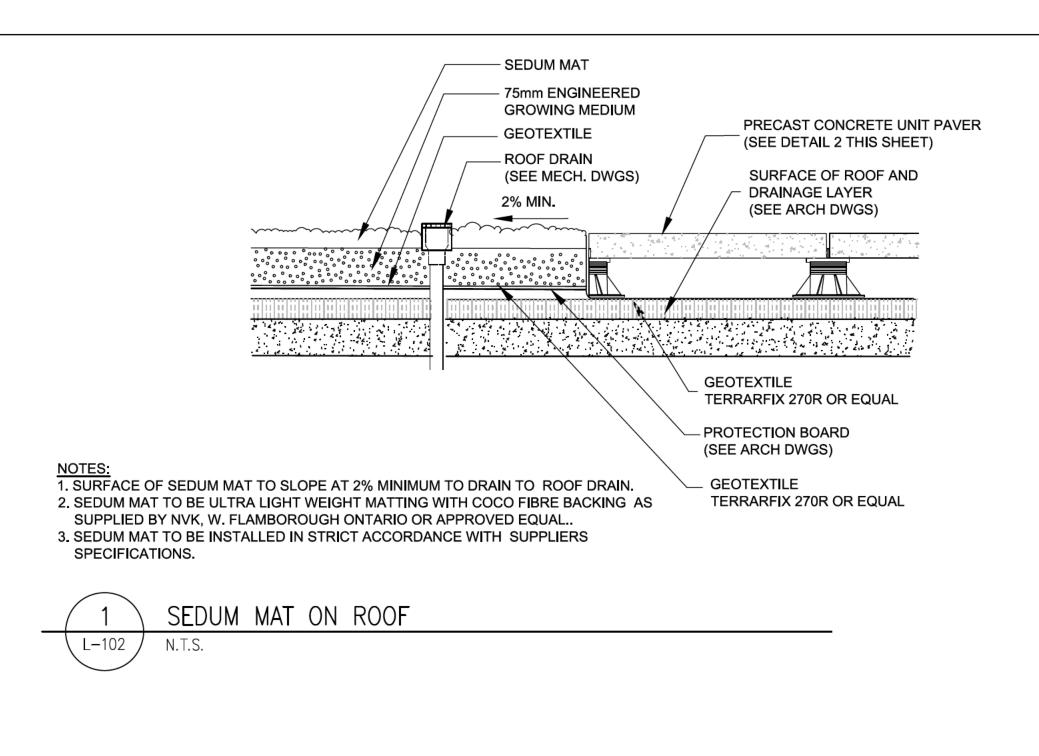
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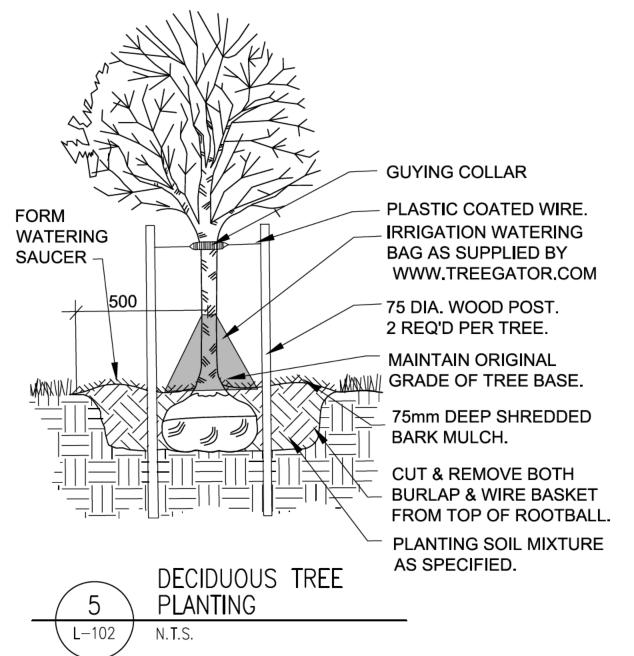
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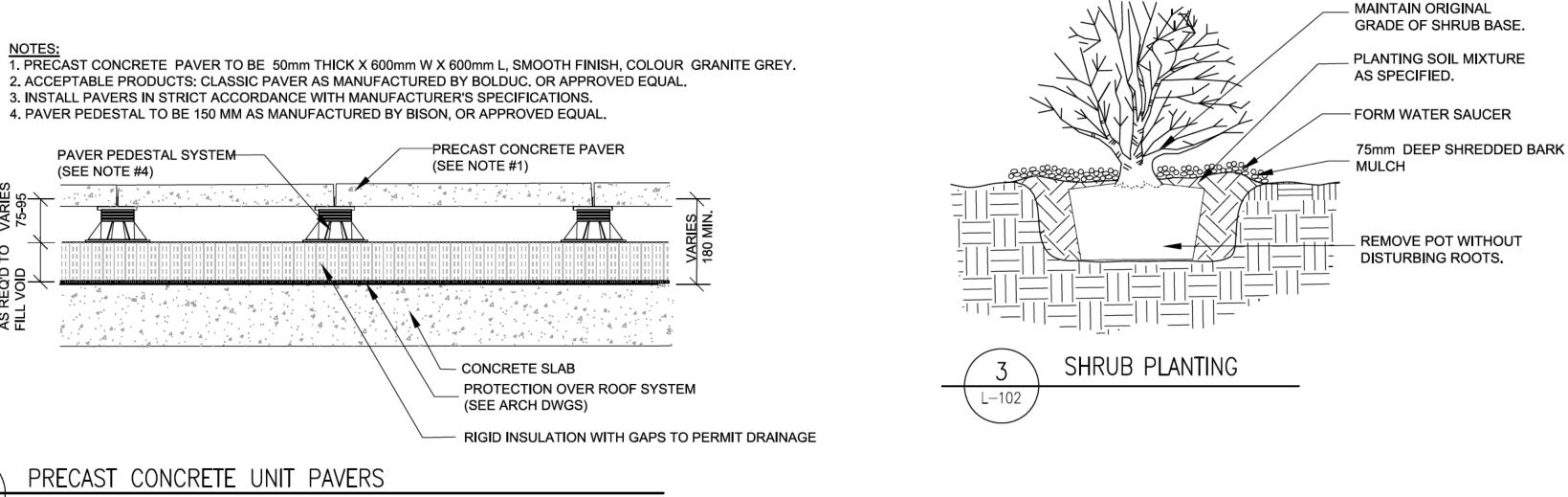


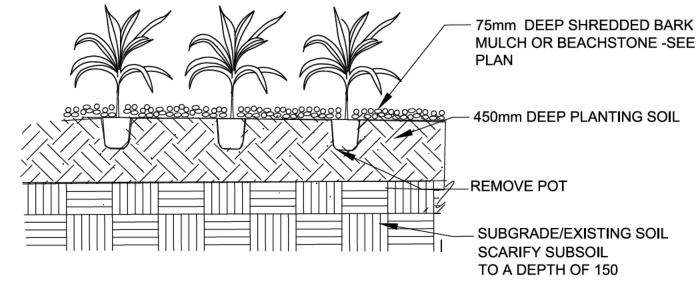






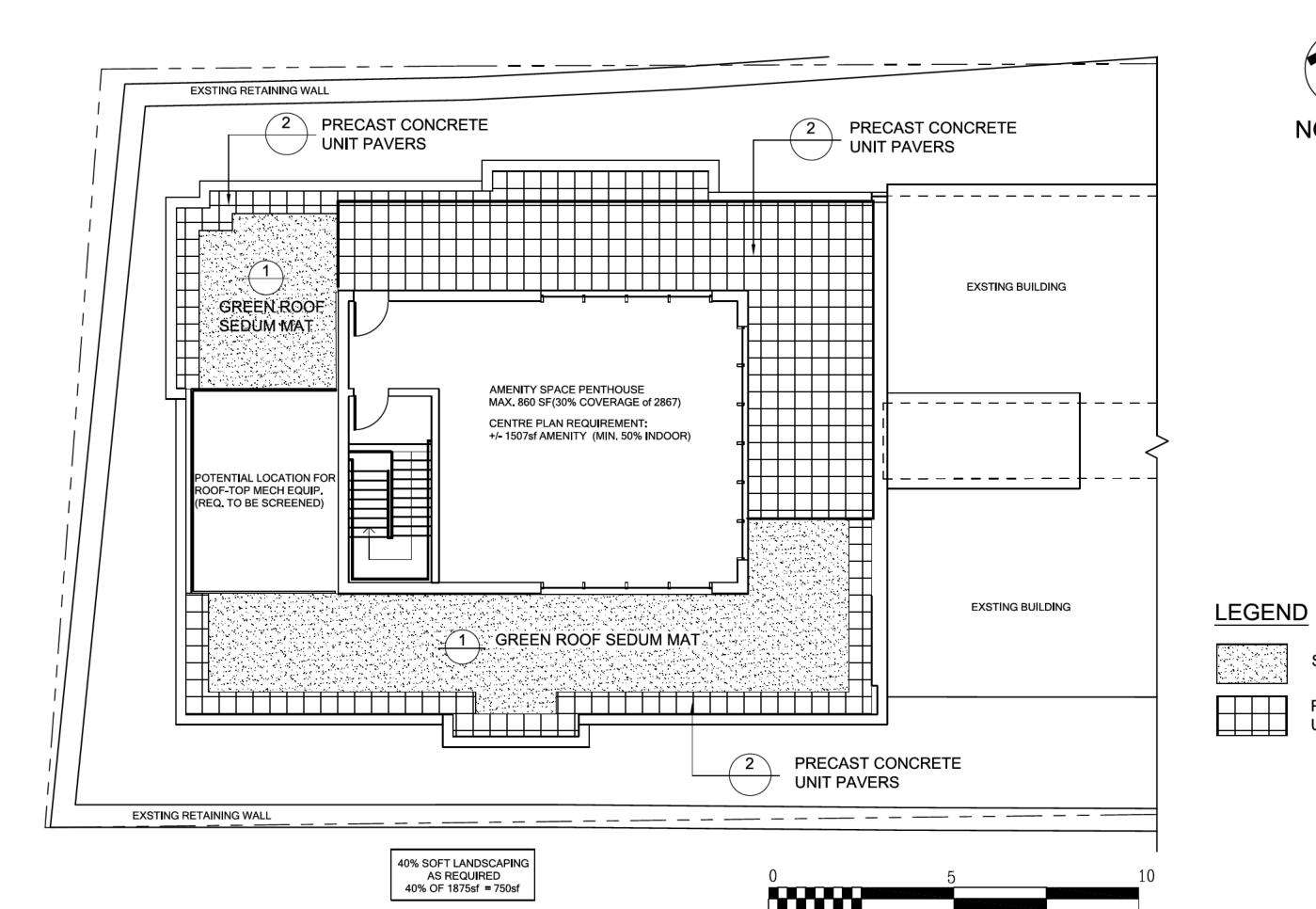








GRAPHIC SCALE: METRIC

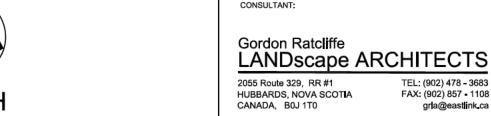




SEDUM MAT

**UNIT PAVERS** 

PRECAST CONCRETE



2021.03.04

**BUILDING PERMIT** 

ISSUED FOR:



PROJECT NORTH

FAX: (902) 857 - 1108

PEJK RENTALS

REVISED DRAWINGS

1. ALL CONSTRUCTION TO MEET ALL APPLICABLE
CODES, STANDARDS, BY-LAWS, ETC.
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# **1134 TOWER** ROAD

HALIFAX, NOVA SCOTIA

**ROOF TOP** LANDSCAPE PLAN

& DETAILS

DRAWN: DRAWING NUMBER: L-102 SHEET ISSUE DATE: MAR.4/21 SCALE: AS NOTED



Ref. No.211-03226-00

March 17, 2021

Ms. Ashley Blissett, P. Eng. Senior Development Engineer Halifax Regional Municipality PO Box 1749 HALIFAX NS B3J 3A5

Traffic Impact Statement, Proposed Multi-Tenant Residential Building RE: 1134 Tower Road, Halifax

Dear Ms. Blissett:

PEJK Real Estate Limited is preparing plans to construct a multi-unit residential building in a parking lot behind existing buildings at 1134 Tower Road. The proposed development (Figure 1) will include approximately 16 apartment units with 9 total car parking spaces (8 interior and 1 exterior), and 14 total bicycle parking spaces (11 class A and 3 class B). This is the Traffic Impact Statement (TIS) required to accompany the development application.

**Description of Site** - The development site at 1134 Tower Road is on the west side of the street approximately 150 meters south of South Street. The site with a three storey building (Photo 1) and added rear multi-unit addition includes 12 existing apartment units. These buildings will be retained and a four story building with 16 apartment units will be constructed towards the rear of the site (Figure 1).

Site Access Driveway - Vehicles accessing the parking garage for the new building will continue to use the existing driveway shown along the north side of the building in Photo Photo 1 - Looking west across Tower Road 1. Visibility is good on both Tower Road approaches to the towards the existing building on the site. The driveway (Photos 2 and 3). There is good visibility between drivers exiting the existing site driveway and pedestrians on the sidewalk.



driveway is to the right of the building.

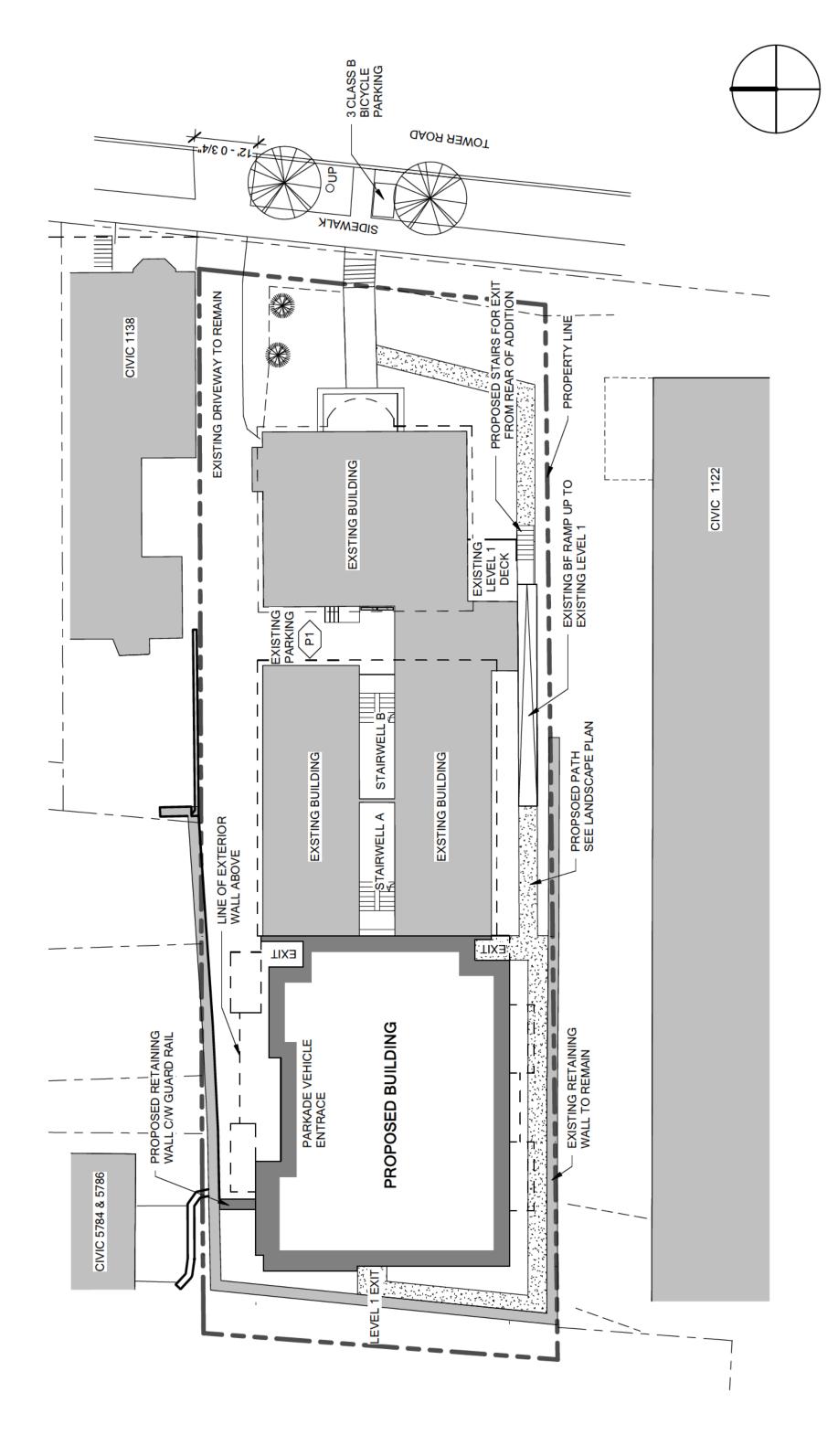
Tower Road is a two-lane local street with sidewalks on both sides. One hour parking is permitted 8AM to 6PM Monday to Friday on the west side of the street adjacent to the site. Except for 15 minute parking for a Ronald McDonald House, parking is not permitted on the east side of the street opposite the site.

Transit Service - Halifax Transit has bus the curb line of the site driveway. the curb line of the site driveway. routes operating on South Street just north of the site.





Photo 2 - Looking north on Tower Photo 3 - Looking south on Tower Road towards South Street from Road towards Inglis Street from



1134 TOWER ROAD HALIFAX, NS

03/15/21

Figure 1

DRAWING: SITE PLAN

MICHAEL NAPIER ARCHITECTUR

1:200

**Traffic Volumes** - A machine count obtained by HRM on Tower Road near the site during mid-June 2017 indicated two-way hourly traffic volumes of approximately 90 vehicles per hour (vph) during the AM Peak Hour and 110 vph during the PM Peak Hour.

**Trip Generation** - Trip generation estimates, prepared using published trip generation rates from *Trip Generation*, 10<sup>th</sup> Edition, (Table 1) indicate that the proposed mid-rise apartment building will generate five two-way vehicle trips (1 entering and 4 exiting) during the AM peak hour and seven two-way vehicle trip (4 entering and 3 exiting) during the PM peak hour.

Table 1 - Trip Generation Estimates for Proposed Development										
1 2		Trip Generation Rates <sup>3</sup>			Trips Generated <sup>3</sup>					
Land Use 1	Units <sup>2</sup>	AM Peak		PM Peak		AM F	AM Peak		PM Peak	
		In	Out	ln	Out	In	Out	In	Out	
Mid-Rise Apartment (Land Use 221)	16 units	0.09	0.27	0.27	0.17	1	4	4	3	

NOTES: 1. Rates are for the indicated Land Use Codes, *Trip Generation*, 10th Edition, Institute of Transportation Engineers, 2017

- 2. Number of apartment units
- 3. Rates are 'vehicles per hour per unit'; trips generated are 'vehicles per hour for peak hours'.

### Summary -

- The proposed project will include construction of a multi-unit residential building with 16 apartment units, 9 total car parking spaces, and 14 total bicycle parking spaces, in a parking lot behind existing buildings at 1134 Tower Road.
- Vehicles accessing the parking garage for the new building will continue to use the existing
  driveway along the north side of the existing buildings on the site. Visibility is good on both
  Tower Road approaches to the driveway. There is also good visibility between drivers exiting
  the driveway and pedestrians on the sidewalk.
- A traffic count obtained by HRM on Tower Road near the site during mid-June 2017 indicated very low two-way hourly traffic volumes of approximately 90 vehicles per hour (vph) during the AM Peak Hour and 110 vph during the PM Peak Hour.
- 4. It is estimated that the proposed 16 unit apartment building will generate five two-way vehicle trips (1 entering and 4 exiting) during the AM peak hour and seven two-way vehicle trip (4 entering and 3 exiting) during the PM peak hour.

### Conclusion -

Since traffic volumes are low and site generated trips are very low, trips estimated to be generated by this site are not expected to have any noticeable impact to the level of performance of adjacent streets, intersections, or the regional street network.

If you have any questions or comments, please contact me by Email to  $\underline{\text{ken.obrien@wspgroup.com}}$  or telephone 902-443-7747.

Sincerely:

Ken O'Brien, P. Eng. Senior Traffic Engineer WSP Canada Inc.





### PART VI DESIGN CRITERIA CHECKLIST

An application for Level II and Level III site plan approval, or an application for Level I site plan approval that includes a registered heritage property or a building located in a heritage conservation district, shall include a design rationale that identifies how each specific design requirement contained in Part VI is:

- (a) either applicable or not applicable in the specific context of the application; and
- (b) if applicable, the manner in which it has been addressed by the design.

Please complete this checklist to satisfy this application requirement.

This checklist is intended to be used as a guide to Part VI of the Regional Centre Land Use Bylaw. Additional requirements and definitions can be found within the full document. The Regional Centre Land Use Bylaw can be found here: <a href="https://www.halifax.ca/about-halifax/regional-community-planning/community-plan-areas/regional-centre-plan-area">https://www.halifax.ca/about-halifax/regional-community-planning/community-plan-areas/regional-centre-plan-area</a>

*Please note that all diagrams referenced in this form can be found in Part VI of the Regional Centre Land Use Bylaw					
	Part VI, Chapter 2: At-Grade Private Open Space Design Requirements				
Design Requirement: Contribution to Open Space Network					
Section 113 Where one or more atgrade private open space(s) are proposed, at least one shall contribute to the Regional Centre's network of open spaces by: (a) abutting an existing public open space that is not a public sidewalk; (b) abutting an existing public sidewalk; (c) abutting an existing mid-block at-grade private open space; or (d) establishing a new mid-block at-grade private open space.	☐ Applicable  X Not Applicable	Rationale:  N/A – Existing Condition. Front yard of existing building abuts Tower Road Sidewalk.			
Design Requirement: At-Grade Priva	Lagrands    te Open Spaces Abutting a Public Side	u walk			
Section 114 At-grade private open spaces that abut public sidewalks shall provide pedestrian access by having at least one contiguous connection of not less than 2.0 metres wide, from the at-grade private open space to the public sidewalk.	☐ Applicable  X Not Applicable	Rationale:  N/A – Existing Condition			
Design Requirement: At-Grade Priva	te Open Spaces – Medium Scale				
Section 115 At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall: (a) provide (i) barrier-free access, and (ii) permanent seating; and (b) provide one or more of the following materials for groundcover (i) vegetation, (ii) brick pavers, stone pavers, or concrete pavers, or (iii) wood, excluding composites.	☐ Applicable  X Not Applicable	Rationale:  N/A – Existing Condition  Dimensions of the at grade private open space has dimensions less than 3.0m			



Design Requirement: Weather Protec	tion for At-Grade Private Open Spaces	s – Medium Scale
Section 116 At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall offer weather protection to its users through at least one of the	□ Applicable  X Not Applicable	Rationale:  N/A – Existing Condition  Dimensions of the at grade private open space at the proposed addition has dimensions less than 3.0m
following (Diagram 7): (a) a new deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres; (b) canopies or awnings on abutting façades; (c) recessed entrances of abutting façades; (d) cantilever(s) of a building on the same lot; or (e) structures such as gazebos, pergolas, or covered site furnishings		
Design Requirement: At-Grade Priva	T	Deti-male.
<b>Section 117</b> In addition to meeting the requirements of Sections 115	<ul><li>☐ Applicable</li><li>X Not Applicable</li></ul>	Rationale:
and 116, at-grade private open	in the Lippiness	N/A – Existing Condition
spaces with a contiguous area exceeding 400 square metres and with an average depth exceeding 2.5 metres, shall provide at least three of the following: (a) an additional deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres; (b) a permanent table and chair(s); (c) a public art piece, a cultural artifact, or a commemorative monument; (d) a structure such as a gazebo or pergola; or (e) a planter or planting bed.		At grade private space at the proposed addition does not exceed 400m2.
Design Requirement: Existing Access Section 118 At-grade private open	□ Applicable	Rationale:
spaces shall maintain existing accesses to abutting public open spaces.	X Not Applicable	N/A – Existing Condition



Design Requirement: Privacy for Grade-Related Units						
Section 119 At-grade private open		Applicable	Rationale:			
spaces which are 2.5 metres deep or	Х	Not Applicable				
greater, as measured	^	1.501 ipplication	N/A – Existing Condition			
perpendicularly from the streetline,			=			
and which are located between the						
streetline and a grade-related unit,						
shall provide privacy for the						
residential units by using a						
minimum of one of the following						
elements per grade-related unit						
(Diagram 8): (a) a deciduous tree						
that is not a shrub with a minimum						
base caliper of 50 millimetres; (b) a						
minimum of two shrubs, each no						
less than 1.0 metre in height; (c)						
planters ranging in height from 0.25						
to 1.0 metres; or (d) masonry walls						
ranging in height from 0.25 to 1.0						
metres.						
Design Requirement: Walkways to be	Hard-Su	faced				
Section 120 Walkways within at-	Х	Applicable	Rationale:			
grade private open spaces shall be		Not Applicable				
hard-surfaced, excluding asphalt		11	Exit walkways to be cast in place			
			concrete (See Landscape Plan)			
		r 3: Building Design Require	ments			
Design Requirement: Streetwall Artic	ulation					
Section 121 Streetwalls shall be		Applicable	Rationale:			
divided into distinct sections no less	Х	Not Applicable				
than 0.3 metres in width and not			N/A – Existing Condition			
exceeding 8 metres in width, from			(no new streetwall proposed)			
the ground floor to the top of the						
streetwall, with each section						
differentiated by using at least two						
of the following (Diagram 9): (a)	1					
colour(s); (b) material(s); or (c)						
projections and recesses not less						
projections and recesses not less						
projections and recesses not less						
projections and recesses not less than 0.15 metres in depth.	Non-Stree	twalls Fronting on At Grada	Private Open Space			
projections and recesses not less than 0.15 metres in depth.  Design Requirement: Articulation of						
projections and recesses not less than 0.15 metres in depth.  Design Requirement: Articulation of Section 122 Any exterior wall		Applicable	Private Open Space Rationale:			
projections and recesses not less than 0.15 metres in depth.  Design Requirement: Articulation of Section 122 Any exterior wall within the podium that is not a			Rationale:			
projections and recesses not less than 0.15 metres in depth.  Design Requirement: Articulation of Section 122 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade		Applicable	Rationale:  N/A – Existing Condition			
projections and recesses not less than 0.15 metres in depth.  Design Requirement: Articulation of Section 122 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space abutting a public		Applicable	Rationale:			
Design Requirement: Articulation of Section 122 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space abutting a public right-of-way, shall meet the		Applicable	Rationale:  N/A – Existing Condition			
Design Requirement: Articulation of Section 122 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space abutting a public right-of-way, shall meet the requirements of Section 121 as if it		Applicable	Rationale:  N/A – Existing Condition			
Design Requirement: Articulation of Section 122 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space abutting a public right-of-way, shall meet the		Applicable	Rationale:  N/A – Existing Condition			
Design Requirement: Articulation of Section 122 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space abutting a public right-of-way, shall meet the requirements of Section 121 as if it		Applicable	Rationale:  N/A – Existing Condition			



Design Requirement: Side Façade Articulation						
Section 123 Where a side yard is	☐ Applicable	Rationale:				
proposed or required, the side yard	X Not Applicable	NI/A Enistina Canditian				
façade shall continue the streetwall articulation for a depth greater than		N/A – Existing Condition				
or equal to the width of the side						
yard, as measured at the streetline,						
using the same options chosen to						
achieve the design requirement in						
Section 121 (Diagram 10).						
	~					
Design Requirement: Pedestrian Entra		D (* 1				
Section 124 (1) Subject to Subsection 124(2), pedestrian	☐ Applicable	Rationale:				
entrances in the streetwall shall be	X Not Applicable	N/A – Existing Condition				
distinguished from the remainder of		1771 Laisting Condition				
the streetwall by using at least two						
of the following: (a) changes in						
colour; (b) changes in materials; or						
(c) projections and recesses not less						
than 0.15 metres in depth						
(2) Canopies or awnings shall not						
be used to meet the requirements of						
Subsection 124(1).						
Design Requirement: Pedestrian Entra	ances Along Non-Streetwalls Fronting	an At-Grade Private Open Space				
Section 125 Any exterior wall	☐ Applicable	Rationale:				
within the podium that is not a	X Not Applicable					
streetwall, and fronts an at-grade		N/A – No existing or proposed				
private open space, shall meet the		podium				
requirements of Section 124 as if it was a streetwall.						
was a streetwan.						
D : D : (D 1						
Design Requirement: Number of Pede Section 126 Streetwalls shall		D-4:1				
provide: (a) a minimum of one	<ul><li>☐ Applicable</li><li>X Not Applicable</li></ul>	Rationale:				
pedestrian entrance per storefront;	A Not Applicable	N/A – No existing or proposed				
or (b) a minimum of 2 pedestrian		storefront				
entrances where the storefront is						
greater than 24 metres wide						
Design Requirement: Ground Floor T	ransparency – Commercial Uses					
Section 127 For at-grade	☐ Applicable	Rationale:				
commercial uses in the streetwall,	X Not Applicable					
between 50% and 80% of the		N/A – No existing or proposed				
building's ground floor façade		commercial				
dedicated to commercial uses shall						
consist of clear glass glazing.						



Design Requirement: Ground Floor T	ransparency – Grade-Related Unit Use	es
Section 128 For grade-related unit	☐ Applicable	Rationale:
uses in the streetwall, between 25%	X Not Applicable	
and 80% of the building's ground		N/A – Existing Condition
floor façade dedicated to grade-		5
related unit uses shall consist of		
clear glass glazing.		
cical glass glazing.		
Design Requirement: Access Ramps		
Section 129 Where a ramp for	☐ Applicable	Rationale:
barrier-free access is provided	X Not Applicable	
between a streetwall and a		N/A – Existing Condition
sidewalk, no portion of the access		(Existing barrier free ramp)
ramp shall exceed a width of 2.0		
metres and depth of 2.0 metres.		
1		
Design Requirement: Weather Protec	tion .	
Section 130 (1) Subject to		Rationale:
	☐ Applicable	Rationale.
Subsection 130(2), where entrances for commercial uses or multi-unit	X Not Applicable	N/A Frieding Condition
dwelling uses are proposed in the		N/A – Existing Condition
streetwall, weather protection for		No multi-unit dwelling entrances
pedestrians shall be provided above		proposed in the streetwall.
the entrances and shall consist of at		proposed in the streetwan.
least one of the following (Diagram		
11): (a) canopies; (b) awnings; (c)		
recessed entrances; or (d)		
cantilevers.		
(2) (2) (1) (1) (1) (1)		
(2) Subsection 131(1) shall not		
apply to the entrances of grade-		
related units		
Design Requirement: Exposed Found	ations and Underground Parking Struc	tures
Section 131 Exterior foundation	X Applicable	Rationale:
walls and underground parking	□ Not Applicable	
structures the height of which		Where the proposed parkade is
exceeds 0.6 metres above grade		above grade, it is clad in a
shall be clad in a material consistent		consistent material as the exterior
with the overall design of the same		walls above. See Elevations A201
exterior façade.		and A203.
exterior ideade.		und 71203.



Design Requirement: Building Top D		
Section 132 (1) Subject to	<b>X</b> Applicable	Rationale:
Subsection 132(2), a portion of the	□ Not Applicable	
top third of a building shall be		The penthouse is differentiated
differentiated from lower portions		from the lower two thirds of the
of the same building, by using two		building by colour and is recessed
or more of the following (Diagram		from the edge of the building below
12): (a) colour(s); (b) material(s);		approximately 3.0m.
and (c) projections and recesses not		approximately 5.0m.
less than 0.15 metres in depth.		See Elevations, drawings A201 and
less than 0.15 metres in depth.		A202.
(2) The minimum height of the		A202.
(2) The minimum height of the		
differentiated portion shall be no		
less than: (a) 0.5 metres in height		
for a low-rise building or mid-rise		
building; (b) 1.0 metres in height		
for a tall mid-rise building; and (c)		
3.0 metres in height for a high-rise		
building.		
Design Requirement: Penthouses		
Section 133 Penthouses shall be	X Applicable	Rationale:
visually integrated into the overall	□ Not Applicable	
design of the building		The penthouse is visually integrated
		into the overall design of the
		building by using similar materials
		as the base of the building.
		_
		See Elevations, drawings A201 and
		A202.
Design Requirement: Rooftop Mecha	nical Features	
Section 134 Rooftop mechanical	X Applicable	Rationale:
features shall be visually integrated	□ Not Applicable	
into the design of the building and	☐ Not Applicable	All rooftop mechanical features are
	□ Not Applicable	All rooftop mechanical features are concealed from public view at the
into the design of the building and	□ Not Applicable	
into the design of the building and concealed from the public view at the streetline.		concealed from public view at the streetline. See A101
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter	· 4: Parking, Access, and Utilities Desig	concealed from public view at the streetline. See A101
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Content of the building and concealed from the public view at the streetline.	4: Parking, Access, and Utilities Designections	concealed from public view at the streetline. See A101 n Requirements
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Communications Section 135 Where pedestrian	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter  Design Requirement: Pedestrian Com  Section 135 Where pedestrian connections are proposed on the	4: Parking, Access, and Utilities Designections	concealed from public view at the streetline. See A101  n Requirements  Rationale:
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter  Design Requirement: Pedestrian Consection 135 Where pedestrian connections are proposed on the site, at least one shall connect	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Communications are proposed on the site, at least one shall connect (Diagram 13): (a) one public street	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Consection 135 Where pedestrian connections are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Communications are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space;	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Communications are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Comestions are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Consection 135 Where pedestrian connections are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Communications are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Consection 135 Where pedestrian connections are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private	4: Parking, Access, and Utilities Designections  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Communications are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the site.	4: Parking, Access, and Utilities Designections  Applicable X Not Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the site are proposed)
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Comestions are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the site.  Design Requirement: Pedestrian Comestic Require	- 4: Parking, Access, and Utilities Designections  Applicable X Not Applicable  nections Through Accessory Surface Page 1	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the site are proposed)
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Comestions are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the site.  Design Requirement: Pedestrian Comestion 136 (1) Pedestrian	Applicable  X Not Applicable  X Applicable  Applicable  Applicable  Applicable  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the site are proposed)
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Communications are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the site.  Design Requirement: Pedestrian Communications within accessory	- 4: Parking, Access, and Utilities Designections  Applicable X Not Applicable  nections Through Accessory Surface Page 1	concealed from public view at the streetline. See A101  In Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the site are proposed)  arking Lots  Rationale:
into the design of the building and concealed from the public view at the streetline.  Part VI, Chapter Design Requirement: Pedestrian Comestions are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the site.  Design Requirement: Pedestrian Comestion 136 (1) Pedestrian	Applicable  X Not Applicable  X Applicable  Applicable  Applicable  Applicable  Applicable	concealed from public view at the streetline. See A101  n Requirements  Rationale:  N/A – Existing Condition (no pedestrian connections on the site are proposed)



(2) Pedestrian connections within accessory surface parking lots shall be delineated by raised walkways, no less than 0.15 metres high, and consisting of: (a) poured concrete; (b) brick pavers; (c) stone pavers; or (d) concrete pavers.		
(3) Where a pedestrian connection crosses a driving aisle, the surface of the aisle shall be raised to meet the elevation of the abutting pedestrian connection and delineated with a change of colour or material from the driving aisle.		
(4) A pedestrian connection shall provide a direct route between parking areas, building entrances, and the nearest sidewalk.		
Design Requirement: Motor Vehicle		I D .: 1
Section 137 (1) Motor vehicle and service accesses in the streetwall shall be minimized by using the same colours or materials chosen for the streetwall.	<ul><li>☐ Applicable</li><li>X Not Applicable</li></ul>	Rationale:  N/A – Existing Condition (no motor vehicle service access in the streewall proposed)
(2) All motor vehicle and service accesses shall: (a) not exceed the height of the ground floor or 4.5 metres, whichever is less; and (b) be completely enclosed with a door(s)		
Design Requirement: Parking Interna	l to a Building or Within a Parking Stru	ucture
Section 138 Where parking internal to a building is located within the streetwall, it shall be screened from public view from any public right-of-way or park.	□ Applicable <b>X</b> Not Applicable	Rationale:  N/A – Existing Condition (no internal parking is located within the streetwall)
	Mitigation for Utility and Mechanical F	
Section 139 The visual impact of utility features and mechanical features, including vents and meters, shall be minimized by concealing them from public view at the streetline by: (a) using opaque screening; or (b) enclosing them within a projection or recess in the building.	☐ Applicable  X Not Applicable	Rationale:  N/A – No proposed mechanical features are visible at the streetline.



Design Requirement: Heat Pumps and Other Heating and Ventilation Equipment for Individual Units			
Section 140 Heat pumps and other	☐ Applicable	Rationale:	
heating and ventilation equipment	X Not Applicable		
for individual units are permitted on		N/A – no heat pumps or other	
balconies, unenclosed porches, and		heating and ventilation equipment	
verandas if they are concealed from		is proposed on balconies.	
public view at the streetline by: (a)			
using opaque screening; or (b)			
enclosing them within a projection			
or recess in the building.			
_			
	pter 5: Heritage Conservation Design F	Requirements	
Design Requirement: Conservation of	Character-Defining Elements		
Section 141 Character-defining	☐ Applicable	Rationale:	
elements of registered heritage	X Not Applicable		
buildings shall be conserved and		N/A	
remain unobstructed.			
Design Requirement: New Windows			
Section 142 New window and door	☐ Applicable	Rationale:	
openings on registered heritage	X Not Applicable		
buildings shall match established		N/A	
patterns (materials, design, detail,			
and dimensions).			
Design Requirement: Preservation of	Architectural Elements		
Section 143 Architectural elements	☐ Applicable	Rationale:	
on registered heritage buildings	X Not Applicable	rationale.	
shall be preserved, such as pilasters,	Not Applicable	N/A	
columns, cornices, bays, and		1071	
parapets.			
parapets.			
Design Requirement: Use of Archival	Evidence		
Section 144 Archival evidence		Rationale:	
shall be used to support the	X Not Applicable		
rehabilitation and restoration of	n Herrippheasie	N/A	
character-defining elements on			
registered heritage buildings, or on			
registered heritage properties.			
6 FF			
Daving Barry'	F1		
Design Requirement: Historic Building		Dationala	
Section 145 Historic building	☐ Applicable	Rationale:	
façades on registered heritage	□ Not Applicable	NT/A	
buildings shall be retained and		N/A	
rehabilitated, or restored using			
traditional materials.			
Design Requirement: Materials			
Section 146 Brick or masonry	☐ Applicable	Rationale:	
façades shall be maintained and	X Not Applicable	Tationale.	
restored on registered heritage	A Not Applicable	N/A	
buildings. The painting of brick or		17/11	
masonry façades is prohibited.			
masomy raçades is promoted.			



Design Requirement: Maintenance of Context	Same or Similar Cornice Line Height	for New Developments in a Heritage
Section 147 The podiums or streetwalls of new developments in a heritage context shall maintain the same or similar cornice line height established by abutting registered heritage buildings, except where the maximum streetwall height permitted under the Land Use Bylaw is lower than the cornice of the registered heritage buildings.	□ Applicable  X Not Applicable	Rationale: N/A
Design Requirement: Streetwall Step	back for Taller Portions of New Develo	opments in a Heritage Context
Section 148 Subject to Subsection 93(4), any portions of new developments in a heritage context that are taller than the cornice line of an existing abutting registered heritage building shall be stepped back from the streetwall (Diagram 14).	□ Applicable <b>X</b> Not Applicable	Rationale: N/A
Design Requirement: Side Wall Steph	back for Taller Portions of New Detach	ed Buildings in a Heritage Context
Section 149 Where a detached building constitutes a new development in a heritage context and where it abuts the same streetline as the registered heritage building, any portions of the new development that are taller than the cornice line of the registered heritage building shall be stepped back 3 metres on the side that abuts the heritage building (Diagram 15).	☐ Applicable  X Not Applicable	Rationale: N/A
Design Requirement: Architectural E Design of New Development in a Her	lements of Existing Heritage Buildings	to be Used as a Reference in the
Section 150 Architectural elements of existing abutting registered heritage buildings shall be used as a reference in the design of new development in a heritage context, by: (a) Incorporating articulation established by vertical and horizontal architectural elements of the registered heritage buildings (i.e. columns, pilasters, cornice, architectural frieze, datum lines, etc.); (b) Incorporating proportions and vertical spacing of the registered heritage buildings' windows; and (c) Where new development in a heritage context is located at the ground level, maintaining the proportions and transparency of the registered	Applicable X Not Applicable	Rationale: N/A



heritage buildings' storefront and façade elements		
Design Requirement: Awnings and C	anopies	
Section 151 (1) If proposed on a registered heritage building, awnings and canopies shall be: (a) Designed to fit within the dominant horizontal structural elements of the lower façade and not obscure significant architectural features; (b) Located between vertical columns or pilasters to accentuate and not to obscure these elements; (c) Designed to complement the fenestration pattern of the registered heritage building; and (d) Constructed using heavy canvas fabric or similar material in either a solid colour or striped. The use of retractable awnings is encouraged. Vinyl and high gloss fabrics and internally-illuminated awnings shall be prohibited.  (2) Metal or glass awnings or canopies may be permitted on a registered heritage building, if designed to complement historic architectural elements.	□ Applicable  X Not Applicable	Rationale: N/A
Darian Danimona de Linkina Hanka		
Design Requirement: Lighting Hardw Section 152 Lighting hardware		Rationale:
shall be located so that it does not disfigure or conceal any significant architectural feature of the registered heritage building. Where it is not possible to hide lighting hardware, it shall be compatible with the building's architecture and materials.	Applicable  X Not Applicable	N/A
	ing to Accentuate or Emphasize Archite	
Section 153 Lighting shall be directed to accentuate or emphasize the architectural features of registered heritage buildings or their signage.	□ Applicable <b>X</b> Not Applicable	Rationale: N/A



Part VI, Chapter 6: Other Design Requirements		
Design Requirement: General Lightin Section 154 The following features shall be illuminated: (a) common building entrances; (b) walkways; (c) accessible at-grade private open space; (d) parking lots; and (e) off-street loading spaces.	X Applicable □ Not Applicable	Rationale:  The following features shall be illuminated: (a) common building entrances (See A-201 & A-202) (b) walkways (See A-201 & A-202) (c) accessible at-grade private open space; N/A existing condition (d) parking lots N/A (e) off-street loading spaces. N/A
Design Requirement: Emphasis of Vi Section 155 View terminus sites, as shown on Schedule 5, shall be emphasized perpendicular to and visible from a view line, by at least one of the following approaches: (a) subject to Subsection 93(5), extending the height of a portion of the streetwall (Diagram 16); (b) locating a clock tower, bell tower, rooftop cupola, spire, steeple, or minaret on the top of the building (Diagram 16); (c) providing an atgrade private open space (Diagram 17); or (d) locating a public art installation, a landmark element, or a cultural artifact on a portion of the streetwall, or in an at-grade private open space (Diagram 17).	ew Terminus Sites  Applicable X Not Applicable	Rationale: N/A
Design Requirement: Parking Areas, Utilities on View Terminus Sites  Section 156 Parking areas, accessory surface parking lots, off-street loading spaces, or site utilities shall not be visible within a view terminus as shown on Schedule 5.	Accessory Surface Parking Lots, Off-S  Applicable X Not Applicable	Rationale:  N/A