



PO Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

MEMORANDUM

TO: Chair and Members of the Design Advisory Committee

FROM: Sean Audas, Principal Planner & Development Officer, Current Planning

DATE: July 14, 2021

SUBJECT: Case #23515 - Level II Site Plan Approval Application – 1134 Tower Road, Halifax

Background:

The applicant has submitted a Level II Site Plan Approval under the [Regional Centre Land Use Bylaw](#) (LUB) for 1134 Tower Road, Halifax, N.S. (PID #00154021). A pre-application has been completed and the proposal has been deemed compliant with the requirements of the LUB.

The applicant is seeking a recommendation from the Design Advisory Committee on the design requirements, as required by the LUB. Confirmation has been received that the Public Information process is ongoing and has met the requirements of Sections 21, 26 and 27 of the land use by-law.

Existing Use: The property is currently being used as a twelve (12) unit multi residential building.

Zoning: HR-1 (Higher-Order Residential 1) under the Regional Centre Land Use Bylaw.

Proposal:

The proposal before the Committee is a four (4) storey, sixteen (16) unit rear addition to the existing multi residential building which would result in a twenty-eight (28) unit multi residential building. The proposed building contains one level of underground parking and is classified as a mid-rise building under the Land Use By-law.

Input Requested from Design Advisory Committee:

In accordance with the requirements of the LUB and the Terms of Reference for the Design Advisory Committee, the Committee is being asked to provide a recommendation to the Development Officer regarding the design requirements of Part VI. No variations have been requested. The following chapters of Part VI are relevant to this proposal:

| | |
|---|---|
| Chapter 1: General Site Plan Approval Design Requirements | Chapter 1 sets out the requirement for site plan approval. There are no criteria to be satisfied. |
|---|---|

Current Planning – Planning & Development

Tel: 902-476-9553
Email: audass@halifax.ca www.halifax.ca

| | |
|---|---|
| Chapter 2: At-Grade Private Open Space Design Requirements | <p>The proposal is for a rear addition which does not front or face a streetline.</p> <p>There are no proposed changes to the existing building fronting Tower Road. Existing Conditions exist.</p> <p>There are no criteria to be satisfied.</p> <p>-</p> |
| Chapter 3: Building Design Requirements | <p>The Elevation Drawings and Building Renderings illustrate the following design requirements of this Chapter that apply to the rear addition.</p> <ul style="list-style-type: none"> - As shown on elevation drawings and renderings, exterior foundation walls and underground parking areas exceeding 0.6 metres above grade have been clad with similar colour and metal siding as the overall design of the exterior façade. - Building top is a penthouse which is differentiated from the lower two thirds of the building by colour and recessed. - Penthouse is visually integrated into the overall design of the building with complimentary cladding and fenestration |
| Chapter 4: Parking, Access, and Utilities Design Requirements | <ul style="list-style-type: none"> - The motor vehicle parking is internal to the building and not located within the streetwall. The vehicle access does not exceed the height of the ground floor nor 4.5metres. - Mechanical features are not visible from streetline - Heat Pumps are not proposed. |
| Chapter 5: Heritage Conservation Design Requirements | <ul style="list-style-type: none"> - Not applicable – the subject property is not a heritage property and is not within a heritage conservation district. |
| Chapter 6: Other Design Requirements | <ul style="list-style-type: none"> - Common Building Entrances and walkways will be illuminated. - The subject site is not a View Terminus Site. |
| Chapter 7: Variation Criteria | <ul style="list-style-type: none"> - No variations have been proposed. |

Any recommendations made by the Committee will be considered by the Development Officer prior to approval or refusal of the Site Plan Approval application. Any changes to the building informed by the recommendation of the Committee must meet the requirements of the Land Use Bylaw.



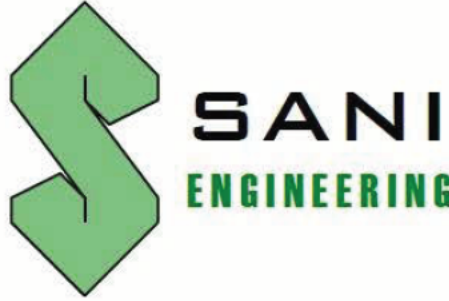




Attachments:

Please refer to the digital building plans package for all renderings, floor plans, landscaping, and design rationale.

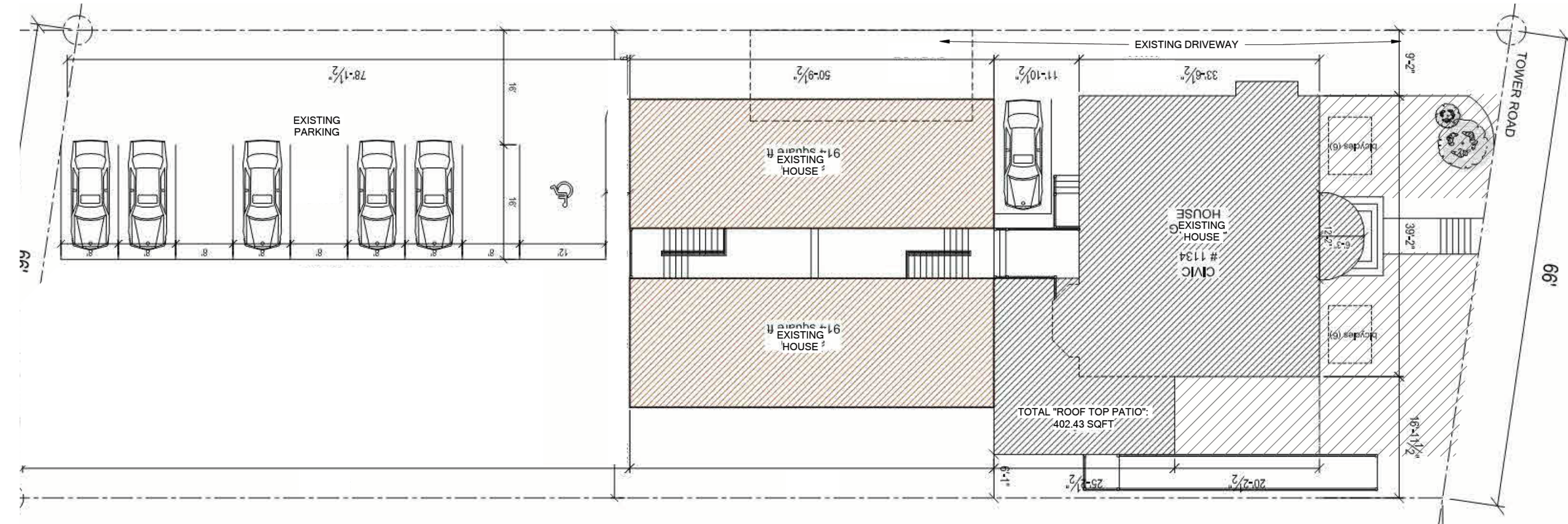
RESIDENTIAL ADDITION

1134 TOWER ROAD, HALIFAX, NS
 PID: #00054445

| ARCHITECTURAL SHEET LIST | | | | | |
|--------------------------|----------------------------|------------|------------------|------------------------------|---------------|
| SHEET NO. | SHEET NAME | ISSUE DATE | CURRENT REVISION | CURRENT REVISION DESCRIPTION | REVISION DATE |
| A-001 | EXISTING BUILDING DRAWINGS | 2021.05.25 | | | |
| A-002 | PROPOSED SITE PLAN | 2021.05.25 | | | |
| A-003 | CENTRE PLAN SUMMARY | 2021.05.25 | | | |
| A-101 | FLOOR PLANS | 2021.05.25 | | | |
| A-102 | FLOOR PLANS | 2021.05.25 | | | |
| A-201 | EAST & NORTH ELEVATIONS | 2021.05.25 | | | |
| A-202 | WEST & SOUTH ELEVATIONS | 2021.05.25 | | | |

| | |
|---|---|
| CLIENT | |
|  | TEL. xx CONTACT: LOUISE JESSOM |
| ARCHITECTURAL | |
|  | TEL. 902 455 5522 www.mnarch.ca CONTACT: ERIN ASHLEY |
| STRUCTURAL | |
|  | TEL. 902 482 1009 www.sani-engineering.com CONTACT: STEFANO SANI |
| MECHANICAL | |
|  | TEL. 902 222 5364 www.mlengineering.ca CONTACT: MARK LAWRENCE |
| ELECTRICAL | |
|  | TEL. 902 252 2131 www.electecengineering.com CONTACT: MARC JOUDREY |
| LANDSCAPE ARCHITECTURE | |
|  | TEL. 902 478 3683 CONTACT: GORDON RATCLIFFE |
| CIVIL | |
|  | TEL. 902 455 1537 www.sdmm.ca CONTACT: GEOFF MACLEAN |

RENOVATIONS PROPOSED BY MNA ARE SHOWN IN *ITALICS*

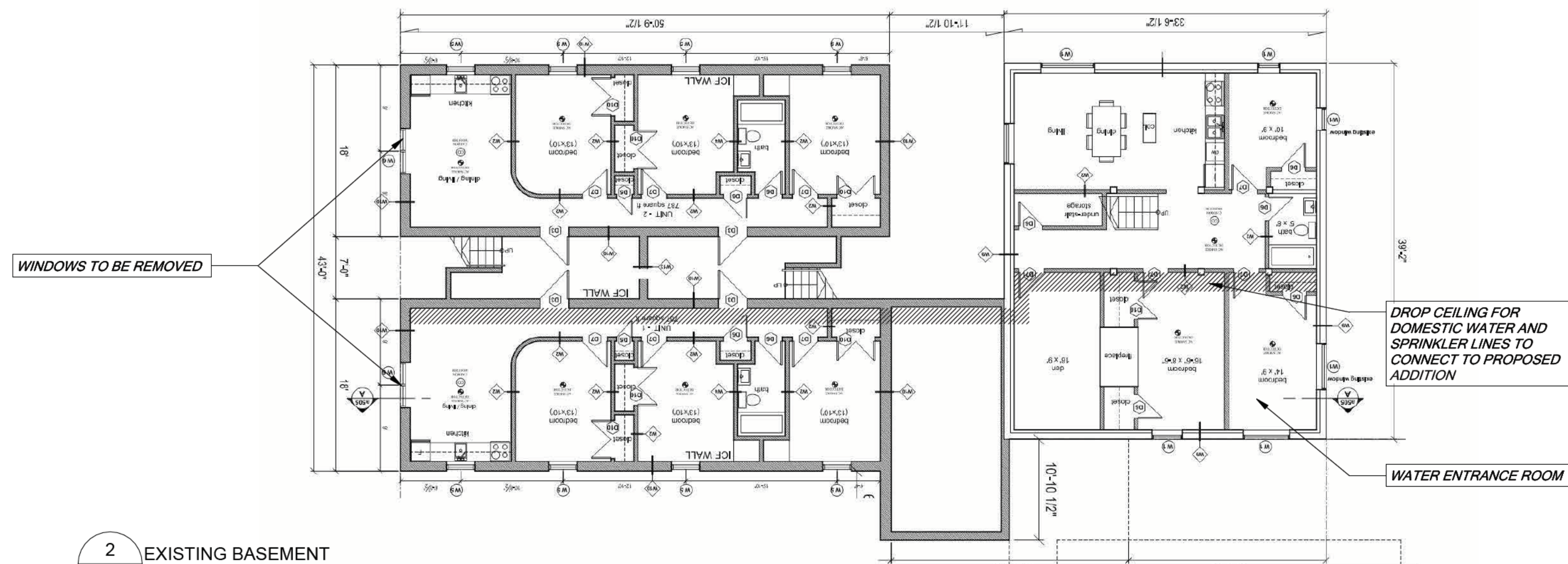


1 EXISTING SITE PLAN
A-001 3/32" = 1'-0"

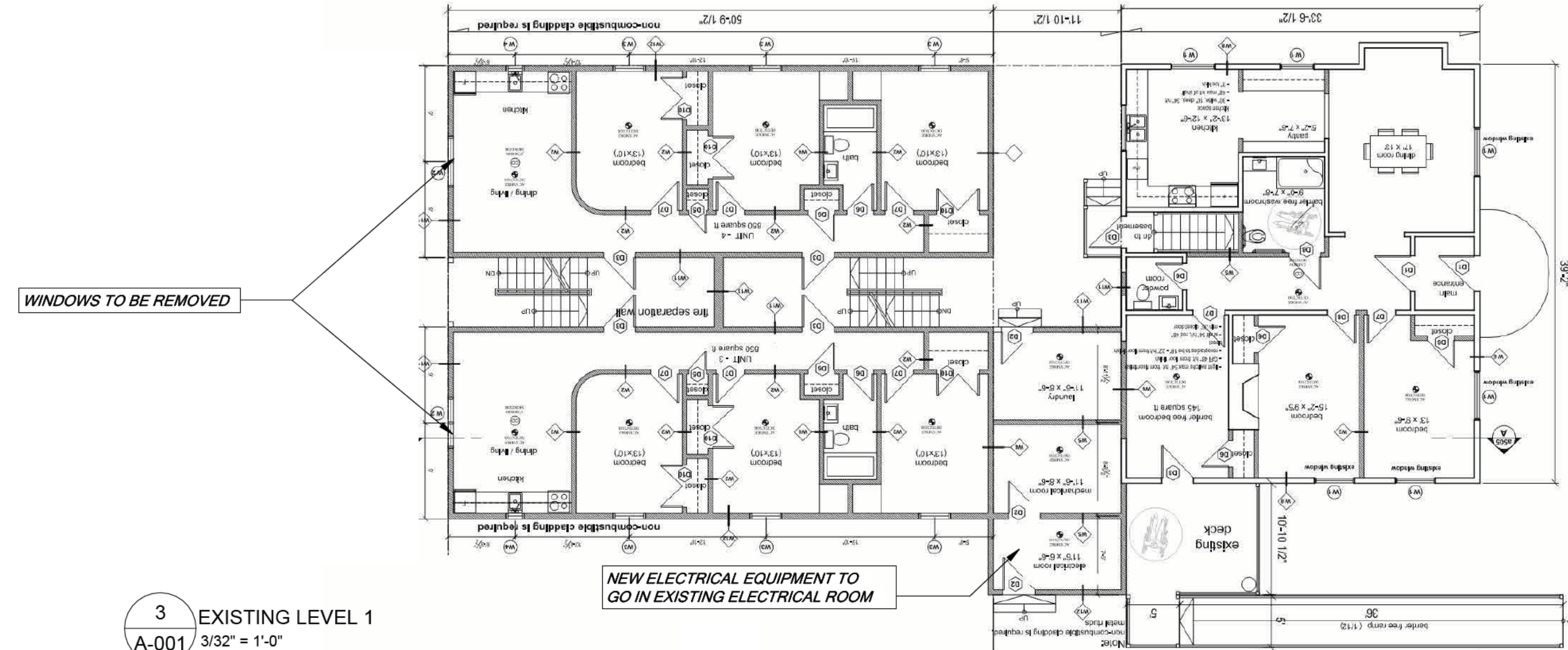
REVISED DRAWINGS

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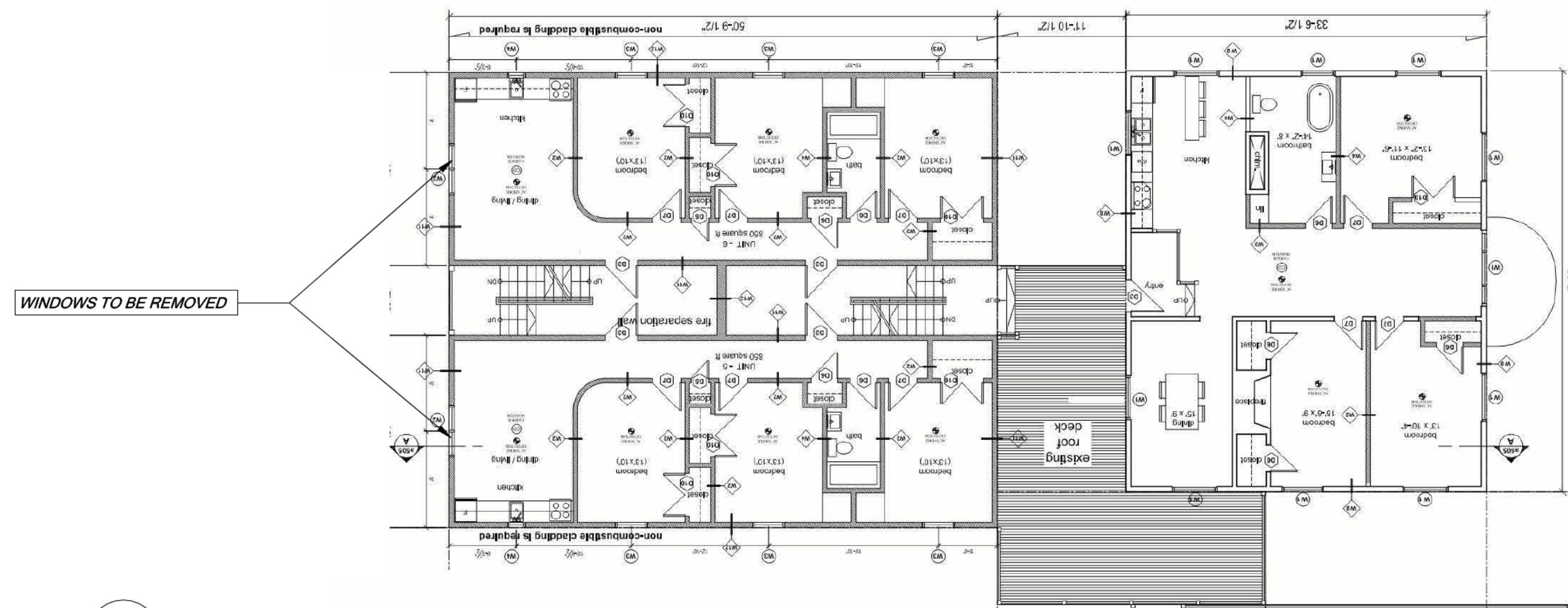
- NOTES:
- 1. ALL CONSTRUCTION TO MEET ALL APPLICABLE CODES, STANDARDS, BY-LAWS, ETC.
 - 2. DO NOT SCALE THIS DRAWING FOR CONSTRUCTION PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
 - 3. ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING. ELEVATIONS ARE FOR REPRESENTATION ONLY AND DO NOT INDICATE FINAL CLADDING COLOURS.
 - 4.



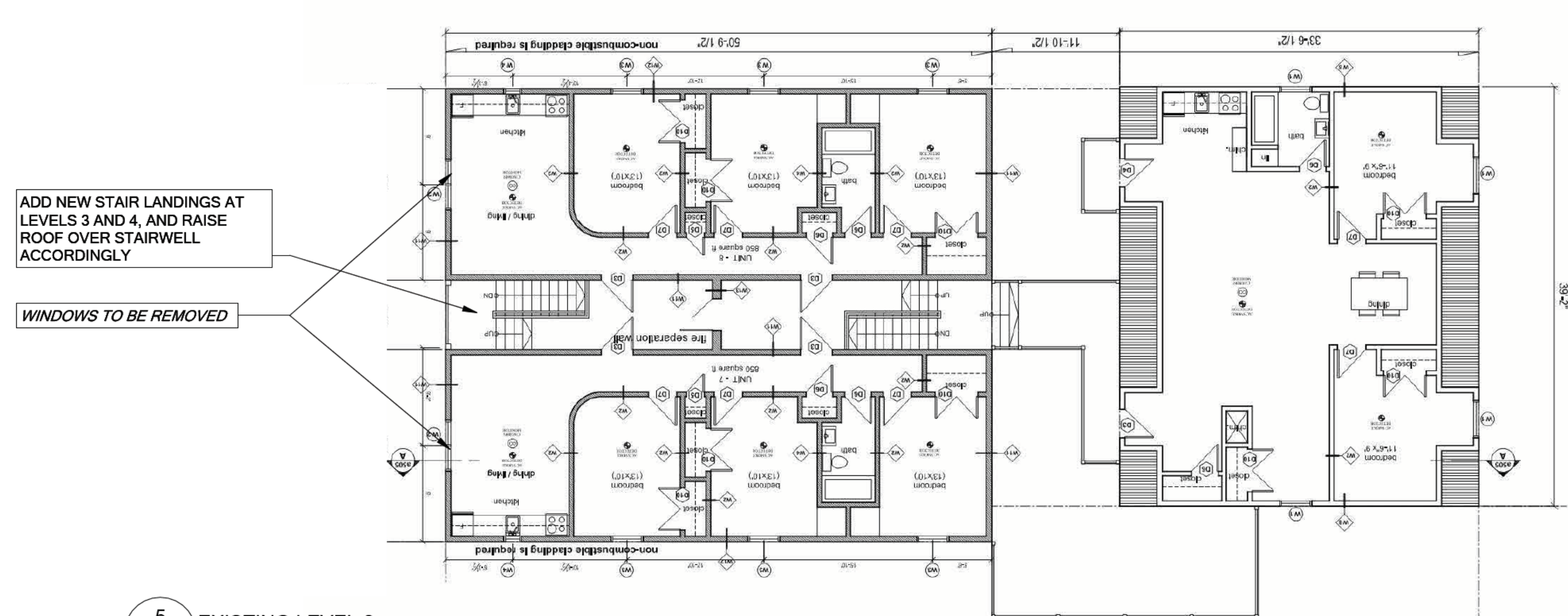
2 EXISTING BASEMENT
A-001 3/32" = 1'-0"



3 EXISTING LEVEL 1
A-001 3/32" = 1'-0"



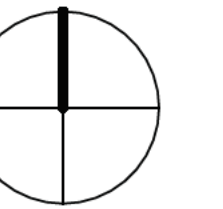
4 EXISTING LEVEL 2
A-001 3/32" = 1'-0"



5 EXISTING LEVEL 3
A-001 3/32" = 1'-0"

DATE ISSUED:
2021.05.25

ISSUED FOR:
LEVEL II SITE PLAN APPROVAL APPLICATION



PROJECT NORTH

CONSULTANT:

STAMP



TITLE:
1134 TOWER ROAD
HALIFAX, NS

DRAWING:
EXISTING BUILDING DRAWINGS

DRAWN:
MNA
SHEET ISSUE DATE:
2021.05.25
SCALE:
3/32" = 1'-0"

DRAWING NUMBER:
A-001

PROJECT DATA

PID: 00154021
 CIVIC: 1134 TOWER ROAD (PID #000054445)
 SITE AREA: 13,348 SF (1,240m²)
 ZONE: HR-1

FLOOR AREA:
 PARKADE: 2,574 SF (239m²)
 LEVEL 1: 2,837 SF (264m²)
 LEVEL 2: 2,855 SF (265m²)
 LEVEL 3: 2,855 SF (265m²)
 LEVEL 4: 2,855 SF (265m²)
 PENTHOUSE: 859 SF (80m²)

TOTAL: 14,835 SF (1,378m²)

PARKING
 REQUIRED PARKING SPACES: 9 (1 SPACE FOR EVERY 3 UNITS)
 PROPOSED PARKING SPACES: 9
 REQUIRED ACCESSIBLE PARKING SPACES: 1 (NSBC 3.8.2.5)
 PROPOSED ACCESSIBLE PARKING SPACES: 1

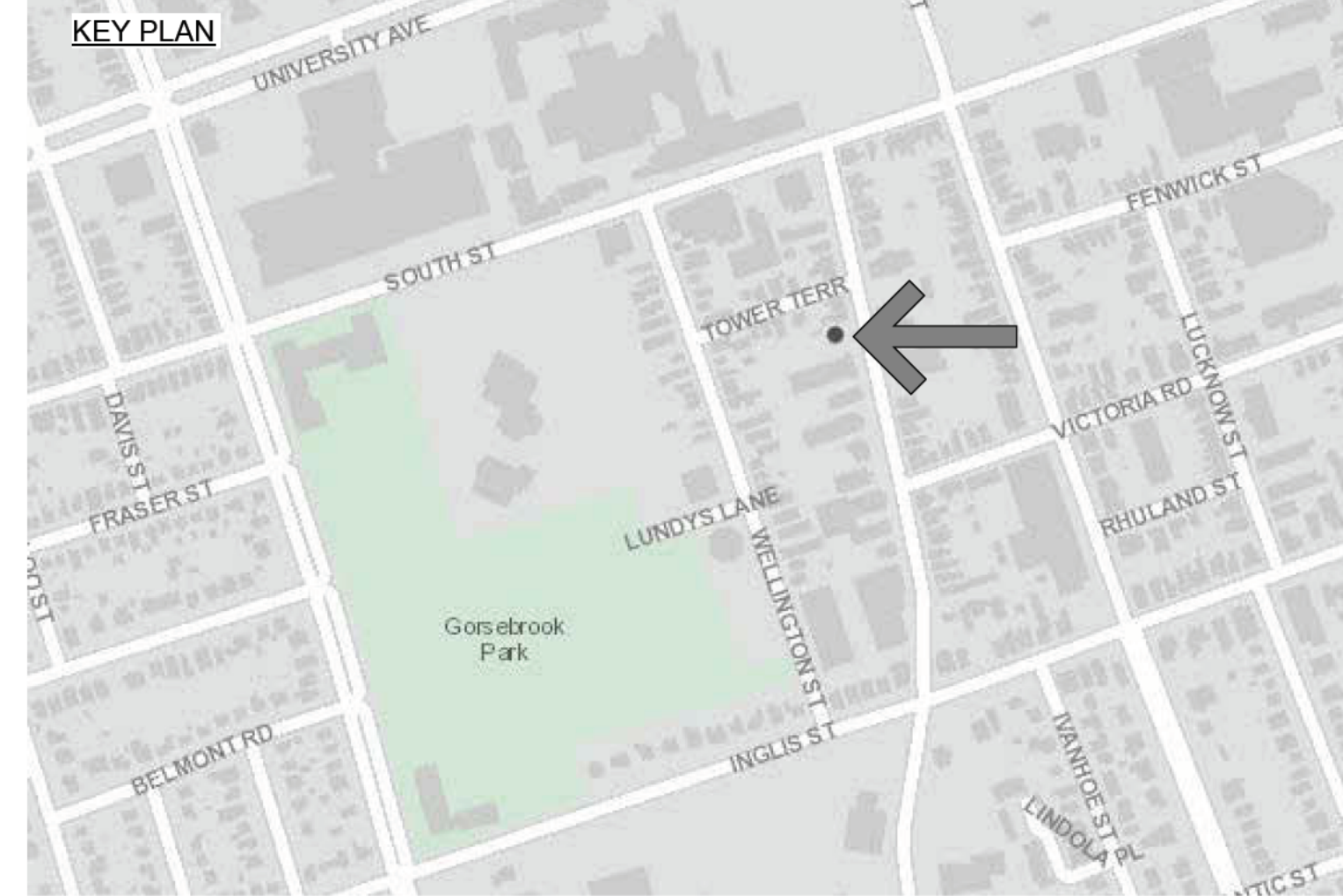
BICYCLE PARKING
 REQUIRED: 14 (11 CLASS 'A' / 3 CLASS 'B')
 PROPOSED: 14 (11 CLASS 'A' / 3 CLASS 'B')

| EXISTING RESIDENTIAL UNIT MAKEUP | | | | |
|----------------------------------|-----------|----------|-----------|--|
| LEVEL | NO. UNITS | 2 BR | 3 BR | |
| EXIST. BASEMENT LEVEL | 3 | 0 | 3 | |
| EXIST. LEVEL 1 | 3 | 0 | 3 | |
| EXIST. LEVEL 2 | 3 | 0 | 3 | |
| EXIST. LEVEL 3 | 3 | 1 | 2 | |
| EXIST. TOTALS | 12 | 1 | 11 | |

TOTAL RESIDENTIAL UNIT MAKEUP
 2 BR UNITS: 17
 3 BR UNITS: 11
 TOTAL UNITS: 28

| PROPOSED RESIDENTIAL UNIT MAKEUP | | | | |
|----------------------------------|-----------|-----------|------|--|
| LEVEL | NO. UNITS | 2 BR | 3 BR | |
| PARKADE | 0 | 0 | | |
| RES. LEVEL 1 | 4 | 4 | | |
| RES. LEVEL 2 | 4 | 4 | | |
| RES. LEVEL 3 | 4 | 4 | | |
| RES. LEVEL 4 | 4 | 4 | | |
| PROPOSED TOTALS | 16 | 16 | | |

NOTE: PROPOSED ADDITIONAL UNITS TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AS DICTATED BY ADAPTIVE LIVING STANDARDS - NSBC 2019



CLIENT
PEJK RENTALS

REVISED DRAWINGS

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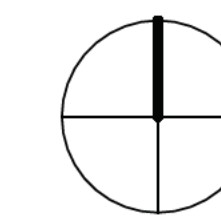
- NOTES:**
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DATE ISSUED:

2021.05.25

ISSUED FOR:

LEVEL II SITE PLAN APPROVAL APPLICATION



PROJECT NORTH

CONSULTANT:

STAMP



**MICHAEL
 NAPIER
 ARCHITECTURE**
 www.mnarch.ca + 902.455.5522

TITLE:

**1134 TOWER
 ROAD**
 HALIFAX, NS

DRAWING:

PROPOSED SITE PLAN

DRAWN:

MNA

DRAWING NUMBER:

A-002

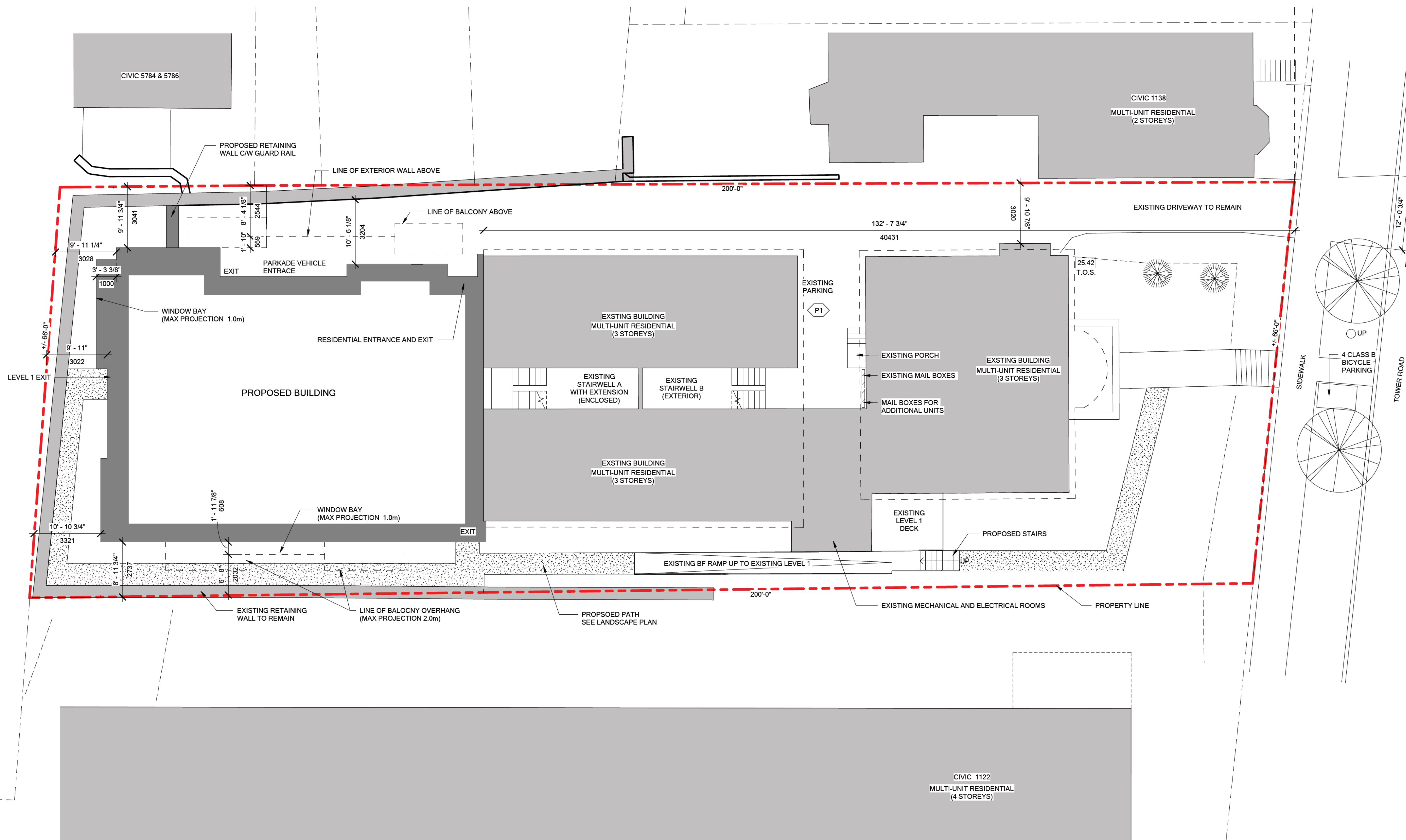
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2021.05.25

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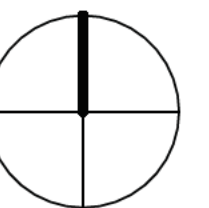


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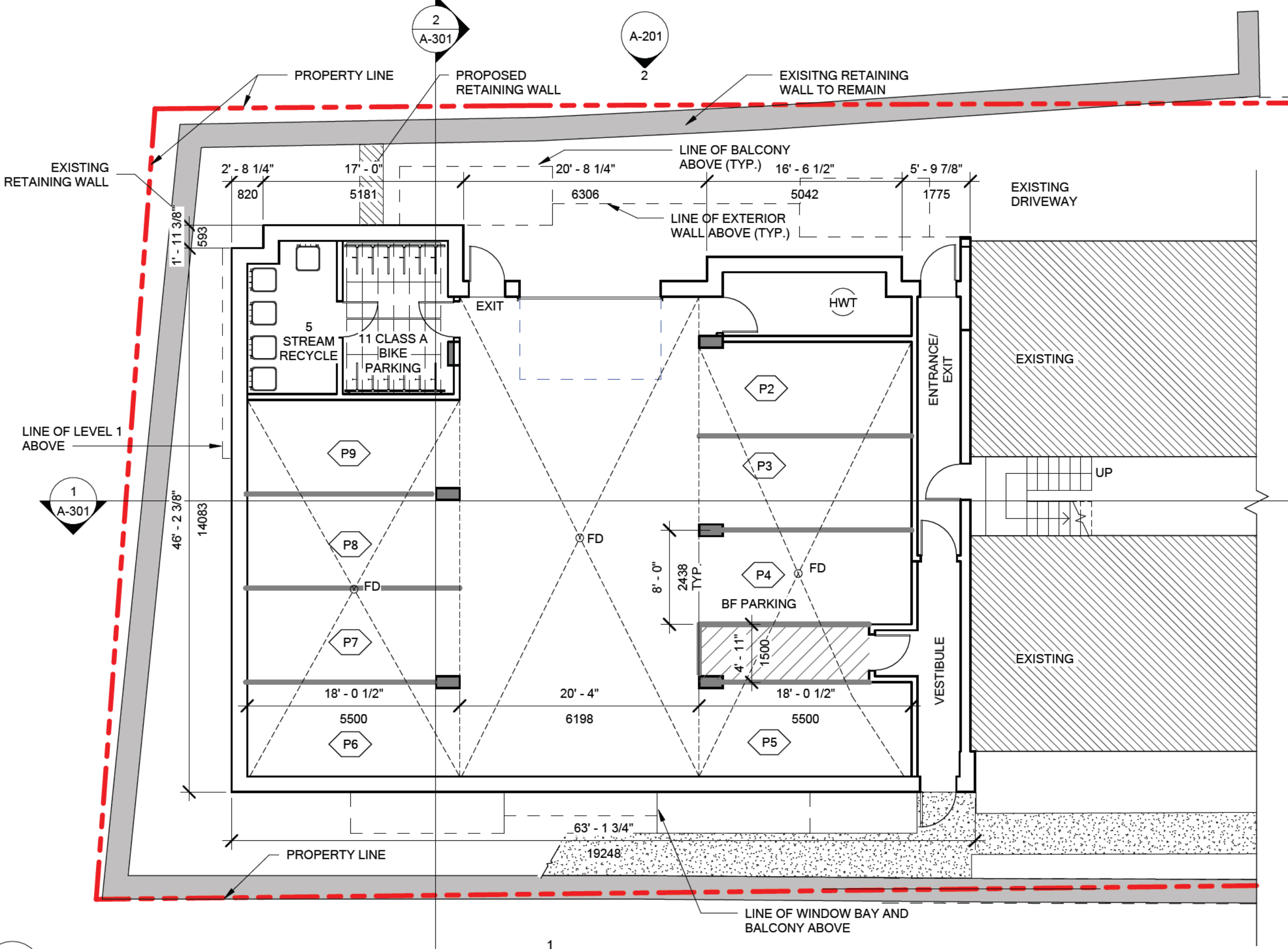


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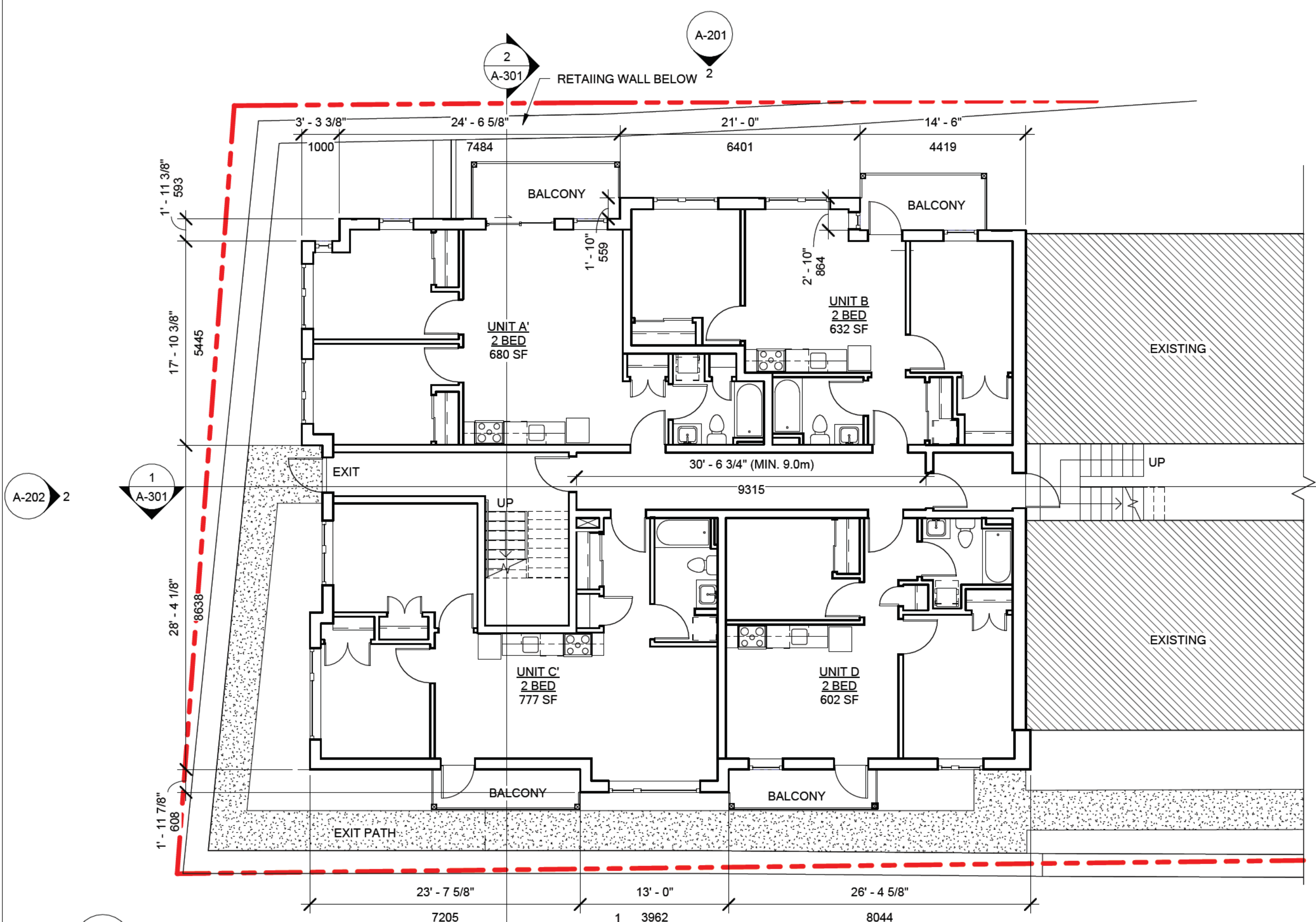
TITLE:
**1134 TOWER ROAD
HALIFAX, NS**

DRAWING:
FLOOR PLANS

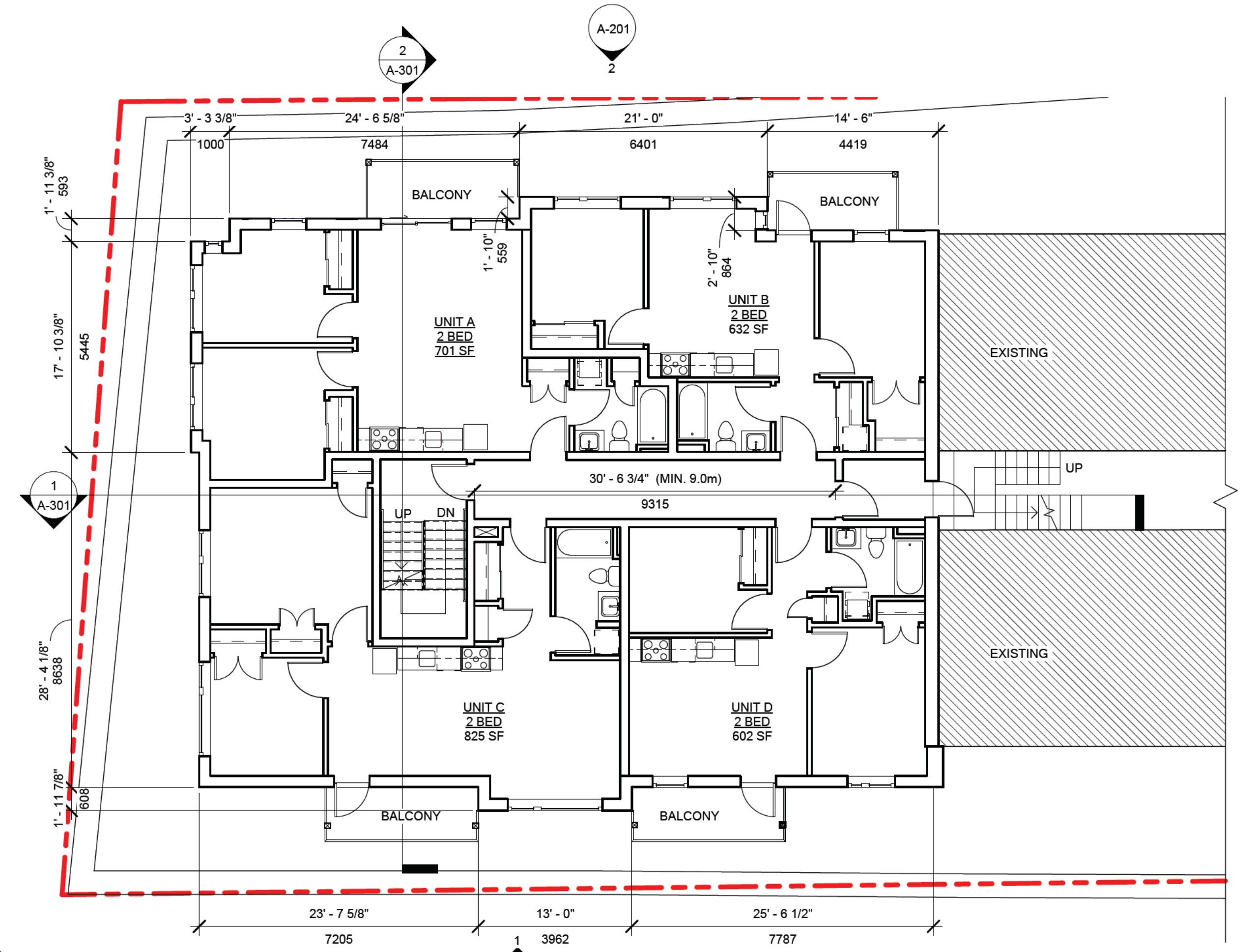
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SHEET ISSUE DATE:
2021.05.25
SCALE:
1/8" = 1'-0"
DRAWING NUMBER:
A-101



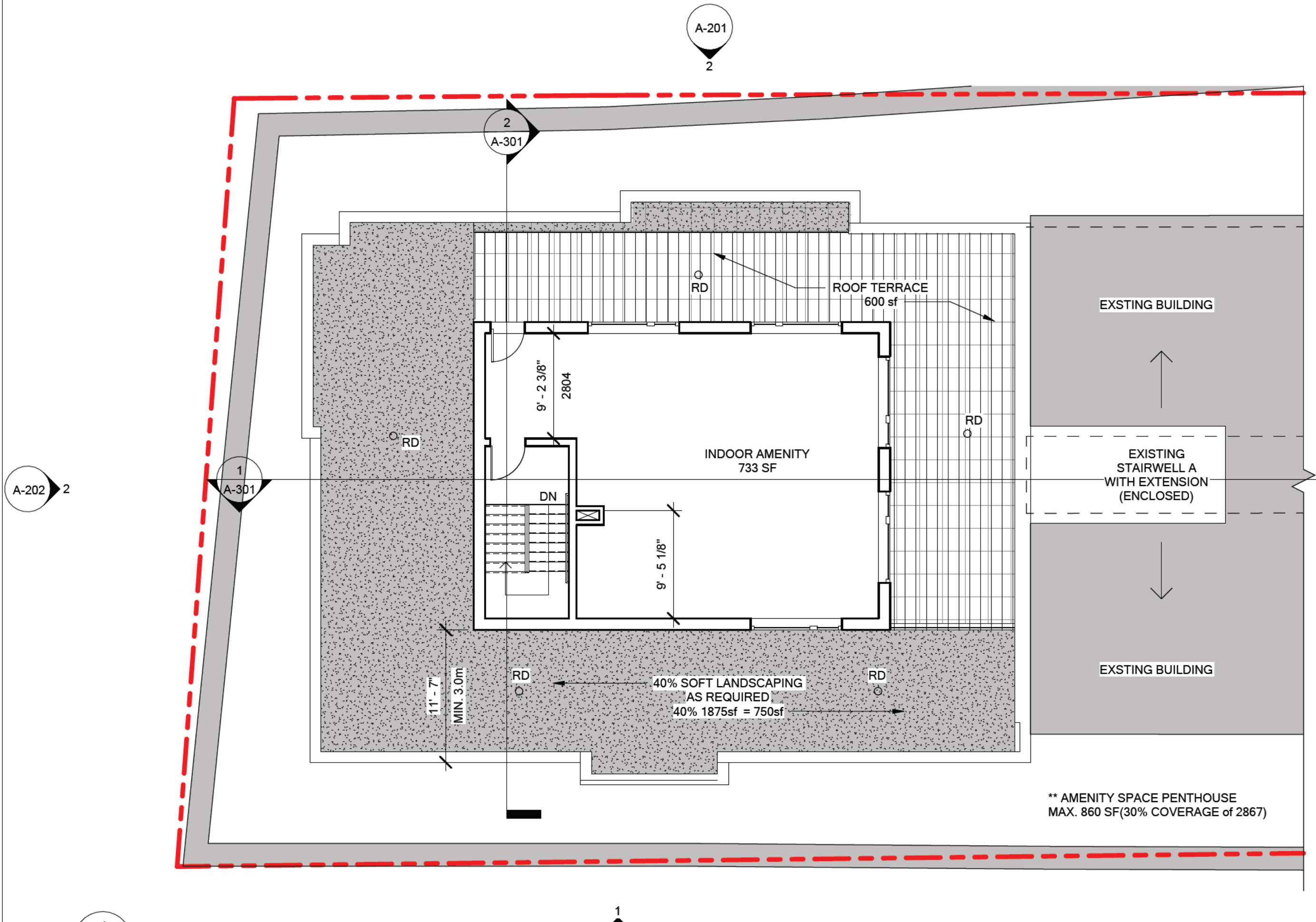
1 LEVEL P1 (Parkade)
A-101 1/8" = 1'-0"



2 LEVEL 1
A-101 1/8" = 1'-0"



3 LEVEL 2-4 (Typ.)
A-101 1/8" = 1'-0"



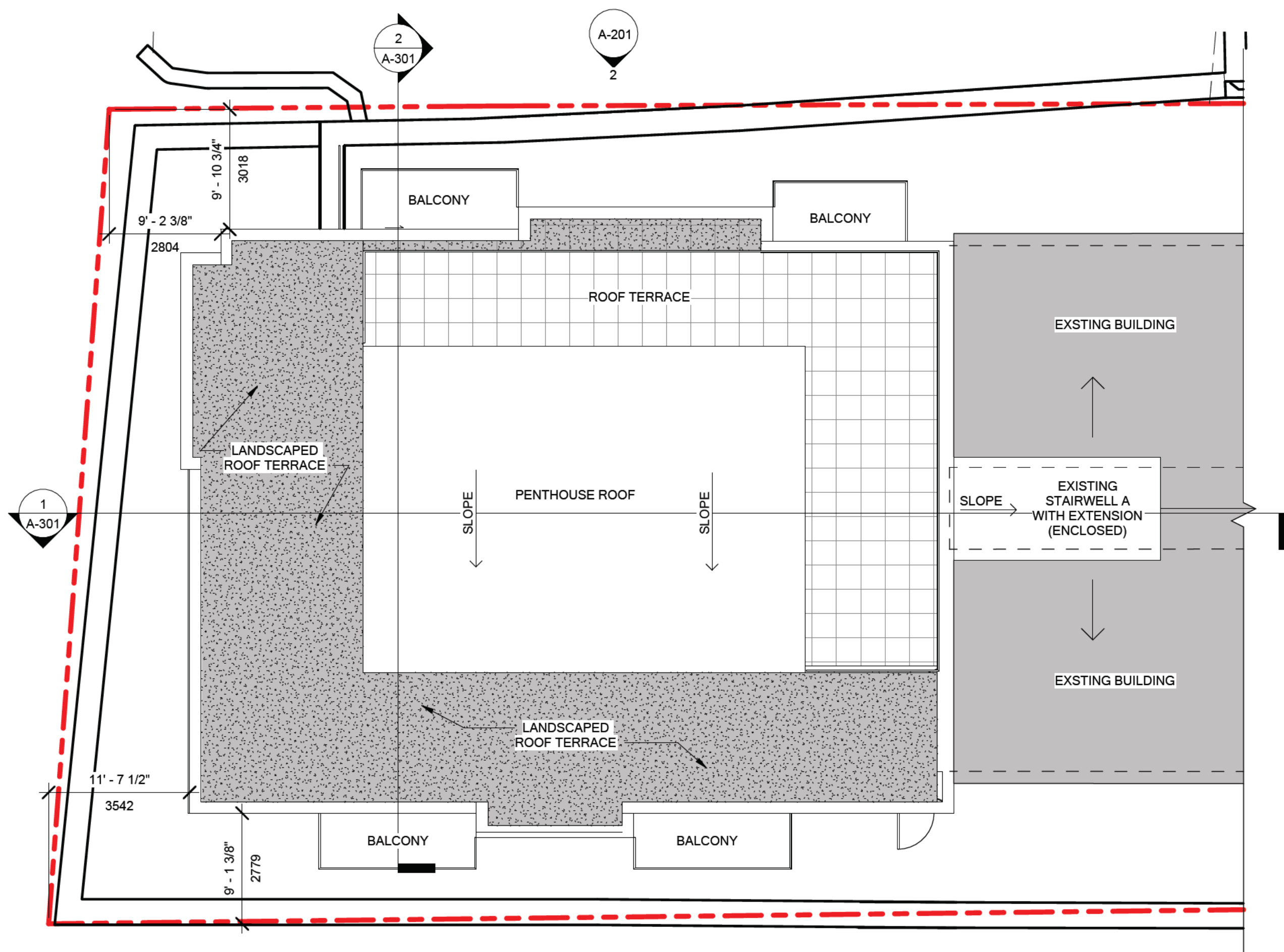
4 PENTHOUSE
A-101 1/8" = 1'-0"

** AMENITY SPACE PENTHOUSE
MAX. 860 SF (30% COVERAGE OF 2867)

REVISED DRAWINGS

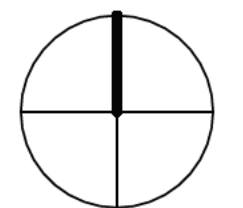
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1 ROOF PLAN
A-102 1/8" = 1'-0"

DATE ISSUED:
2021.05.25
 ISSUED FOR:
LEVEL II SITE PLAN APPROVAL APPLICATION



PROJECT NORTH

CONSULTANT:

STAMP



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TITLE:
1134 TOWER ROAD
HALIFAX, NS

DRAWING:
FLOOR PLANS

| | |
|---------------------------------|---------------------------------|
| DRAWN: MNA | DRAWING NUMBER: A-102 |
| SHEET ISSUE DATE: 2021.05.25 | |
| SCALE: 1/8" = 1'-0" | |

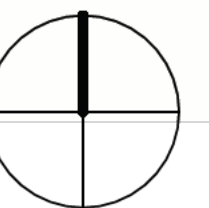
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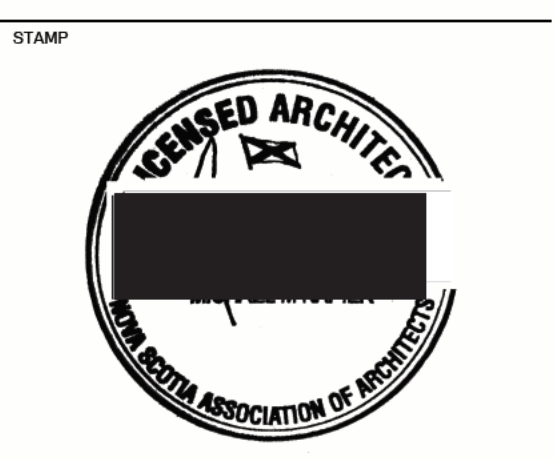
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2021.05.25

ISSUED FOR:
LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT:

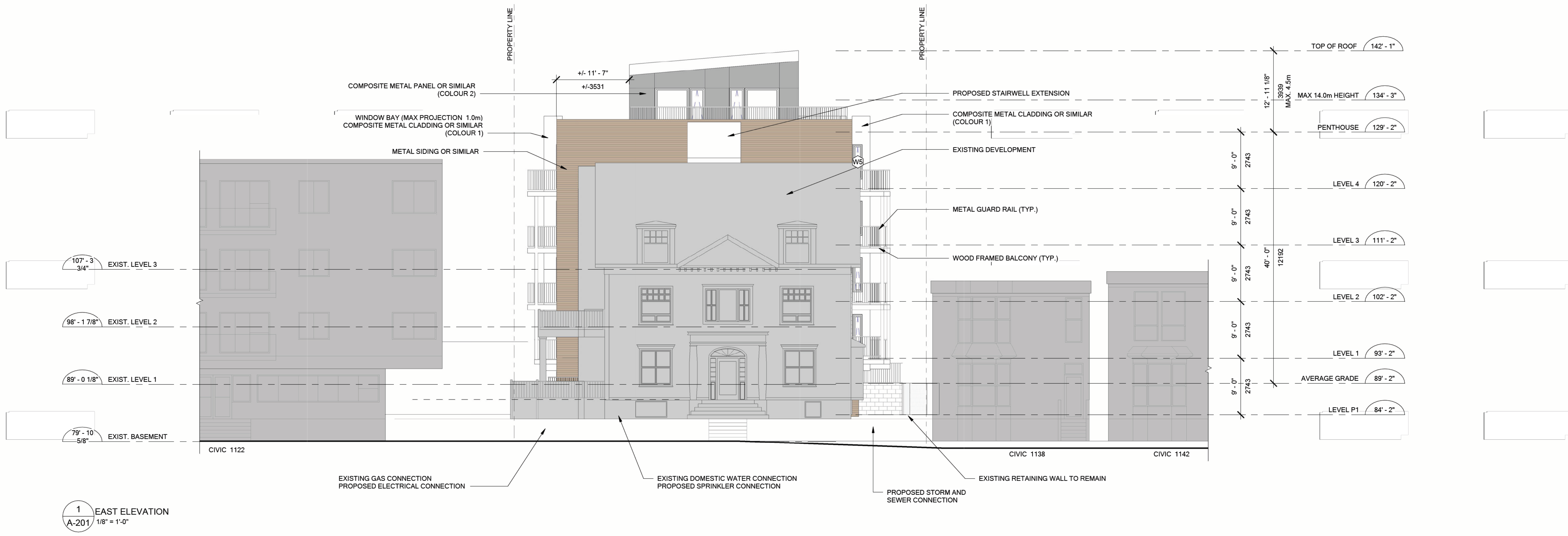


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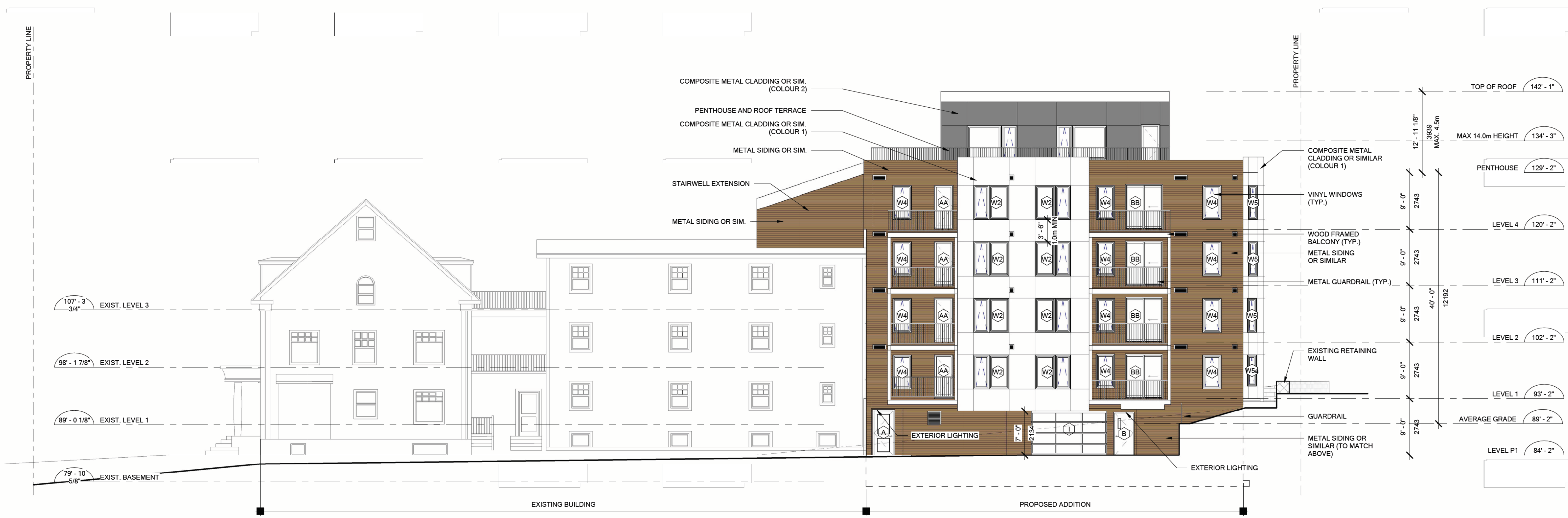
TITLE:
**1134 TOWER ROAD
HALIFAX, NS**

DRAWING:
EAST & NORTH ELEVATIONS

DRAWN: MNA
SHEET ISSUE DATE: 2021.05.25
SCALE: 1/8" = 1'-0"
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1 EAST ELEVATION
A-201 1/8" = 1'-0"

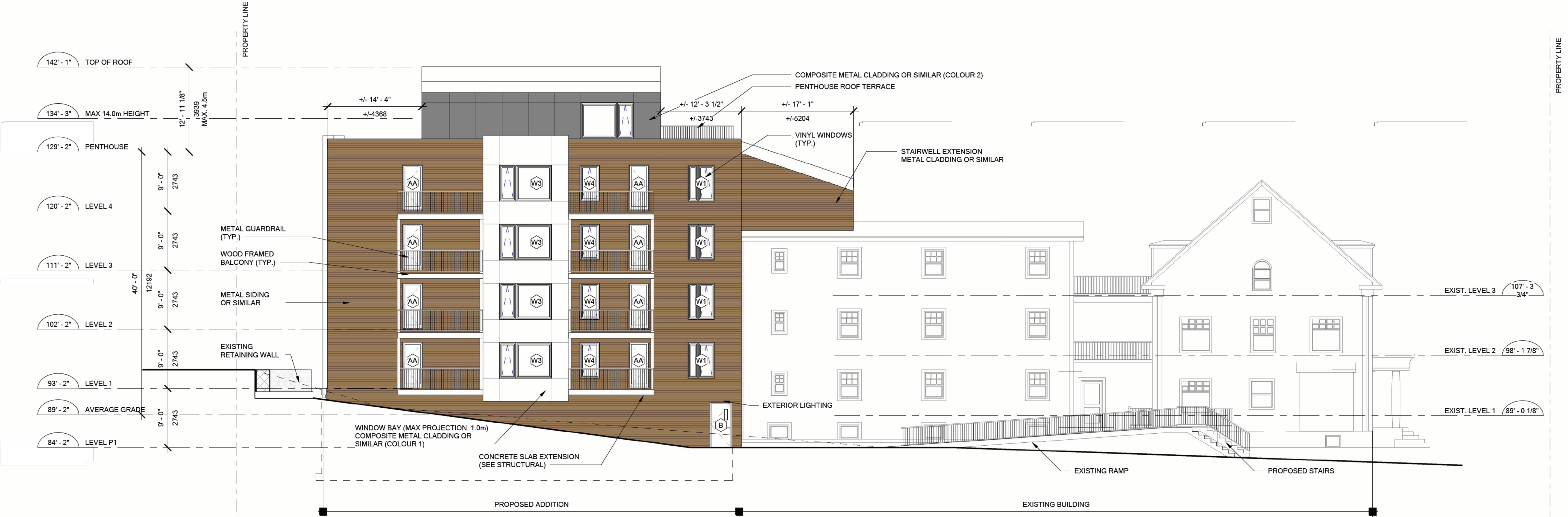


2 NORTH ELEVATION
A-201 1/8" = 1'-0"

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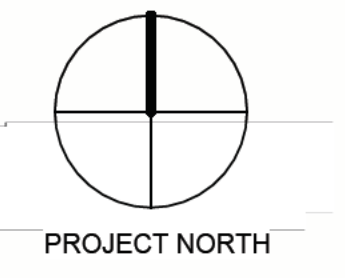
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1 SOUTH ELEVATION
A-202 1/8" = 1'-0"

DATE ISSUED:
2021.05.25

ISSUED FOR:
LEVEL II SITE PLAN APPROVAL APPLICATION



CONSULTANT:



MICHAEL
NAPIER
ARCHITECTURE
www.mnarch.ca + 902.455.5522

TITLE:
1134 TOWER ROAD
HALIFAX, NS

DRAWING:
WEST & SOUTH ELEVATIONS

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|---------------------------------|-----------------------|
| DRAWN: MNA | DRAWING NUMBER: |
| SHEET ISSUE DATE: 2021.05.25 | A-202 |
| SCALE: 1/8" = 1'-0" | 2021-05-24 7:54:57 PM |

2 WEST ELEVATION
A-202 1/8" = 1'-0"



2021-05-24 7:54:57 PM



TOWER

1134



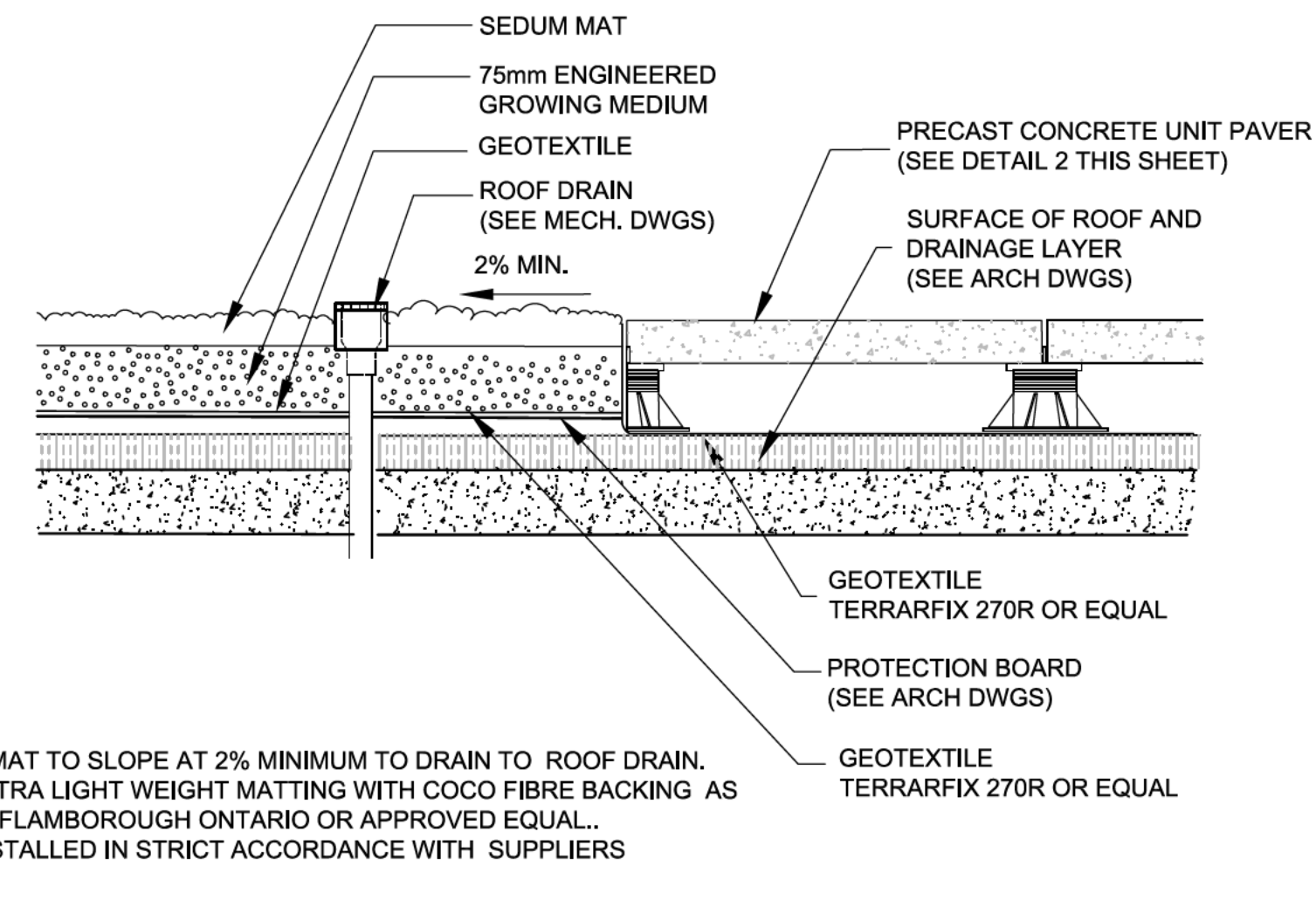
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OWER

HRM
APARTMENTS

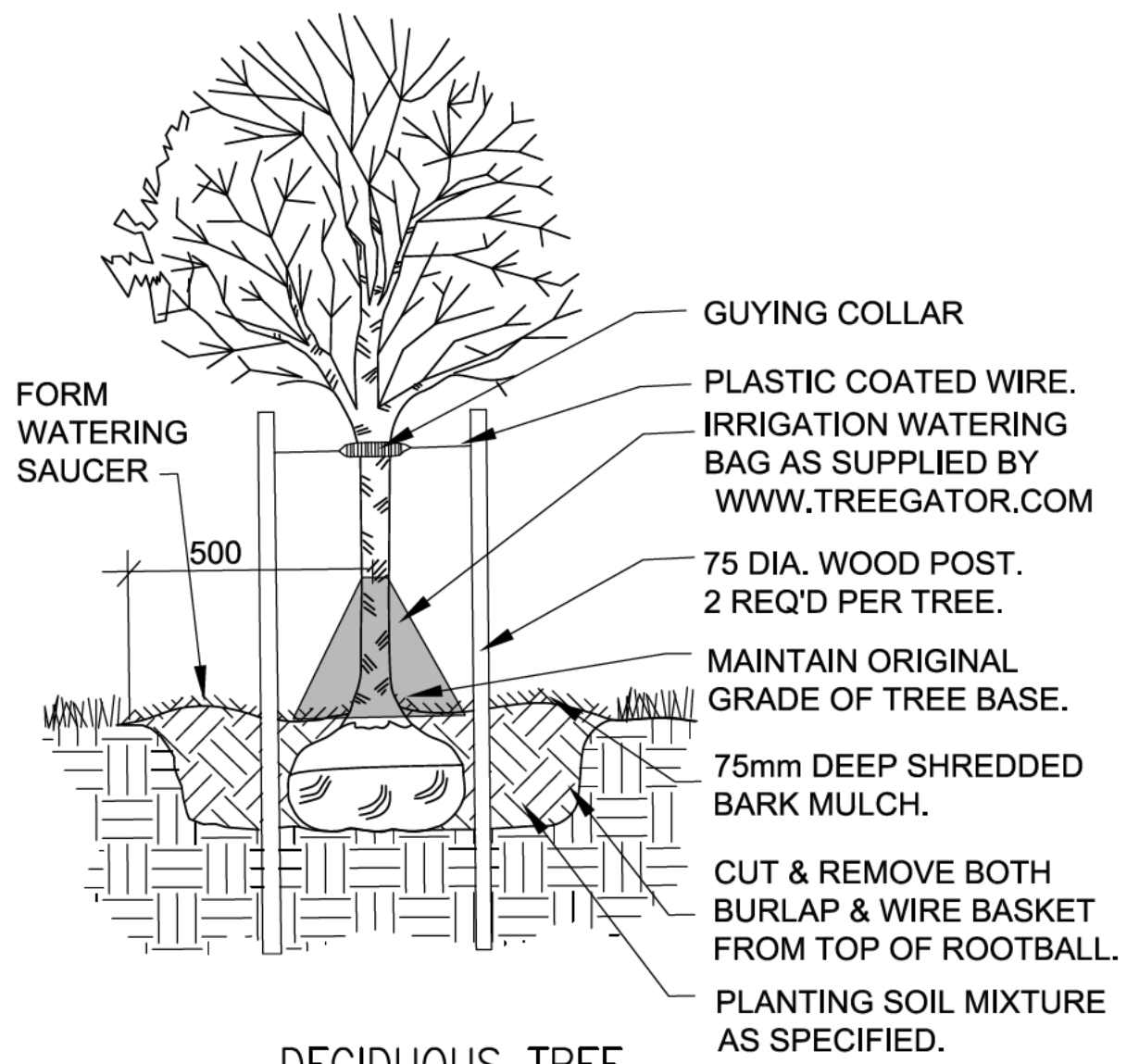
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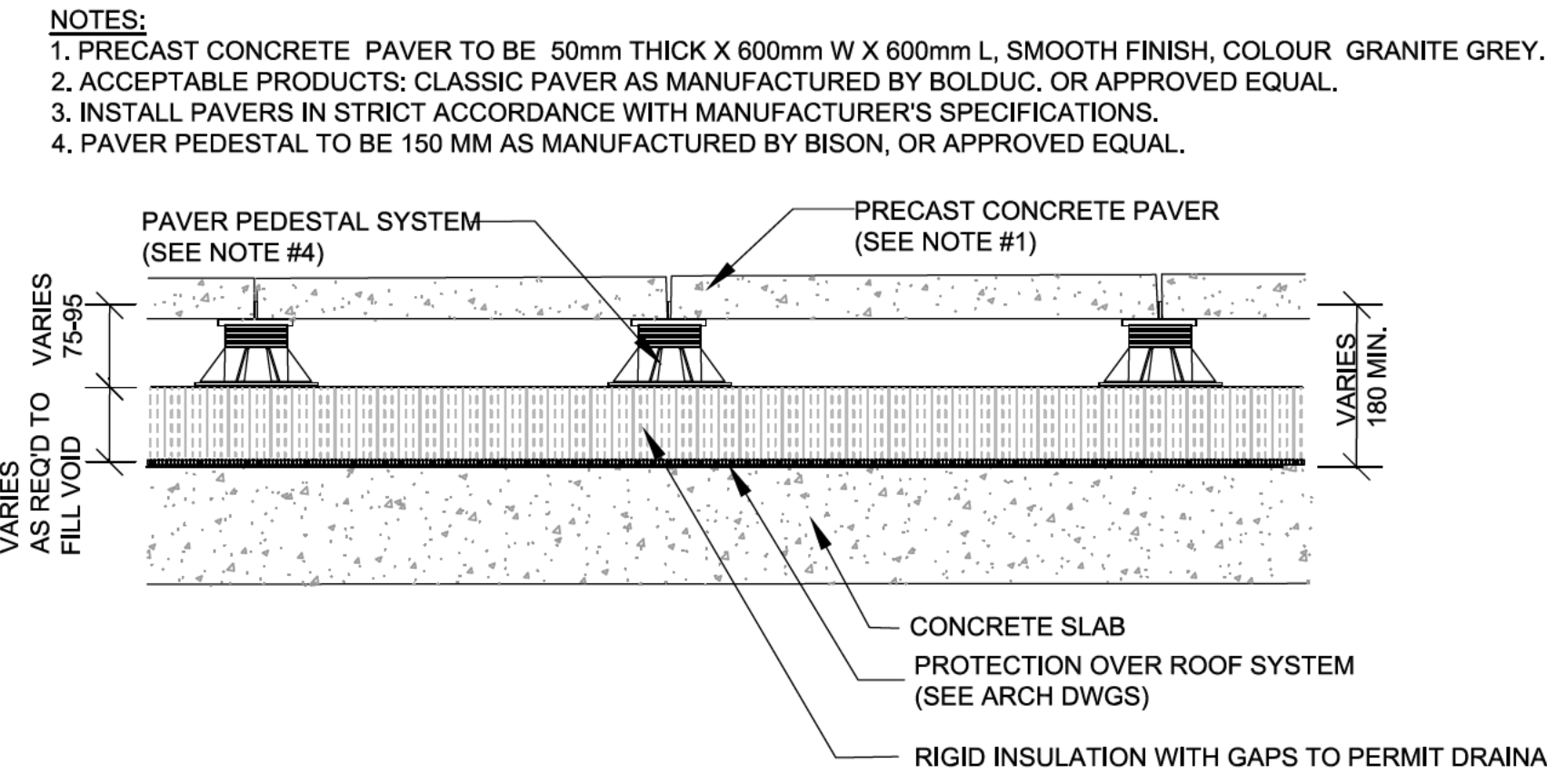


- NOTES:**
 1. SURFACE OF SEDUM MAT TO SLOPE AT 2% MINIMUM TO DRAIN TO ROOF DRAIN.
 2. SEDUM MAT TO BE ULTRA LIGHT WEIGHT MATTING WITH COCO FIBRE BACKING AS SUPPLIED BY NVK, W. FLAMBOROUGH ONTARIO OR APPROVED EQUAL.
 3. SEDUM MAT TO BE INSTALLED IN STRICT ACCORDANCE WITH SUPPLIERS SPECIFICATIONS.

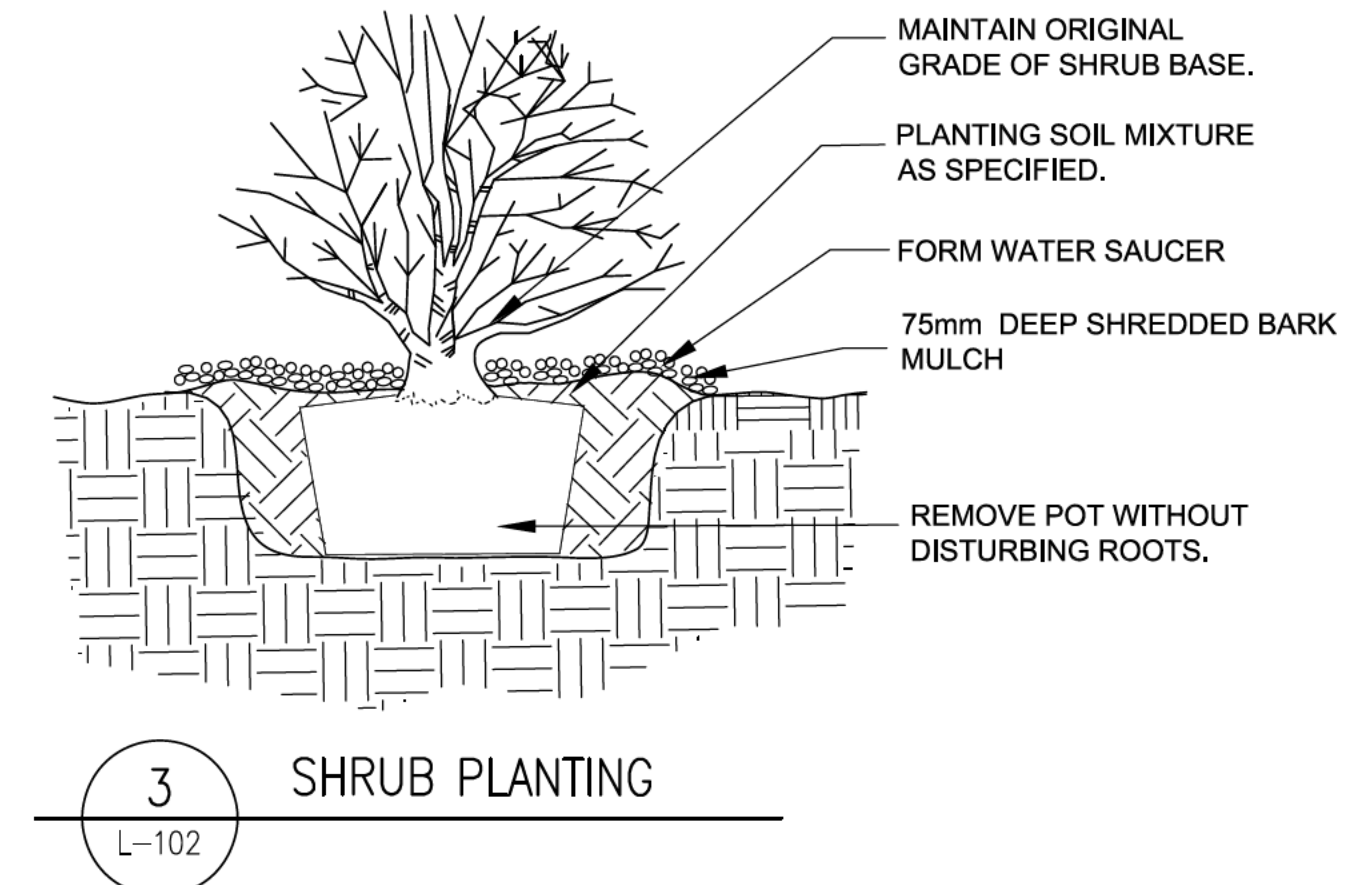
1 SEDUM MAT ON ROOF
 L-102 N.T.S.



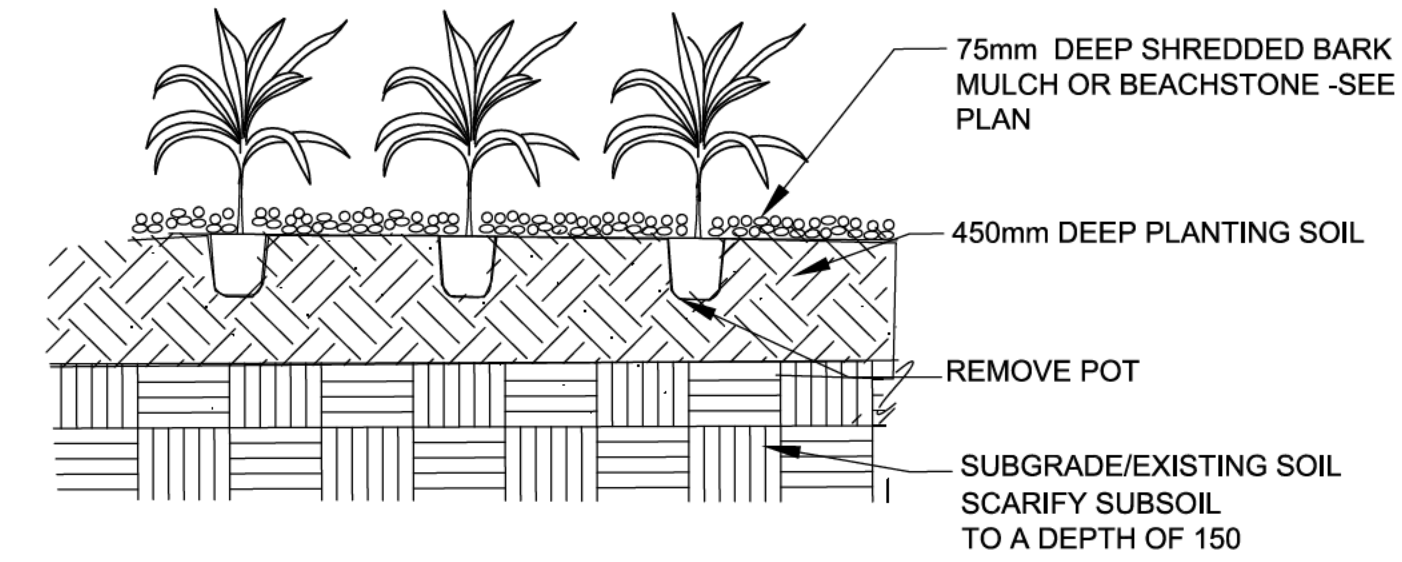
5 DECIDUOUS TREE PLANTING
 L-102 N.T.S.



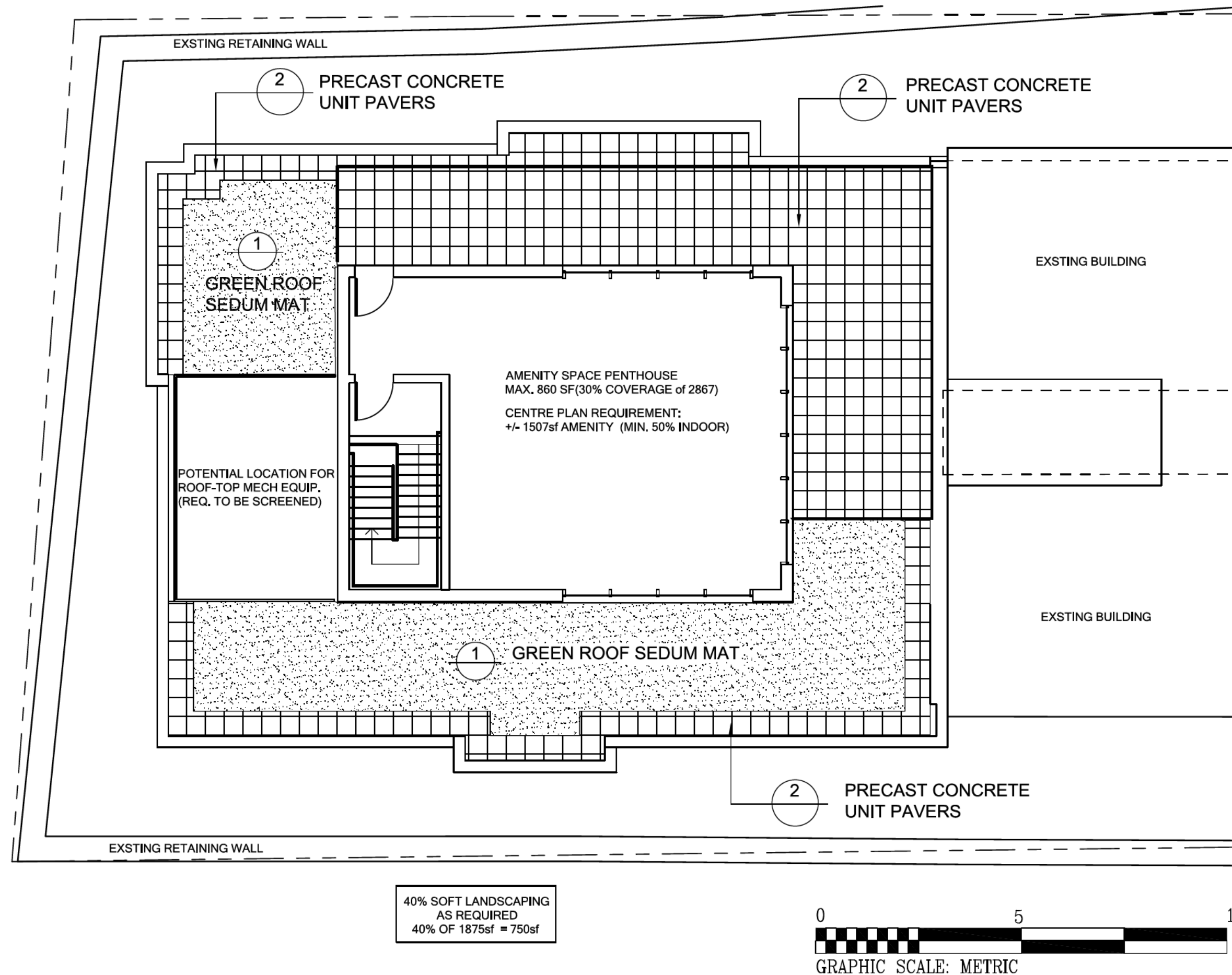
2 PRECAST CONCRETE UNIT PAVERS
 L-102 N.T.S.



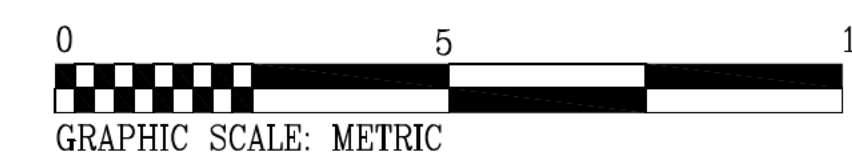
3 SHRUB PLANTING
 L-102



4 ORNAMENTAL GRASS and PERENNIAL PLANTING
 L-102 N.T.S.



40% SOFT LANDSCAPING AS REQUIRED
 40% OF 1875sf = 750sf



LEGEND

- SEDUM MAT
- PRECAST CONCRETE UNIT PAVERS



CLIENT
PEJK RENTALS

REVISED DRAWINGS

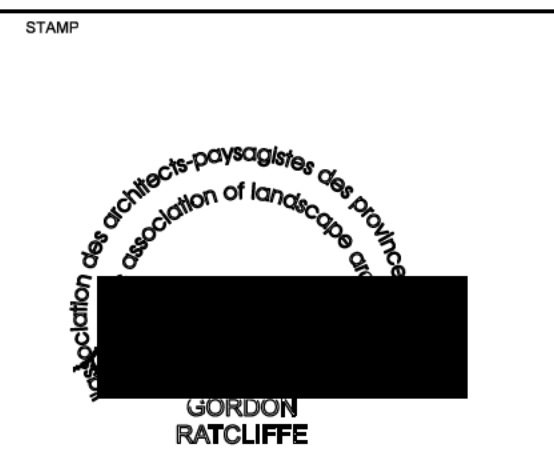
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- NOTES:**
 1. ALL CONSTRUCTION TO MEET ALL APPLICABLE CODES, STANDARDS BY-LAWS, ETC.
 2. DO NOT SCALE THIS DRAWING FOR CONSTRUCTION PURPOSES. USE REQUIRED DIMENSIONS AS NOTED.
 3. ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING.

DATE ISSUED:
2021.03.04
 ISSUED FOR:
BUILDING PERMIT



CONSULTANT:
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 2055 Route 329, RR #1 HUBBARD, NOVA SCOTIA CANADA, B0J 1T0
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TITLE:
1134 TOWER ROAD
 HALIFAX, NOVA SCOTIA

DRAWING:
ROOF TOP LANDSCAPE PLAN & DETAILS

| | |
|-------------------------------|---------------------------------|
| DRAWN: MDP | DRAWING NUMBER: L-102 |
| SHEET ISSUE DATE: MAR.4/21 | SCALE: AS NOTED |



Ref. No.211-03226-00

March 17, 2021

Ms. Ashley Blissett, P. Eng.
Senior Development Engineer
Halifax Regional Municipality
PO Box 1749
HALIFAX NS B3J 3A5

**RE: Traffic Impact Statement, Proposed Multi-Tenant Residential Building
1134 Tower Road, Halifax**

Dear Ms. Blissett:

PEJK Real Estate Limited is preparing plans to construct a multi-unit residential building in a parking lot behind existing buildings at 1134 Tower Road. The proposed development (Figure 1) will include approximately 16 apartment units with 9 total car parking spaces (8 interior and 1 exterior), and 14 total bicycle parking spaces (11 class A and 3 class B). This is the Traffic Impact Statement (TIS) required to accompany the development application.

Description of Site - The development site at 1134 Tower Road is on the west side of the street approximately 150 meters south of South Street. The site with a three storey building (Photo 1) and added rear multi-unit addition includes 12 existing apartment units. These buildings will be retained and a four story building with 16 apartment units will be constructed towards the rear of the site (Figure 1).



Photo 1 - Looking west across Tower Road towards the existing building on the site. The driveway is to the right of the building.

Site Access Driveway - Vehicles accessing the parking garage for the new building will continue to use the existing driveway shown along the north side of the building in Photo 1. Visibility is good on both Tower Road approaches to the driveway (Photos 2 and 3). There is good visibility between drivers exiting the existing site driveway and pedestrians on the sidewalk.

Tower Road is a two-lane local street with sidewalks on both sides. One hour parking is permitted 8AM to 6PM Monday to Friday on the west side of the street adjacent to the site. Except for 15 minute parking for a Ronald McDonald House, parking is not permitted on the east side of the street opposite the site.

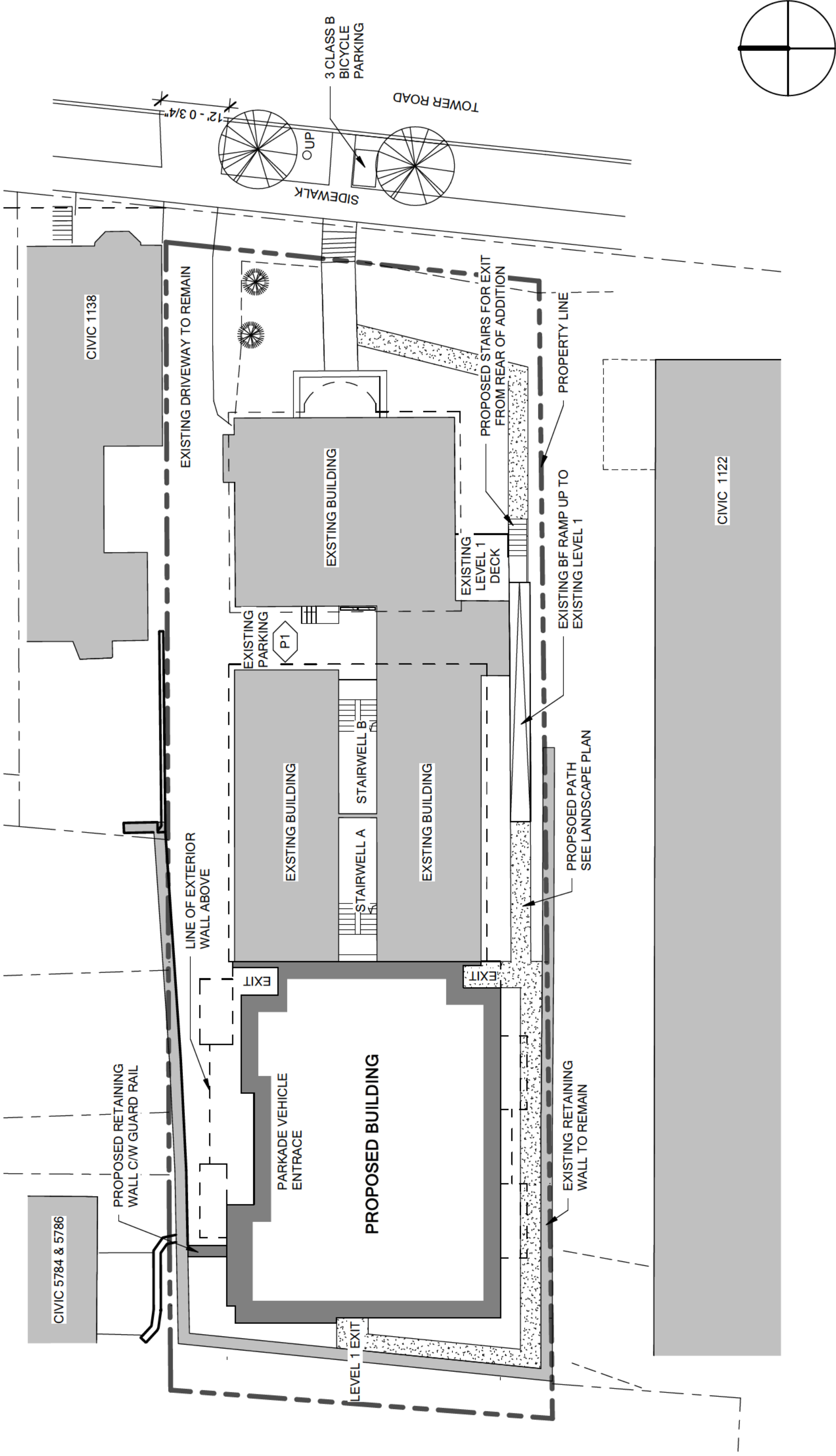


Photo 2 - Looking north on Tower Road towards South Street from the curb line of the site driveway.



Photo 3 - Looking south on Tower Road towards Inglis Street from the curb line of the site driveway.

Transit Service - Halifax Transit has bus routes operating on South Street just north of the site.



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| 1134 TOWER ROAD HALIFAX, NS | MICHAEL APIER ARCHITECTURE www.michaelapier.com 902-451-5322 | DRAWING: SITE PLAN | DATE: 03/15/21 |
| | | Figure 1 | DRAWING NO: A-02 |
| | | SCALE: 1 : 200 | |

Traffic Volumes - A machine count obtained by HRM on Tower Road near the site during mid-June 2017 indicated two-way hourly traffic volumes of approximately 90 vehicles per hour (vph) during the AM Peak Hour and 110 vph during the PM Peak Hour.

Trip Generation - Trip generation estimates, prepared using published trip generation rates from *Trip Generation, 10th Edition*, (Table 1) indicate that the proposed mid-rise apartment building will generate five two-way vehicle trips (1 entering and 4 exiting) during the AM peak hour and seven two-way vehicle trip (4 entering and 3 exiting) during the PM peak hour.

| Land Use ¹ | Units ² | Trip Generation Rates ³ | | | | Trips Generated ³ | | | |
|--------------------------------------|--------------------|------------------------------------|------|---------|------|------------------------------|-----|---------|-----|
| | | AM Peak | | PM Peak | | AM Peak | | PM Peak | |
| | | In | Out | In | Out | In | Out | In | Out |
| Mid-Rise Apartment (Land Use 221) | 16 units | 0.09 | 0.27 | 0.27 | 0.17 | 1 | 4 | 4 | 3 |

NOTES: 1. Rates are for the indicated Land Use Codes, *Trip Generation, 10th Edition*, Institute of Transportation Engineers, 2017.
2. Number of apartment units
3. Rates are 'vehicles per hour per unit'; trips generated are 'vehicles per hour for peak hours'

Summary -

1. The proposed project will include construction of a multi-unit residential building with 16 apartment units, 9 total car parking spaces, and 14 total bicycle parking spaces, in a parking lot behind existing buildings at 1134 Tower Road.
2. Vehicles accessing the parking garage for the new building will continue to use the existing driveway along the north side of the existing buildings on the site. Visibility is good on both Tower Road approaches to the driveway. There is also good visibility between drivers exiting the driveway and pedestrians on the sidewalk.
3. A traffic count obtained by HRM on Tower Road near the site during mid-June 2017 indicated very low two-way hourly traffic volumes of approximately 90 vehicles per hour (vph) during the AM Peak Hour and 110 vph during the PM Peak Hour.
4. It is estimated that the proposed 16 unit apartment building will generate five two-way vehicle trips (1 entering and 4 exiting) during the AM peak hour and seven two-way vehicle trip (4 entering and 3 exiting) during the PM peak hour.

Conclusion -

5. Since traffic volumes are low and site generated trips are very low, trips estimated to be generated by this site are not expected to have any noticeable impact to the level of performance of adjacent streets, intersections, or the regional street network.

If you have any questions or comments, please contact me by Email to ken.obrien@wspgroup.com or telephone 902-443-7747.

Sincerely:



Ken O'Brien, P. Eng.
Senior Traffic Engineer
WSP Canada Inc.



PART VI DESIGN CRITERIA CHECKLIST

An application for Level II and Level III site plan approval, or an application for Level I site plan approval that includes a registered heritage property or a building located in a heritage conservation district, shall include a design rationale that identifies how each specific design requirement contained in Part VI is:

- (a) either applicable or not applicable in the specific context of the application; and
- (b) if applicable, the manner in which it has been addressed by the design.

Please complete this checklist to satisfy this application requirement.

This checklist is intended to be used as a guide to Part VI of the Regional Centre Land Use Bylaw. Additional requirements and definitions can be found within the full document. The Regional Centre Land Use Bylaw can be found here:

<https://www.halifax.ca/about-halifax/regional-community-planning/community-plan-areas/regional-centre-plan-area>

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| *Please note that all diagrams referenced in this form can be found in Part VI of the Regional Centre Land Use Bylaw | | |
| Part VI, Chapter 2: At-Grade Private Open Space Design Requirements | | |
| Design Requirement: Contribution to Open Space Network | | |
| Section 113 Where one or more at-grade private open space(s) are proposed, at least one shall contribute to the Regional Centre’s network of open spaces by: (a) abutting an existing public open space that is not a public sidewalk; (b) abutting an existing public sidewalk; (c) abutting an existing mid-block at-grade private open space; or (d) establishing a new mid-block at-grade private open space. | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A – Existing Condition. Front yard of existing building abuts Tower Road Sidewalk. |
| Design Requirement: At-Grade Private Open Spaces Abutting a Public Sidewalk | | |
| Section 114 At-grade private open spaces that abut public sidewalks shall provide pedestrian access by having at least one contiguous connection of not less than 2.0 metres wide, from the at-grade private open space to the public sidewalk. | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A – Existing Condition |
| Design Requirement: At-Grade Private Open Spaces – Medium Scale | | |
| Section 115 At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall: (a) provide (i) barrier-free access, and (ii) permanent seating; and (b) provide one or more of the following materials for groundcover (i) vegetation, (ii) brick pavers, stone pavers, or concrete pavers, or (iii) wood, excluding composites. | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A – Existing Condition Dimensions of the at grade private open space has dimensions less than 3.0m |

| Design Requirement: Weather Protection for At-Grade Private Open Spaces – Medium Scale | | |
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| <p>Section 116 At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall offer weather protection to its users through at least one of the following (Diagram 7): (a) a new deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres; (b) canopies or awnings on abutting façades; (c) recessed entrances of abutting façades; (d) cantilever(s) of a building on the same lot; or (e) structures such as gazebos, pergolas, or covered site furnishings</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition Dimensions of the at grade private open space at the proposed addition has dimensions less than 3.0m</p> |
| Design Requirement: At-Grade Private Open Spaces – Large Scale | | |
| <p>Section 117 In addition to meeting the requirements of Sections 115 and 116, at-grade private open spaces with a contiguous area exceeding 400 square metres and with an average depth exceeding 2.5 metres, shall provide at least three of the following: (a) an additional deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres; (b) a permanent table and chair(s); (c) a public art piece, a cultural artifact, or a commemorative monument; (d) a structure such as a gazebo or pergola; or (e) a planter or planting bed.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition At grade private space at the proposed addition does not exceed 400m².</p> |
| Design Requirement: Existing Access to Public Open Spaces | | |
| <p>Section 118 At-grade private open spaces shall maintain existing accesses to abutting public open spaces.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition</p> |

| Design Requirement: Privacy for Grade-Related Units | | |
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| <p>Section 119 At-grade private open spaces which are 2.5 metres deep or greater, as measured perpendicularly from the streetline, and which are located between the streetline and a grade-related unit, shall provide privacy for the residential units by using a minimum of one of the following elements per grade-related unit (Diagram 8): (a) a deciduous tree that is not a shrub with a minimum base caliper of 50 millimetres; (b) a minimum of two shrubs, each no less than 1.0 metre in height; (c) planters ranging in height from 0.25 to 1.0 metres; or (d) masonry walls ranging in height from 0.25 to 1.0 metres.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition</p> |
| Design Requirement: Walkways to be Hard-Surfaced | | |
| <p>Section 120 Walkways within at-grade private open spaces shall be hard-surfaced, excluding asphalt</p> | <p><input checked="" type="checkbox"/> Applicable <input type="checkbox"/> Not Applicable</p> | <p>Rationale: Exit walkways to be cast in place concrete (See Landscape Plan)</p> |
| Part VI, Chapter 3: Building Design Requirements | | |
| Design Requirement: Streetwall Articulation | | |
| <p>Section 121 Streetwalls shall be divided into distinct sections no less than 0.3 metres in width and not exceeding 8 metres in width, from the ground floor to the top of the streetwall, with each section differentiated by using at least two of the following (Diagram 9): (a) colour(s); (b) material(s); or (c) projections and recesses not less than 0.15 metres in depth.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition (no new streetwall proposed)</p> |
| Design Requirement: Articulation of Non-Streetwalls Fronting an At-Grade Private Open Space | | |
| <p>Section 122 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space abutting a public right-of-way, shall meet the requirements of Section 121 as if it was a streetwall.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition (none proposed)</p> |

| Design Requirement: Side Façade Articulation | | |
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| <p>Section 123 Where a side yard is proposed or required, the side yard façade shall continue the streetwall articulation for a depth greater than or equal to the width of the side yard, as measured at the streetline, using the same options chosen to achieve the design requirement in Section 121 (Diagram 10).</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition</p> |
| Design Requirement: Pedestrian Entrances Along Streetwalls | | |
| <p>Section 124 (1) Subject to Subsection 124(2), pedestrian entrances in the streetwall shall be distinguished from the remainder of the streetwall by using at least two of the following: (a) changes in colour; (b) changes in materials; or (c) projections and recesses not less than 0.15 metres in depth</p> <p>(2) Canopies or awnings shall not be used to meet the requirements of Subsection 124(1).</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition</p> |
| Design Requirement: Pedestrian Entrances Along Non-Streetwalls Fronting an At-Grade Private Open Space | | |
| <p>Section 125 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space, shall meet the requirements of Section 124 as if it was a streetwall.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – No existing or proposed podium</p> |
| Design Requirement: Number of Pedestrian Entrances Along Streetwalls | | |
| <p>Section 126 Streetwalls shall provide: (a) a minimum of one pedestrian entrance per storefront; or (b) a minimum of 2 pedestrian entrances where the storefront is greater than 24 metres wide</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – No existing or proposed storefront</p> |
| Design Requirement: Ground Floor Transparency – Commercial Uses | | |
| <p>Section 127 For at-grade commercial uses in the streetwall, between 50% and 80% of the building’s ground floor façade dedicated to commercial uses shall consist of clear glass glazing.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – No existing or proposed commercial</p> |

| Design Requirement: Ground Floor Transparency – Grade-Related Unit Uses | | |
|---|--|--|
| <p>Section 128 For grade-related unit uses in the streetwall, between 25% and 80% of the building’s ground floor façade dedicated to grade-related unit uses shall consist of clear glass glazing.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition</p> |
| Design Requirement: Access Ramps Along Streetwalls | | |
| <p>Section 129 Where a ramp for barrier-free access is provided between a streetwall and a sidewalk, no portion of the access ramp shall exceed a width of 2.0 metres and depth of 2.0 metres.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition (Existing barrier free ramp)</p> |
| Design Requirement: Weather Protection | | |
| <p>Section 130 (1) Subject to Subsection 130(2), where entrances for commercial uses or multi-unit dwelling uses are proposed in the streetwall, weather protection for pedestrians shall be provided above the entrances and shall consist of at least one of the following (Diagram 11): (a) canopies; (b) awnings; (c) recessed entrances; or (d) cantilevers.</p> <p>(2) Subsection 131(1) shall not apply to the entrances of grade-related units</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition No multi-unit dwelling entrances proposed in the streetwall.</p> |
| Design Requirement: Exposed Foundations and Underground Parking Structures | | |
| <p>Section 131 Exterior foundation walls and underground parking structures the height of which exceeds 0.6 metres above grade shall be clad in a material consistent with the overall design of the same exterior façade.</p> | <p><input checked="" type="checkbox"/> Applicable <input type="checkbox"/> Not Applicable</p> | <p>Rationale: Where the proposed parkade is above grade, it is clad in a consistent material as the exterior walls above. See Elevations A201 and A203.</p> |

| Design Requirement: Building Top Distinction | | |
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| <p>Section 132 (1) Subject to Subsection 132(2), a portion of the top third of a building shall be differentiated from lower portions of the same building, by using two or more of the following (Diagram 12): (a) colour(s); (b) material(s); and (c) projections and recesses not less than 0.15 metres in depth.</p> <p>(2) The minimum height of the differentiated portion shall be no less than: (a) 0.5 metres in height for a low-rise building or mid-rise building; (b) 1.0 metres in height for a tall mid-rise building; and (c) 3.0 metres in height for a high-rise building.</p> | <p><input checked="" type="checkbox"/> Applicable <input type="checkbox"/> Not Applicable</p> | <p>Rationale:</p> <p>The penthouse is differentiated from the lower two thirds of the building by colour and is recessed from the edge of the building below approximately 3.0m.</p> <p>See Elevations, drawings A201 and A202.</p> |
| Design Requirement: Penthouses | | |
| <p>Section 133 Penthouses shall be visually integrated into the overall design of the building</p> | <p><input checked="" type="checkbox"/> Applicable <input type="checkbox"/> Not Applicable</p> | <p>Rationale:</p> <p>The penthouse is visually integrated into the overall design of the building by using similar materials as the base of the building.</p> <p>See Elevations, drawings A201 and A202.</p> |
| Design Requirement: Rooftop Mechanical Features | | |
| <p>Section 134 Rooftop mechanical features shall be visually integrated into the design of the building and concealed from the public view at the streetline.</p> | <p><input checked="" type="checkbox"/> Applicable <input type="checkbox"/> Not Applicable</p> | <p>Rationale:</p> <p>All rooftop mechanical features are concealed from public view at the streetline. See A101</p> |
| Part VI, Chapter 4: Parking, Access, and Utilities Design Requirements | | |
| Design Requirement: Pedestrian Connections | | |
| <p>Section 135 Where pedestrian connections are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the site.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale:</p> <p>N/A – Existing Condition (no pedestrian connections on the site are proposed)</p> |
| Design Requirement: Pedestrian Connections Through Accessory Surface Parking Lots | | |
| <p>Section 136 (1) Pedestrian connections within accessory surface parking lots shall be no less than 2.0 metres wide.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale:</p> <p>N/A – Existing Condition (no accessory surface parking lots are proposed)</p> |

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| <p>(2) Pedestrian connections within accessory surface parking lots shall be delineated by raised walkways, no less than 0.15 metres high, and consisting of: (a) poured concrete; (b) brick pavers; (c) stone pavers; or (d) concrete pavers.</p> <p>(3) Where a pedestrian connection crosses a driving aisle, the surface of the aisle shall be raised to meet the elevation of the abutting pedestrian connection and delineated with a change of colour or material from the driving aisle.</p> <p>(4) A pedestrian connection shall provide a direct route between parking areas, building entrances, and the nearest sidewalk.</p> | | |
| Design Requirement: Motor Vehicle and Service Accesses | | |
| <p>Section 137 (1) Motor vehicle and service accesses in the streetwall shall be minimized by using the same colours or materials chosen for the streetwall.</p> <p>(2) All motor vehicle and service accesses shall: (a) not exceed the height of the ground floor or 4.5 metres, whichever is less; and (b) be completely enclosed with a door(s)</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition (no motor vehicle service access in the streewall proposed)</p> |
| Design Requirement: Parking Internal to a Building or Within a Parking Structure | | |
| <p>Section 138 Where parking internal to a building is located within the streetwall, it shall be screened from public view from any public right-of-way or park.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – Existing Condition (no internal parking is located within the streetwall)</p> |
| Design Requirement: Visual Impact Mitigation for Utility and Mechanical Features | | |
| <p>Section 139 The visual impact of utility features and mechanical features, including vents and meters, shall be minimized by concealing them from public view at the streetline by: (a) using opaque screening; or (b) enclosing them within a projection or recess in the building.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A – No proposed mechanical features are visible at the streetline.</p> |

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| Design Requirement: Heat Pumps and Other Heating and Ventilation Equipment for Individual Units | | |
| Section 140 Heat pumps and other heating and ventilation equipment for individual units are permitted on balconies, unenclosed porches, and verandas if they are concealed from public view at the streetline by: (a) using opaque screening; or (b) enclosing them within a projection or recess in the building. | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A – no heat pumps or other heating and ventilation equipment is proposed on balconies. |
| Part VI, Chapter 5: Heritage Conservation Design Requirements | | |
| Design Requirement: Conservation of Character-Defining Elements | | |
| Section 141 Character-defining elements of registered heritage buildings shall be conserved and remain unobstructed. | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A |
| Design Requirement: New Windows and Doors | | |
| Section 142 New window and door openings on registered heritage buildings shall match established patterns (materials, design, detail, and dimensions). | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A |
| Design Requirement: Preservation of Architectural Elements | | |
| Section 143 Architectural elements on registered heritage buildings shall be preserved, such as pilasters, columns, cornices, bays, and parapets. | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A |
| Design Requirement: Use of Archival Evidence | | |
| Section 144 Archival evidence shall be used to support the rehabilitation and restoration of character-defining elements on registered heritage buildings, or on registered heritage properties. | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A |
| Design Requirement: Historic Building Façades | | |
| Section 145 Historic building façades on registered heritage buildings shall be retained and rehabilitated, or restored using traditional materials. | <input type="checkbox"/> Applicable <input type="checkbox"/> Not Applicable | Rationale: N/A |
| Design Requirement: Materials | | |
| Section 146 Brick or masonry façades shall be maintained and restored on registered heritage buildings. The painting of brick or masonry façades is prohibited. | <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable | Rationale: N/A |

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| <p>Design Requirement: Maintenance of Same or Similar Cornice Line Height for New Developments in a Heritage Context</p> | | |
| <p>Section 147 The podiums or streetwalls of new developments in a heritage context shall maintain the same or similar cornice line height established by abutting registered heritage buildings, except where the maximum streetwall height permitted under the Land Use By-law is lower than the cornice of the registered heritage buildings.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A</p> |
| <p>Design Requirement: Streetwall Stepback for Taller Portions of New Developments in a Heritage Context</p> | | |
| <p>Section 148 Subject to Subsection 93(4), any portions of new developments in a heritage context that are taller than the cornice line of an existing abutting registered heritage building shall be stepped back from the streetwall (Diagram 14).</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A</p> |
| <p>Design Requirement: Side Wall Stepback for Taller Portions of New Detached Buildings in a Heritage Context</p> | | |
| <p>Section 149 Where a detached building constitutes a new development in a heritage context and where it abuts the same streetline as the registered heritage building, any portions of the new development that are taller than the cornice line of the registered heritage building shall be stepped back 3 metres on the side that abuts the heritage building (Diagram 15).</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A</p> |
| <p>Design Requirement: Architectural Elements of Existing Heritage Buildings to be Used as a Reference in the Design of New Development in a Heritage Context</p> | | |
| <p>Section 150 Architectural elements of existing abutting registered heritage buildings shall be used as a reference in the design of new development in a heritage context, by: (a) Incorporating articulation established by vertical and horizontal architectural elements of the registered heritage buildings (i.e. columns, pilasters, cornice, architectural frieze, datum lines, etc.); (b) Incorporating proportions and vertical spacing of the registered heritage buildings' windows; and (c) Where new development in a heritage context is located at the ground level, maintaining the proportions and transparency of the registered</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A</p> |

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| heritage buildings' storefront and façade elements | | |
| Design Requirement: Awnings and Canopies | | |
| <p>Section 151 (1) If proposed on a registered heritage building, awnings and canopies shall be: (a) Designed to fit within the dominant horizontal structural elements of the lower façade and not obscure significant architectural features; (b) Located between vertical columns or pilasters to accentuate and not to obscure these elements; (c) Designed to complement the fenestration pattern of the registered heritage building; and (d) Constructed using heavy canvas fabric or similar material in either a solid colour or striped. The use of retractable awnings is encouraged. Vinyl and high gloss fabrics and internally-illuminated awnings shall be prohibited.</p> <p>(2) Metal or glass awnings or canopies may be permitted on a registered heritage building, if designed to complement historic architectural elements.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A</p> |
| Design Requirement: Lighting Hardware | | |
| <p>Section 152 Lighting hardware shall be located so that it does not disfigure or conceal any significant architectural feature of the registered heritage building. Where it is not possible to hide lighting hardware, it shall be compatible with the building's architecture and materials.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A</p> |
| Design Requirement: Directing Lighting to Accentuate or Emphasize Architectural Features or Signage | | |
| <p>Section 153 Lighting shall be directed to accentuate or emphasize the architectural features of registered heritage buildings or their signage.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale: N/A</p> |

| Part VI, Chapter 6: Other Design Requirements | | |
|---|--|--|
| Design Requirement: General Lighting | | |
| <p>Section 154 The following features shall be illuminated: (a) common building entrances; (b) walkways; (c) accessible at-grade private open space; (d) parking lots; and (e) off-street loading spaces.</p> | <p><input checked="" type="checkbox"/> Applicable <input type="checkbox"/> Not Applicable</p> | <p>Rationale:</p> <p>The following features shall be illuminated:</p> <p>(a) common building entrances (See A-201 & A-202) (b) walkways (See A-201 & A-202) (c) accessible at-grade private open space; N/A existing condition (d) parking lots N/A (e) off-street loading spaces. N/A</p> |
| Design Requirement: Emphasis of View Terminus Sites | | |
| <p>Section 155 View terminus sites, as shown on Schedule 5, shall be emphasized perpendicular to and visible from a view line, by at least one of the following approaches: (a) subject to Subsection 93(5), extending the height of a portion of the streetwall (Diagram 16); (b) locating a clock tower, bell tower, rooftop cupola, spire, steeple, or minaret on the top of the building (Diagram 16); (c) providing an at-grade private open space (Diagram 17); or (d) locating a public art installation, a landmark element, or a cultural artifact on a portion of the streetwall, or in an at-grade private open space (Diagram 17).</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale:</p> <p>N/A</p> |
| Design Requirement: Parking Areas, Accessory Surface Parking Lots, Off-Street Loading Spaces, and Site Utilities on View Terminus Sites | | |
| <p>Section 156 Parking areas, accessory surface parking lots, off-street loading spaces, or site utilities shall not be visible within a view terminus as shown on Schedule 5.</p> | <p><input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable</p> | <p>Rationale:</p> <p>N/A</p> |