

1580 Grafton Street

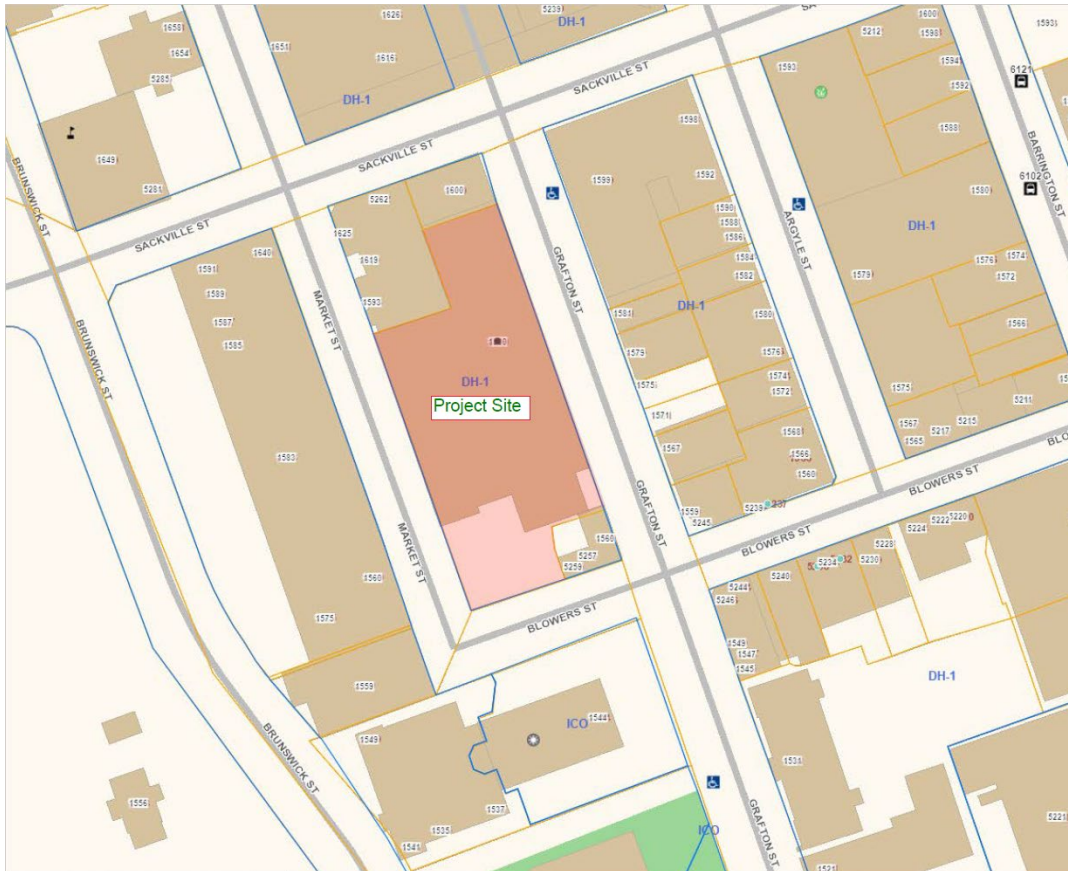
Demolition

Prepared by Geoff MacLean, P.Eng.

Job No. 35701

CONSTRUCTION MANAGEMENT PLAN

0	JAN 2021	ISSUED FOR REVIEW
REVISION #	DATE	DESCRIPTION



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Prepared by

G.K. MacLean, P.Eng.

In consultation with the landowner, developer, contractor, and traffic control company

Section 1: Introduction

1.1: Project Description and Objectives

Maxwell Properties Limited are proposing to demolish the existing building located on 1580 Grafton Street. The building currently fronts on Grafton Street and Market Street, between Blowers Street and Sackville Street. This property currently has one main building, with a parking lot fronting on Blower's street. Once the building is demolished, this land parcel will be used for future redevelopment. This CMP has been prepared for only the demolition phase of this project; future development will be addressed in a separate CMP.

Throughout demolition, all work will remain on private property. We are proposing to install a row of modular fencing along the building face and property line to keep the site secure. The sidewalks and travel lanes will remain open throughout demolition, except while the main outer structure is pulled down by large machinery. During this stage of demolition, the sidewalk and parking lane will be closed to the public. Once the structure is down, the sidewalk and parking lane will be reopened to the public.

The existing building services will be capped at the property line and left in place; further abandonments and disconnects from the mains will wait until the future building services are installed, minimizing traffic and service disruptions.

The existing property borders residential and commercial properties that front Grafton Street and Market Street. To the North resides a residential property, The Dillion, and a commercial business, The Maxwell's Plum. To the South of the property is a local business, Pizza Girls/Katch Seafood. Fronting the opposite side of Grafton Street include businesses such as Pizza Corner, Brawta Jamaican Jerk Joint, Drala Books and Gifts, The Stubborn Goat Gastropub, and the Residence Inn. Opposite Blowers Street is the St. Matthews Church and 1537 Brunswick Street parking garage, while opposite Market is the Cambridge Suites Hotel garage entrance. All neighbouring properties will remain undisturbed throughout demolition and all neighbours will be notified and updated on demolition ahead of time.

This CMP document is intended to be an evolving document to help guide the project team to mitigate impacts to the adjacent community before they arise and to address unforeseen issues. SDMM, together with the developer, contractor, and traffic control company, have prepared this Construction Management Plan (CMP) following HRM's CMP (2020) guidelines and administrative order (2018-005-ADM) in an effort to reduce potential negative impacts on the surrounding community, due to construction activities for this project.

The most up-to-date version of this document will be kept on-site at all times during construction. Should ownership or contracting services change throughout the course of this project, HRM will be notified immediately and new parties will be required to comply with the approved CMP in writing.

1.2: Project Contact Information

The project team for the proposed development consists of:

Role	Name	Contact	Address	Phone
Developer	Maxwell Properties Limited	Kris Skiba	1245 Barrington Street Halifax, NS B3J 1Y2	(902) 830-0649 24 Hour Emergency Contact
Site Contractor	S. Jollimore and Sons Excavation	Jeff Jollimore	79 Burkes Road, Shad Bay, NS B3T 2B4	(902) 456-5124 24 Hour Emergency Contact
Traffic Control Company	Frontline Traffic Services	Phil Pruneau	6 Belmont Avenue, P.O. Box 89 Eastern Passage, NS B3G 1M7	(902) 818-5548
Rodent Control Company	Rentokil Pest Control		51 Duke Street, Bedford NS, B4A 2Z2	(902) 835-2304

Section 2: Project Schedule and Logistics

The following is a brief summary of anticipated major project milestones broken down by phase:

2.1: Schedule

Project Phase	Start Date		End Date	Time Period
Rodent Control Program	December 1, 2020	-	December 15, 2020	2 Weeks
Demolition	January 15, 2021	-	March 31, 2021	2.5 Month

2.2: Key Dates

- Set up safety fencing along property lines January 15, 2021
- Temporary street and sidewalk encroachments:
 - Grafton Street sidewalk closure February 8 – 15, 2021
 - Market Street sidewalk closure February 8 – 15, 2021

2.3: Hours of Work

Work will generally take place during normal working hours as outlined in HRM's Noise By-Law and Traffic Control Manual Supplement; these are noted below.

- Monday to Friday: 7:00 a.m. – 9:30 p.m.
- Saturdays: 8:00 a.m. – 7:00 p.m.
- Sundays & Statutory Holidays: 9:00 a.m. – 7:00 p.m.
- Servicing Work: Same as Above

Although work is not expected to be required outside of the times listed above, if, for any reason, work is anticipated to be required outside of these hours, the contractor will apply to HRM for approval 5 business days (minimum) in advance of such work and obtain approval prior to proceeding. It is noted that HRM's Noise By-Law cannot be altered without HRM council approval; work must adhere to the Noise By-Law.

Section 3 – Relevant Regulations & Guidelines

3.1: Occupational Health & Safety Regulations

This CMP shall be utilized in agreement with all applicable Provincial and Federal Occupational Health and Safety Regulations. At a minimum, construction activities must at all times meet the standards of:

- a) National Building Code of Canada, as adopted and modified under the Building Code Act and the Nova Scotia Building Code Regulations made under that Act;
- b) Nova Scotia Occupational Health and Safety Act, and the Nova Scotia Occupational Safety General Regulations made under that Act;
- c) The Transportation Association of Canada (TAC)'s Manual of Uniform Traffic Control Devices for Canada (MUTCDC); and
- d) Nova Scotia Temporary Workplace Traffic Control Manual (NSTCM).

3.2: Municipal Regulations & Guidelines

In addition to the Provincial and Federal standards referenced in Section 3.1, this CMP shall be utilized in agreement with and meet, at a minimum, the standards of all relevant municipal by-laws including, but not limited to, the following:

- a) HRM Design Guidelines
- b) HRM Standard Details
- c) S-300 Streets;
- d) E-200 Encroachments;
- e) B-201 Building;
- f) N-200 Noise;
- g) T-600 Trees;
- h) S-900 Controlled Access Streets;
- i) T-400 Truck Routes;
- j) W-101 Discharge into Public Sewers;
- k) B-600 Blasting; and
- l) HRM TCM Supplement.
- m) G-200 Grade Alteration and Stormwater Management
- n) Admin Order 2018-005-ADM regarding encroachments
- o) Admin Order 2020-010-OP regarding stormwater management standards for development activities

Section 4: Vehicle Management

Prior to any construction activity, all temporary workplace traffic control devices and signage will be in place as per the Nova Scotia Temporary Workplace Traffic Control Manual (latest edition). The traffic control company will install the signage and ensure that they are maintained throughout the project. This project's Traffic Control Plans (TCPs) are listed in the Appendix.

4.1: Vehicular Traffic Control

A Traffic Control Plan (TCP) has been prepared by the traffic control company and is provided in the Appendix.

Throughout all phases of demolition two-way vehicular traffic will be maintained. We anticipate short term closures of the parking lane along side the building on both Market and Grafton Streets. Please refer to the appendices for required traffic control plans.

4.2: Haul Route and Staging Areas

The truck Haul Route Plan has been prepared by the traffic control company and is provided in the appendix. The selected route is intended to minimize traffic congestion and maximize pedestrian safety. During demolition construction vehicles will enter and exit the site at the gate location, which will be clearly marked for function.

4.3: Vehicular Traffic Notifications

Should any traffic disruptions be required, notifications will be distributed to properties in the impacted area a minimum of five (5) days in advance of vehicular traffic closures.

4.4: Emergency Vehicles

In the event of unforeseen emergency situations, the site will remain accessible to emergency vehicles at all times.

4.5: Parking

Adjacent to the building on Market Street are six (6) metered parking spots, while Grafton Street contains four (4) metered spots. Since the demolition will be maintained within the property lines, on street parking will not be affected for most of this project. However, during the machine demolition phase of the project, the aforementioned parking stalls will need to be closed to allow the machinery space to operate. The anticipated days for these encroachments have been noted in the project schedule.

To minimize parking requirements in adjacent neighbourhoods, on-site workers will utilize private property and workers will be encouraged to carpool or rely on public transit.

Alternative street parking is not proposed for this disruption.

4.6: Bus Stops

There are no bus stops directly adjacent to the project, and no busses travel down Market or Grafton Street.

4.7: Hazard Assessment

A vehicular and pedestrian hazard assessment is provided in the appendix. Any additional site hazards identified or encountered after work has commenced will be added to this list. All personnel on-site will be required to review this list and encouraged to identify additional potential hazards and hazard mitigation methods.

Section 5: Pedestrian Management

A Pedestrian Management Plan (PMP) has been prepared by the traffic control company and is provided in the appendix.

Throughout the project demolition, the sidewalks will remain open. However, as mentioned in the project schedule, the sidewalks adjacent to the project will be temporarily closed during the machine demolition phase. This is to ensure that limits of demolition and machinery are kept a safe distance from pedestrians. With existing marked crosswalks at both adjacent intersections, pedestrians will be encouraged to use the sidewalk opposite the site.

5.1: Pedestrian Protection

Pedestrians will be protected by distancing them from the project. During demolition weighted down modular construction fencing will be positioned along the property line during general works.

5.2: Pedestrian Safety

Pedestrian safety will be maintained by implementing appropriate signage as shown on the PMP. All navigation and safety signage indicating alternative sidewalks and potential hazards will be inspected and maintained regularly.

5.3: Pedestrian Traffic Notifications

Notifications will be distributed to properties in the impacted area a minimum of five (5) days in advance of pedestrian traffic impacts.

5.4: Visually Impaired Persons

In keeping with Canadian National Institute for the Blind (CNIB) requirements and as outlined on their 'Clearing Our Path' website; various items will be incorporated into the pedestrian management signage and barriers. Such as, high visibility contrasting colours with appropriate font types (mix of upper and lower-case lettering), font sizes (between 16mm to 51mm) and sign colours (orange background with black lettering or white background with black lettering).

The contractor will use bright orange sawhorse barricades complete with bold-font signage to identify sidewalk termination points. Reflective tape will also be placed on the ends of fencing, hoarding, sawhorse barricades, and concrete barriers to help delineate pedestrian routes and disruptions. Signage and tape colours will vary but will comply with the colour/brightness contrast as outlined by the CNIB website; examples are black/white, orange/black or dark red/white combinations.

5.5: Accessibility

High visibility signage will be used to assist pedestrians to easily navigate around all project related blocked sidewalks.

5.6: Hazard Assessment

A vehicular and pedestrian hazard assessment is provided in the appendix. Any additional site hazards identified or encountered after work has commenced will be added to this list. All personnel on-site will be required to review this list and encouraged to identify additional potential hazards and hazard mitigation methods.

Section 6: Encroachments & Disruptions

For public safety during demolition, we are proposing that the project compound be limited to the property limits. Public sidewalks and parking stalls along Grafton and Market street will only be utilized as described section 2. No long term encroachments are anticipated for this project. To keep the public away from potential hazards weighted modular construction fencing with translucent covering will be use at the property line. Throughout the project, fencing will not obstruct vehicle sight lines.

It is noted that this fencing shall **not** be anchored to the sidewalk, **nor** shall the legs of the modular fencing extend onto the sidewalk as this creates an unacceptable tripping hazard which must be avoided. Throughout the project, fencing will be situated to not obstruct vehicle sight lines.

Should any utility or traffic disruptions be required, the contractor will first apply to HRM for approval, a minimum of five (5) business days in advance of such work and will then notify neighbours of these disruptions in a timely fashion.

6.1: Demolition

The demolition phase includes demolishing the existing building on the site. This building is at the street line and two temporary sidewalk closures are required, as noted in the project schedule.

6.2: Site Excavation

This CMP does not speak to excavation, as such any planned excavation must maintain 5m from the street right of way, post receipt of HRM grade alteration permit.

6.3: Site Services Connection

The various existing services for the buildings will be capped at the street line as part of the demolition project. This lot is planned to be redeveloped which will be addressed under a separate CMP. The services for this new building and the disconnection of existing services will be addressed after building permit and are not part of this CMP.

6.4: Construction Management Plan Element Inspection and Maintenance

Construction management plan elements will be inspected daily to ensure continued adherence to this CMP. Any deficiencies identified will be reinstated immediately. A CMP's TCP & PMP inspection report summary will be completed for the project, including information on what maintenance activities were conducted. This report must be always kept on site and be available to HRM upon request.

6.5: Changes to the Construction Management Plan

All departures from the CMP regardless of the significance must be submitted to the Municipality 10 days in advance for review and approval. Any required changes or modifications to the approved CMP will be submitted to HRM for review and approval prior to implementation.

Section 7: Environmental Factors

7.1: Damage to HRM Infrastructure

Existing sidewalks adjacent to the project and those across the street are not anticipated to be impacted by demolition or other construction activities. However, while efforts will be made to avoid damage, it is anticipated that some portions of existing curbs, gutters, and sidewalks may become damaged during the demolition process which would

require repairs or replacement. Pending HRM's review prior to and after demolition and subject to damage due to demolition activities, the developer acknowledges that items may require to be fully replaced rather than repaired. The landowner also acknowledges that any costs incurred to repair or replace this public infrastructure are the responsibility of the owner.

For reinstatement timeline requirements, it is noted that asphalt, concrete curb, and sidewalk reinstatement must be completed within 72 hours of disturbance and will be considered temporary if reinstated after October 31st or prior to May 1 in which case permanent reinstatement will be completed by June 15 of the following construction season.

7.2: Protection of Trees

There are no street trees within the public right-of-way directly adjacent to the project site on Grafton, Blowers, and Market Street. It is noted that HRM street trees shall not be touched prior to approval and/or compensation agreements between the developer and HRM Urban Forestry are in place. Adjacent street trees are to be protected during construction in accordance with the HRM Tree Bylaw (T-600). Refer to HRM tree protection detail in the appendix.

7.3: Line Painting and Temporary Crosswalks

Temporary line painting such as altered centreline or temporary crosswalk are not anticipated for this project.

7.4: Street and Right-of-Way Cleaning

The portion of public street adjacent to the project will be cleaned daily of any debris from trucks and silt, dirt, or rock that migrates beyond the encroachments. A sweeper truck will be utilized as required. Rock pads will be installed and maintained at all entrances to trap sediment.

7.5: Protection from Inclement Weather

To protect the public from construction debris during inclement weather, the project site will be enclosed by fencing complete with dust control covering, the site will be regularly reviewed and cleaned, with loose items secured when not in use.

7.6: Storm Water Management

During demolition, nearby catch basins may be fitted with filter fabric to prevent debris from entering the storm system. Storm water collected inside the project site will be directed into temporary stormwater settling ponds situated within on private property to allow clean water to be pumped into the existing public storm water systems in accordance with HRM By-law W-101 complete with appropriate fees to Halifax Water (HW). Sediment ponds may be shifted and positioned as desired by the site contractor during mass excavation however will generally be placed in localized low points within the site.

7.7: Noise, Dust and Emission Control

Dust mitigation for this project may be achieved using rock pads for trucks exiting the site. A water truck and sweeper truck will also be utilized to help prevent dust from becoming airborne and, when required, calcium may need to be used to mitigate dust migration. Additionally, mesh on the inside of the fencing will help to contain any airborne dust inside the site.

All construction vehicles will be required to use the loading area for parking and idling to keep exhaust emissions within the construction zone. Vehicles will be staged so that idling will not occur for more than 3 minutes at a time.

As indicated above, all work shall be completed in accordance with the HRM Noise By-Law.

7.8: Rodent Control

Rodent movement increases during construction activities. The owner has engaged a rodent control company, who has established a Rodent Control Plan (RCP) to help mitigate rodent movement prior to and during construction. The RCP applies to all project phases with the goal of preventing movement of rodents off-site to find safe refuge in adjacent areas. The RCP will consist of a baiting and monitoring program. Bait stations (traps) will be placed as outlined in the NPMA Pest Management Standards for Food Processing & Handling Facilities.

The RCP will be engaged two weeks prior to the commencement of the demolition phase and will help to lower the number of active rodents in the project area. Bait stations will be positioned along existing buildings prior to demolition. Post demolition the bait stations will be moved to the edge of the project and secured in place using wooden stakes (for open sodded and dirt locations), weighted patio stones (behind walls and on paved areas), and zip-ties (fixed to fences) as per typical industry standards.

Refer to the appendix for a copy of the Rodent Control Plan.

Section 8: Site Protection & Hoarding

8.1: Barriers, Fences, and Gates

The property line will be delineated using weighted modular construction fencing, total height shall be 1.8m or 6ft as per the noted administrative order. This fencing will be covered with a translucent dust control mesh of high quality which will extend a minimum 3m from the public right-of-way. This screening is described in the appendix and will block passersby or tourists view of the construction site. Construction traffic will utilize the proposed access gate, which will not be screened for safety reasons.

Along the private sidelines where non-vehicular traffic is present, the hoarding will be delineated by weighted modular 1.5m (5ft) high fencing or existing fencing where it is at least 1.5m tall. All fencing will have dust control mesh.

Installation of fencing and covering will take place during regular working hours as noted above. This work will be scheduled by the contractor after the HRM's pre-construction meeting has been held. HRM will coordinate this pre-construction meeting; the developer, contractor and traffic control company will attend this site meeting. During the process of erecting and tearing down the fencing and opaque covering defining the property line, traffic control elements will be implemented as per the Traffic Control Plan in the appendix. All work and any traffic interruptions will be coordinated by the contractor who will notify HRM a minimum of five (5) business days before work is scheduled to begin.

8.2: Snow removal

The developer will be responsible to remove snow and ice as required to ensure that emergency access is maintained to the project site, this includes fire hydrants. The contractor will not dump snow or ice onto adjacent property and will truck snow off site as required to prevent the unsafe build-up of snow piles.

8.3: Gate Access & Egress

The site will be accessible through gates located in the parking lot fronting Blowers Street and in line with an existing garage door fronting Grafton Street. These gates are the only location that will receive equipment/materials during demolition and will be locked at all times after work hours. In cases of emergencies, on-site workers will exit the

project site through these gates. Each gate will remain unlocked at all times when workers are on site in case of emergency allowing unrestricted emergency response units access to the site.

Any existing fire hydrants located adjacent will remain protected from construction activities. These fire hydrants will be accessible to firefighters throughout all phases of the project. The building's water supply will be shut off; resulting in the existing sprinkler system being out of service. Adjacent existing hydrants and fire department connections are not anticipated to be affected by construction.

8.4: Hoarding Aesthetics

The site hoarding will resemble that shown in the appendix; encroachment fee reductions are not anticipated.

8.5: Sight Lines

Fencing and signage will be installed as per the CMP drawings such that vehicle sight lines are maintained around corners.

8.6: Project Information and Contacts

To encourage communication between the project team and the public, contact information will be provided on Project Information Boards; these will be posted prominently around the project site on the fencing; refer to the appendix for a copy of the Project Information Board and the Encroachment Plan for the planned locations. Refer to the signage specification within the appendix describing the required size, materials, mounting hardware, etc. of these signs

Section 9: Lifting, Hoisting, and Crane Operations

9.1: Crane Use Overview

We do not anticipate the use of a cranes for this phase of the project. However it should be noted that lifting loads over public realm is not permitted.

9.2: Transport Canada and Nav Canada Regulations

Cranes are not anticipated for this phase of work.

Section 10: On-Site Safety and Security

10.1: Site Safety and Security Overview

The contractor will adhere to all Occupational Health & Safety requirements throughout the completion of this project. At a minimum, the following safety protocols will be utilized to further enhance site safety and security:

- a) All workers will be required to have proof of up-to-date safety training;
- b) Personal protective equipment (PPE) will be required for all personnel on site;
- c) Adequate signage will be placed outside the hoarding, which will warn of hazards that may exist;
- d) Gates will be locked and the perimeter fencing secured to provide security against public access during off work hours and will be monitored during operation;
- e) Hoarding will clearly state "No Trespassing – Construction Personnel Only" & PPE requirements will be clearly identified (e.g., "Hard Hats and Safety Footwear Must Be Worn Beyond This Point");
- f) Regular safety inspections will be conducted to ensure suitability of hoarding and other safety devices;

- g) Emergency contact information to be prominently posted as per the Project Information Board.

10.2: Material Handling: Loading, Unloading, Delivery and Storage

The contractor will adhere to the procedures stipulated in the Haul Route Plan for delivery of materials. Delivery vehicles will use the designated gates for entry and exit. Timing of deliveries will be coordinated to have the least possible negative impact on regular traffic. The staging and delivery area will be housed on private property within the hoarding limits.

10.3: Emergency Access & Egress

The site will be accessible through gates stationed at the existing parking lot on Blowers Street to facilitate construction vehicle access, with a second gate fronting Grafton street which will be accessible to emergency vehicles. These gates are the only locations that will receive equipment/materials during construction. Each gate will be clearly marked for function. In cases of emergencies, on-site workers will exit the project site through one of the gates. Both gates will always remain unlocked when workers are on site in case of emergency allowing unrestricted emergency response units access to the site. Gates will be locked and secured afterhours to provide security against public access during off work hour. Emergency contact information will be posted on project information boards surrounding the site, refer to the CMP plan for details.

10.4: Security Site Lighting

Security site lighting is not anticipated for this project.

10.5: Smoking Areas

On site smoking areas will not be provided as this will be a smoke-free site.

10.6: Fire Suppression Systems

The existing building will have its water supply turned off and as such any existing fire suppression systems will no longer be available during demolition of these buildings. The adjacent existing fire hydrants will remain outside the project area and will be protected from construction activities. These fire hydrants, along with any existing fire department connections (Siamese connections) will be accessible to firefighters throughout all phases of the project.

There are no proposed fire department connections at this stage of the project. These are not available for fire department use until after the building's water supply lines have been installed, tested and commissioned by the water commission, similar with the fire suppression system. This system will not be active until after the building is near complete and the encroachment fencing has been removed.

Section 11: Pre-Construction Consultation & Meeting

11.1: Pre-CMP Community Consultation

Due to the current pandemic, the developer will forego the community consultation meeting. A construction notification letter will be delivered to the properties neighbouring the construction site as well as HRM staff, notifying them of the expected work with contract information for questions and feedback. As part of this notification the surrounding community and businesses will be offered to sign up for a monthly construction project notification from the development. It is understood, HRM requires a confirmation letter from the applicant confirming delivery of notification letters to affected residents. A map indicating these properties has been included in the appendix.

11.2: Project Information and Contacts

To encourage communication between the project team and the public, contact information will be provided on Project Information Boards; these will be posted prominently around the project site on the fencing; refer to the appendix for a copy of the Project Information Board and the CMP Plan for the planned locations. Information on signage size and materials is outlined in the appendix.

11.3: Preconstruction Meeting

Prior to construction the developer, contractor and traffic control company will attend a pre-construction meeting with HRM staff to review the CMP document on site. HRM's engineering technician will confirm the date and time of this meeting; and may wish to waive the requirement.

11.4: Construction Notification

Approximately five (5) business days prior to the encroachment, an additional notification will be circulated to the neighbouring properties, notifying them that work is starting on site.

Section 12: Summary

This construction management plan was prepared with the goal to minimize negative impacts to the community, pedestrians, and traffic throughout the scope of this project. This plan will be used as a minimum standard and any further safety protection required or methods to provide a more positive environment will be used throughout construction work as necessary.

Should you have any questions or comments related to this document, please contact SDMM. For all construction-related inquiries, please contact the developer, contractor, or traffic control service provider.

Regards,

Servant, Dunbrack, McKenzie & MacDonald Ltd.

Geoff MacLean, P.Eng.

Project Engineer

a/1580 Grafton – CMP (IFR) – 35701.docx

APPENDIX

Appendix A – Encroachment Plan



Encroachment Signage Plan 1

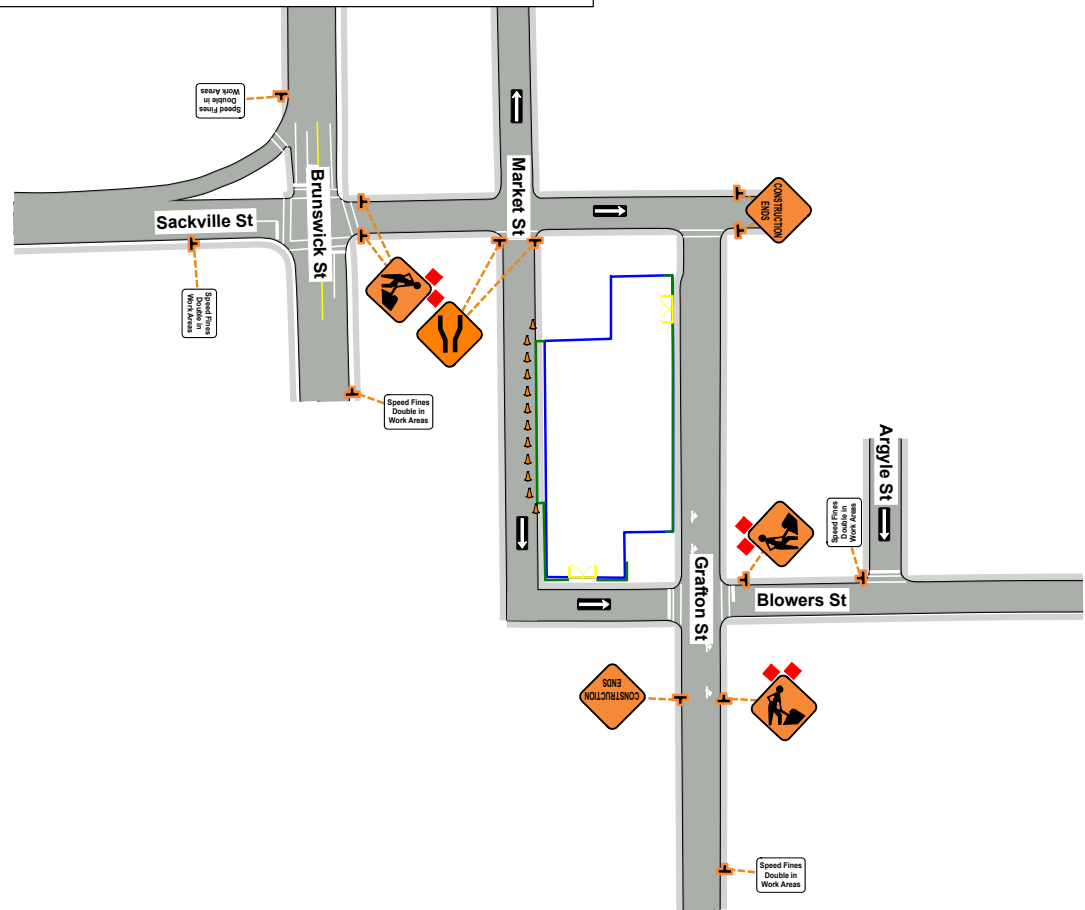
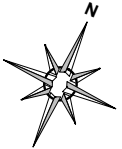
Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:

Not to Scale

Encroachment Signage Plan 1

See Pedestrian Management Plans for sidewalk closure details



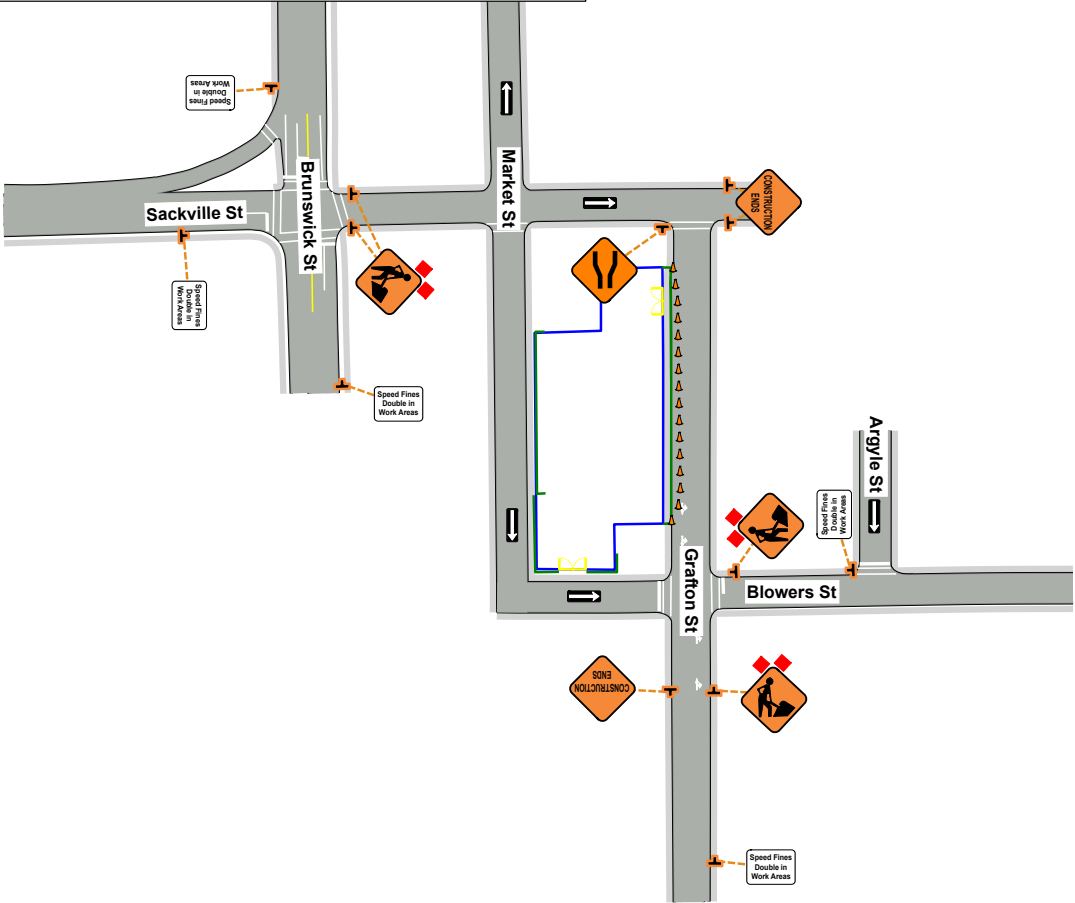
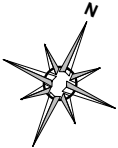
V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend	
	Cone
	Gate
	Site Fencing
	Work Site Perimeter

Encroachment Signage Plan 2

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Encroachment Signage Plan 2
See Pedestrian Management Plans for sidewalk closure details



V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend	
	Cone
	Gate
	Site Fencing
	Work Site Perimeter

Appendix B – Pedestrian Management Plan (PMP)

Pedestrian Management Plan 1

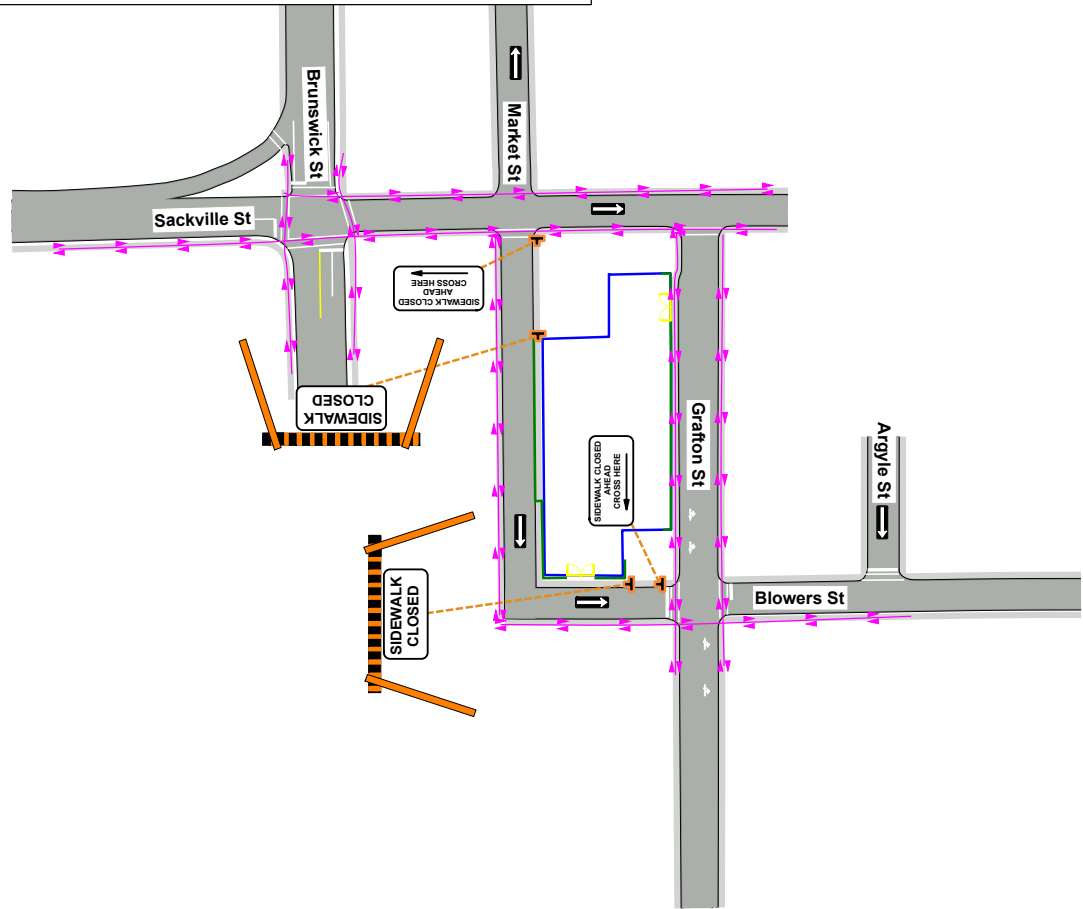
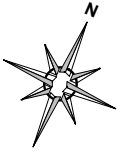
Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:

Not to Scale

Pedestrian Management Plan 1

For closure of sidewalks on Market St and Blowers St to install/remove Fencing



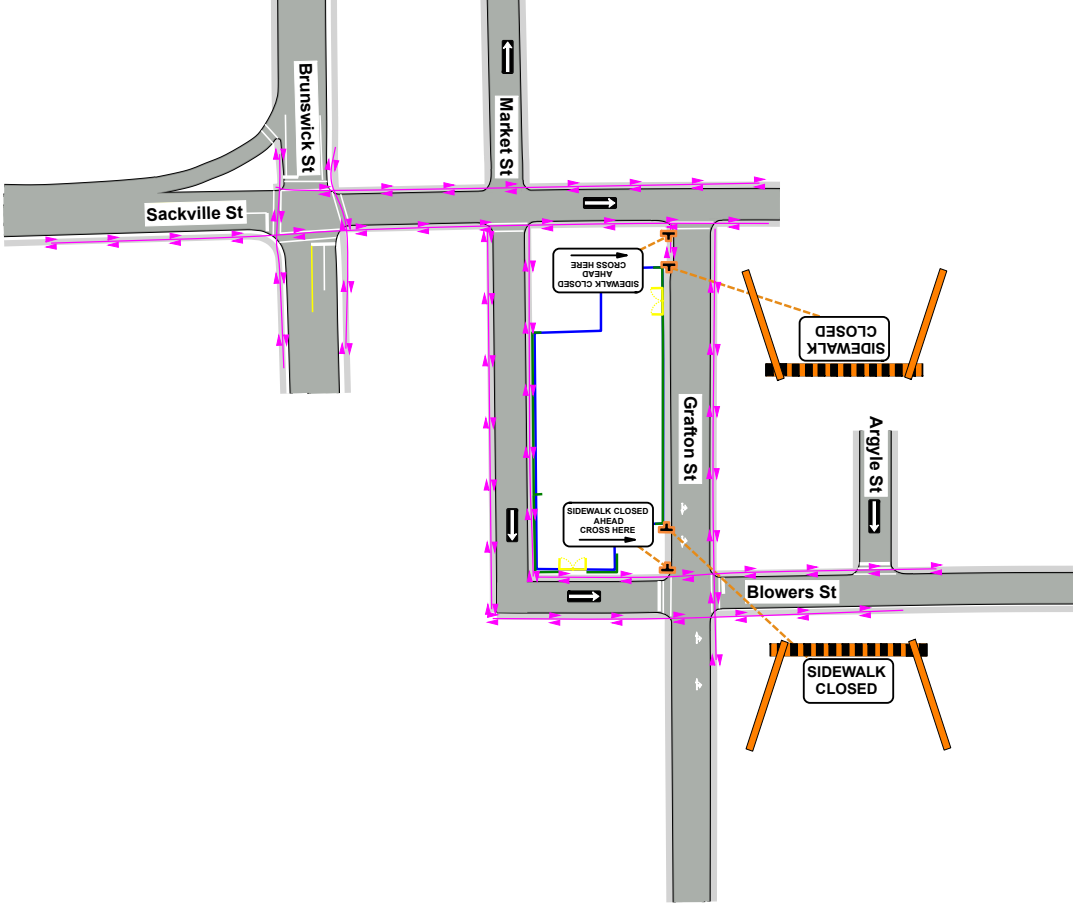
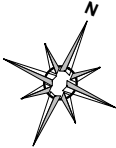
V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend	
	Gate
	Pedestrian Route
	Site Fencing
	Work Site Perimeter

Pedestrian Management Plan 2

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Pedestrian Management Plan 2
For closure of sidewalk on Grafton St



V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend	
	Gate
	Pedestrian Route
	Site Fencing
	Work Site Perimeter

Pedestrian Management Plan 3

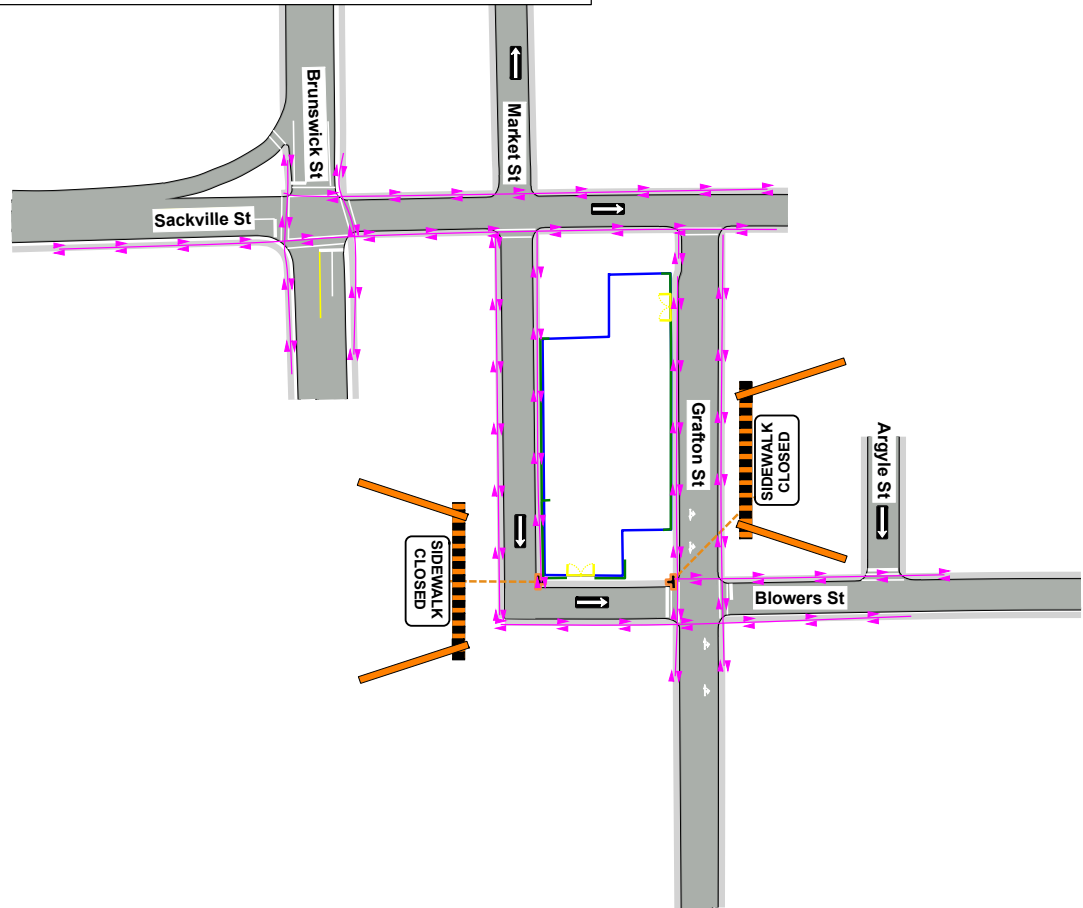
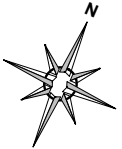
Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:

Not to Scale

Pedestrian Management Plan 3

For closure of sidewalk on Blowers St



V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend	
	Gate
	Pedestrian Route
	Site Fencing
	Work Site Perimeter

Pedestrian Management Plan 4

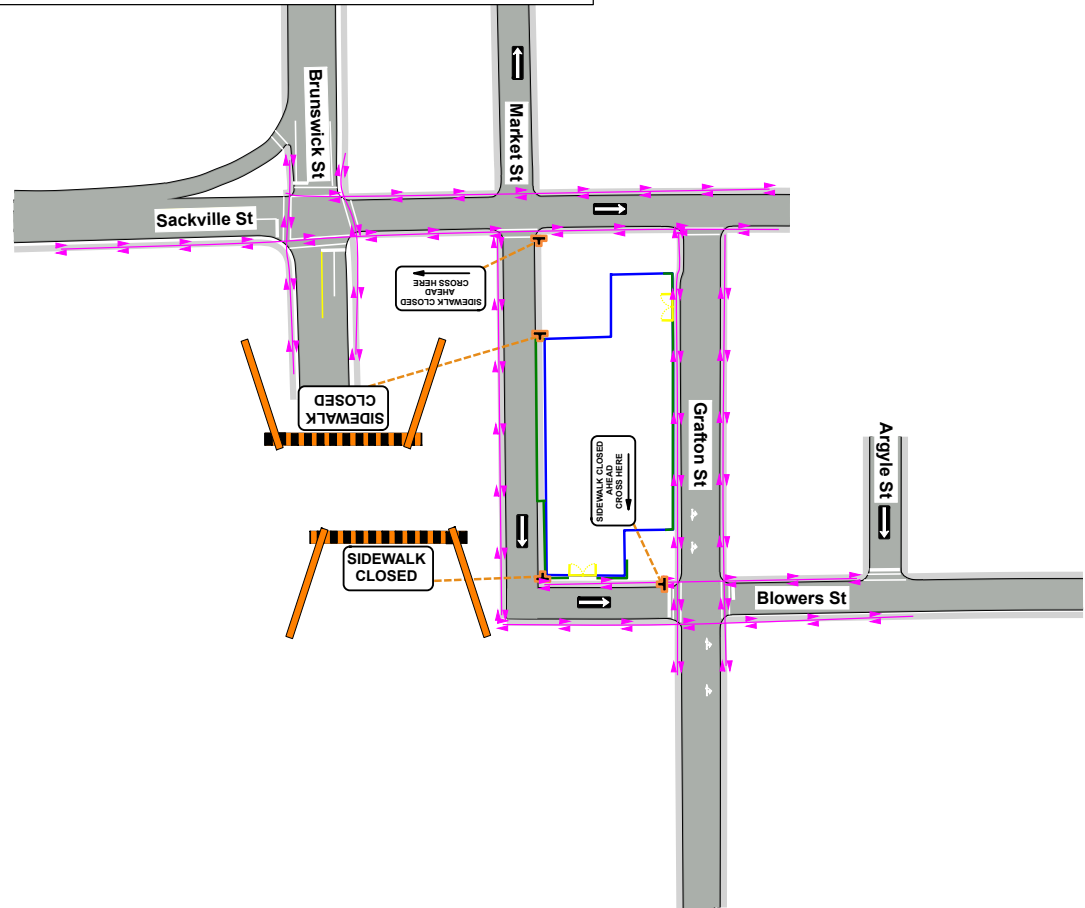
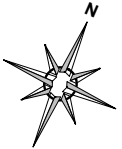
Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:

Not to Scale

Pedestrian Management Plan 4

For closure of sidewalks on Market St



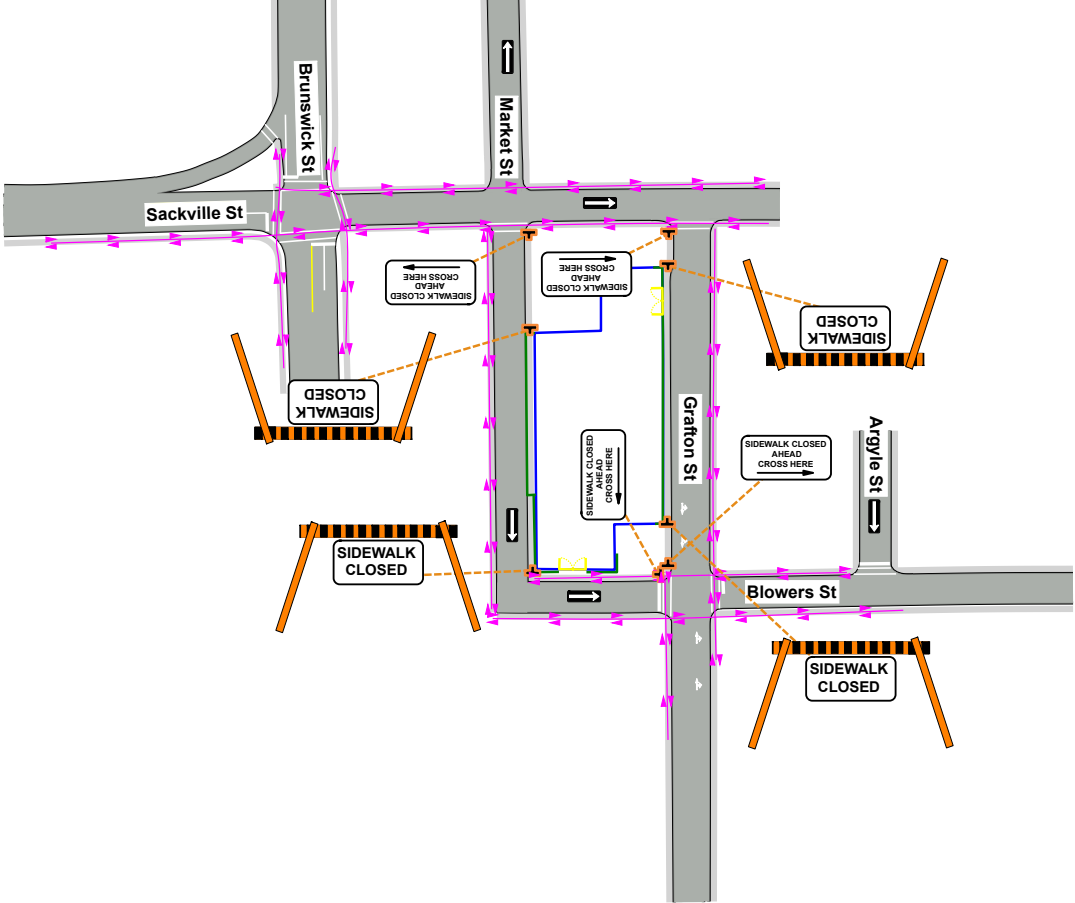
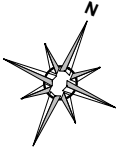
V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend	
	Gate
	Pedestrian Route
	Site Fencing
	Work Site Perimeter

Pedestrian Management Plan 5

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Pedestrian Management Plan 5
For closure of sidewalks on Market St and Grafton St



V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

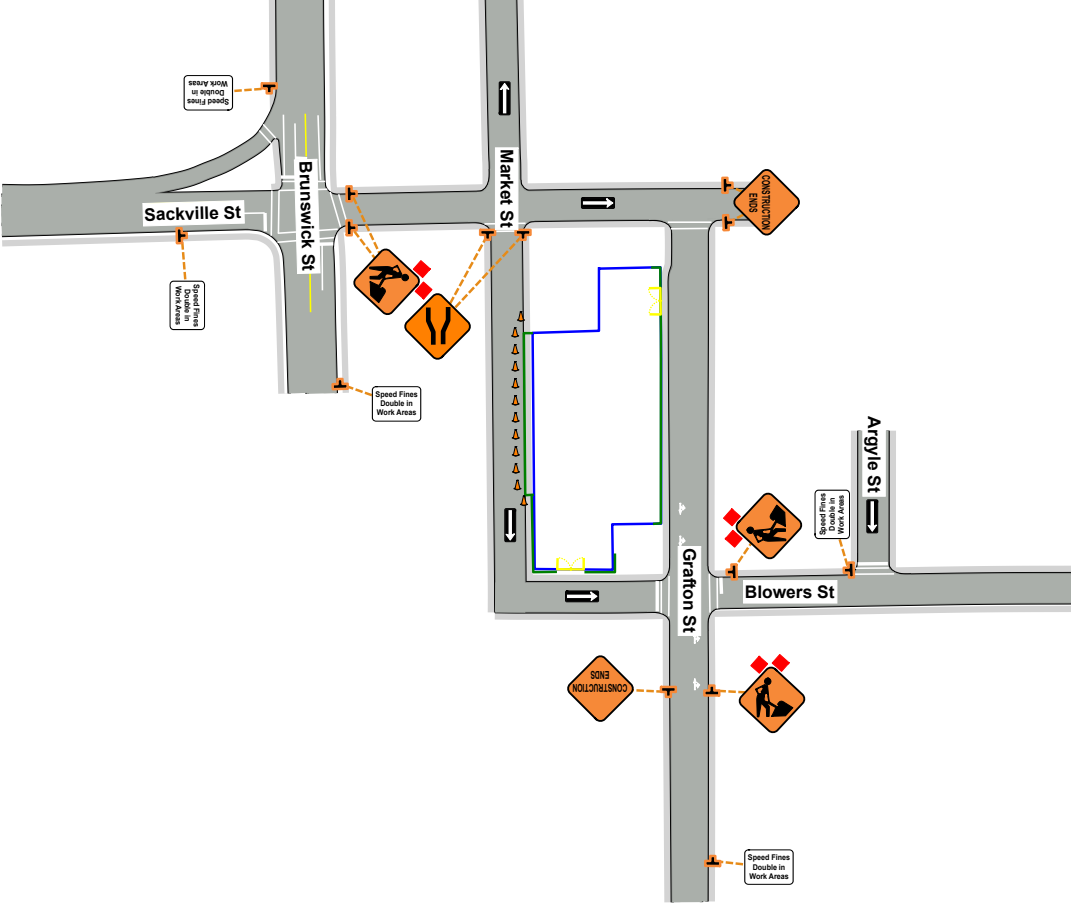
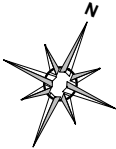
Legend	
	Gate
	Pedestrian Route
	Site Fencing
	Work Site Perimeter

Appendix C – Traffic Control Plans (TCP)

Signage Plan 1

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Encroachment Signage Plan 1
See Pedestrian Management Plans for sidewalk closure details



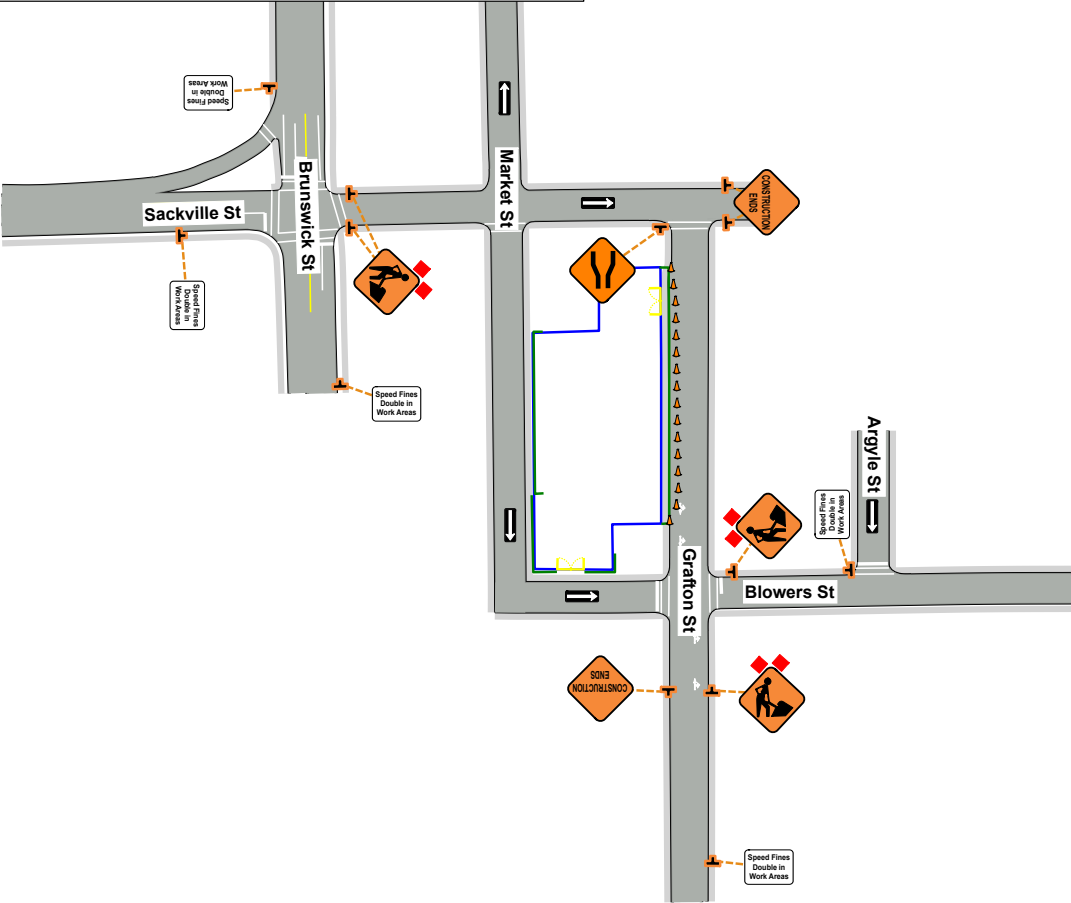
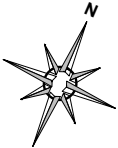
V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend	
	Cone
	Gate
	Site Fencing
	Work Site Perimeter

Signage Plan 2

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Encroachment Signage Plan 2
See Pedestrian Management Plans for sidewalk closure details



V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

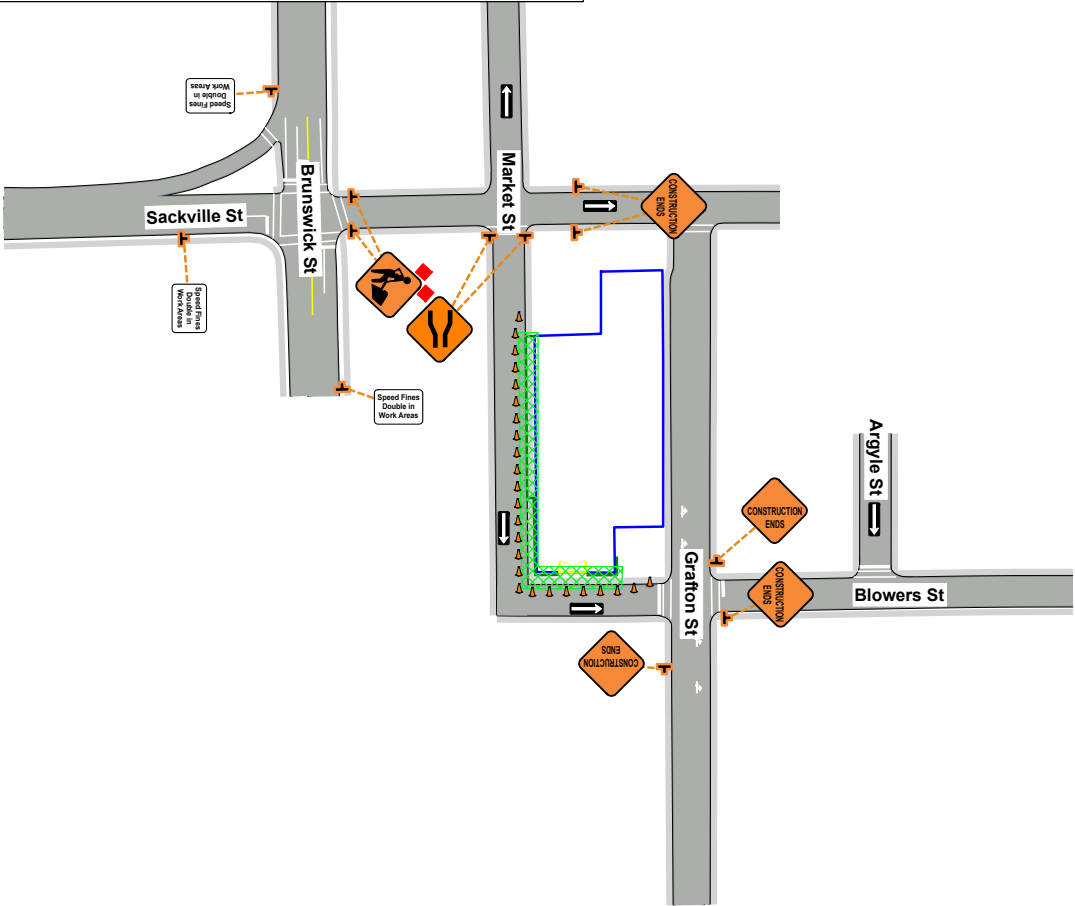
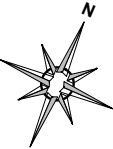
Legend	
	Cone
	Gate
	Site Fencing
	Work Site Perimeter

Appendix D – Barrier Installation TCP

Fencing Installation and Removal Plan 1

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Fencing Installation and Removal Plan 1
See Pedestrian Management Plans for sidewalk closure details



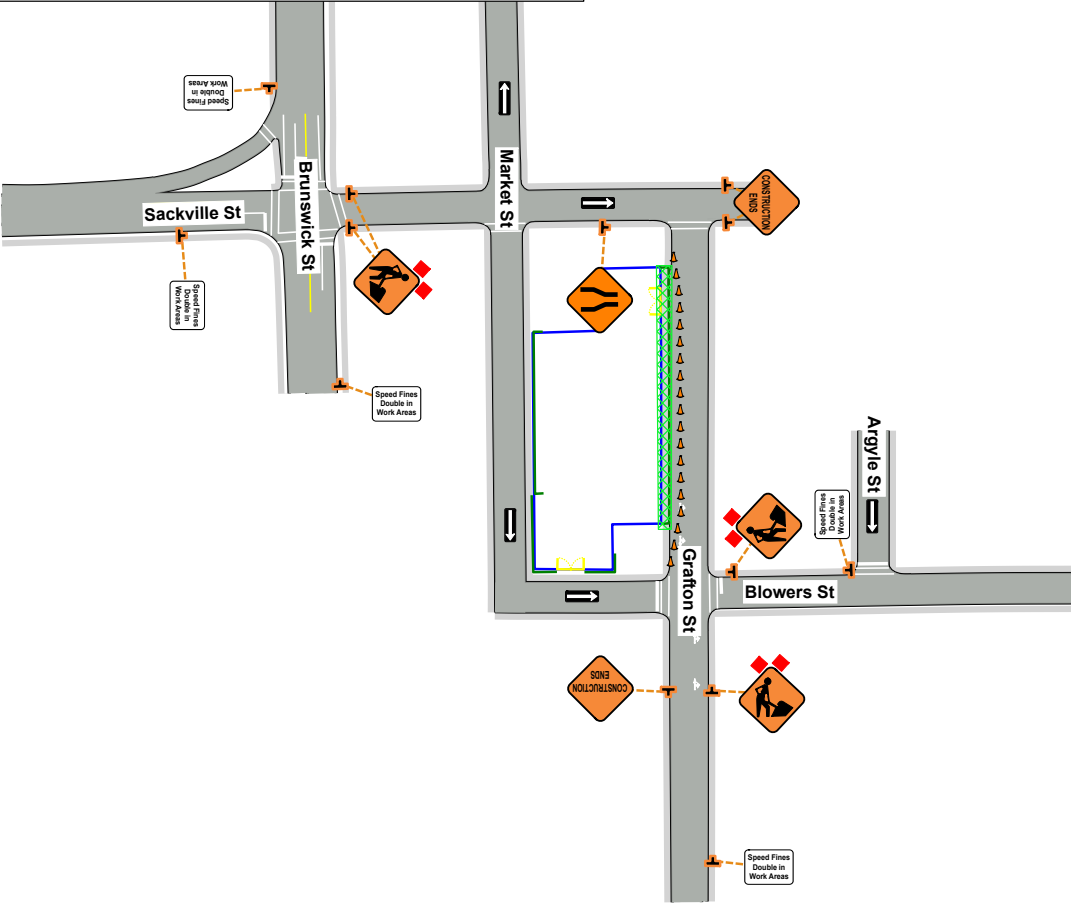
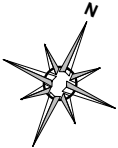
V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend	
	Cone
	Gate
	Site Fencing
	Work Area
	Work Site Perimeter

Fencing Installation and Removal Plan 2

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Fencing Installation and Removal Plan 2
See Pedestrian Management Plans for sidewalk closure details



V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

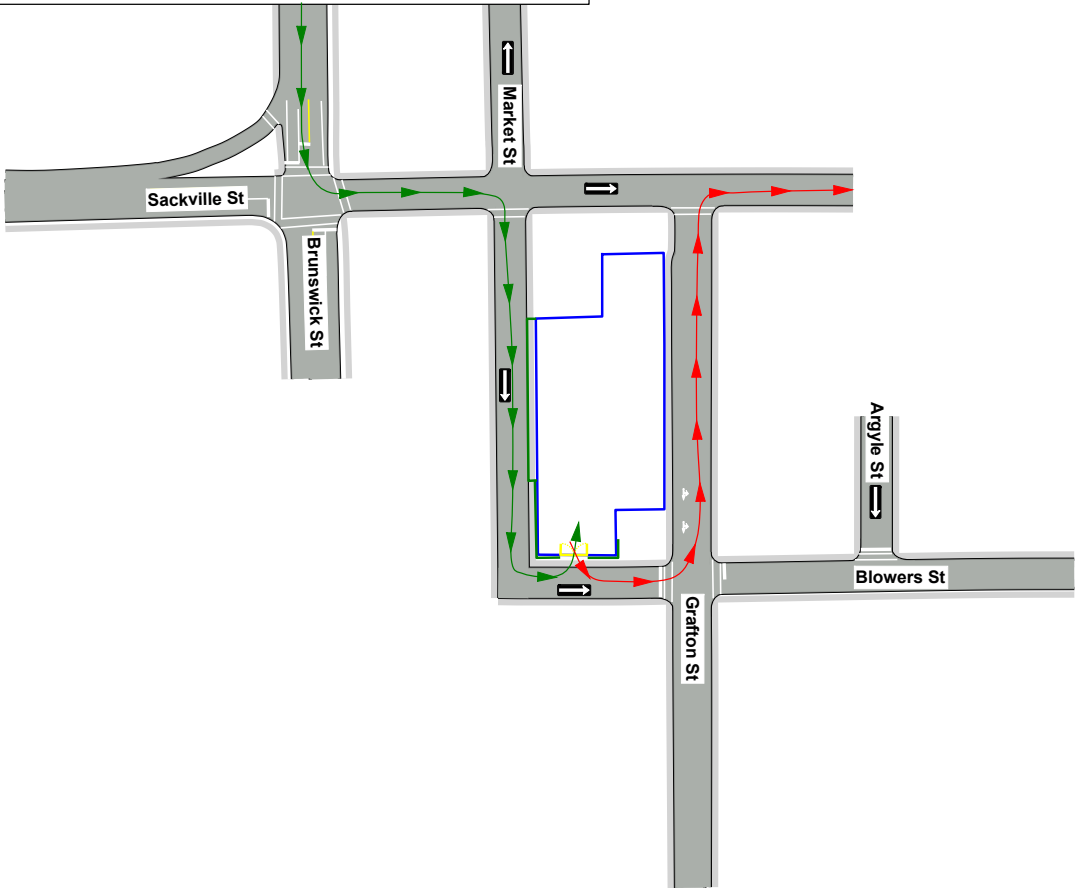
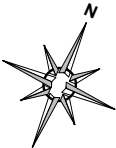
Legend	
	Cone
	Gate
	Site Fencing
	Work Area
	Work Site Perimeter

Appendix E – Haul Route Plan

Haul Route Plan 1

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Haul Route 1
Inbound via Barrington St to Upper Water St to Cogswell St to Brunswick St to Sackville St to Market St to Blowers St
Outbound via Blowers to Grafton St to Sackville St to Lower Water St to Barrington St



V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Legend

Gate

Pedestrian Route

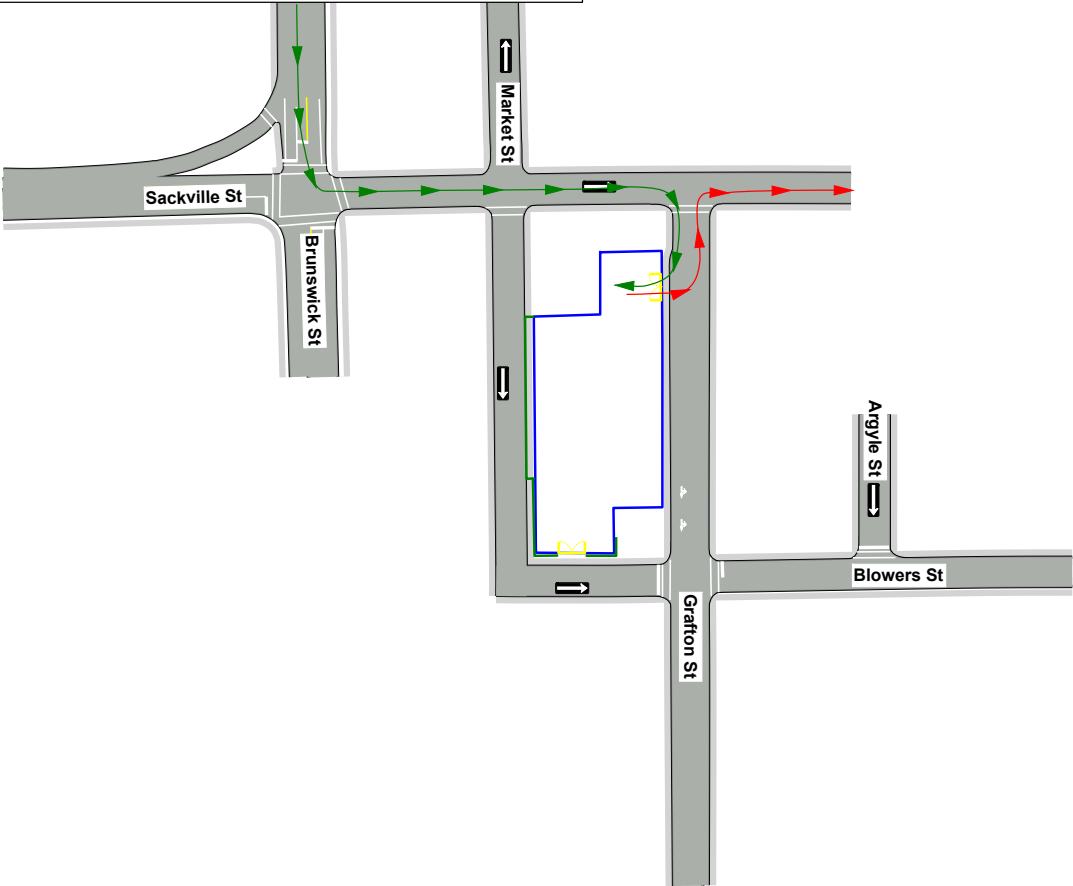
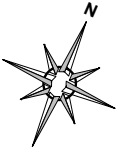
Site Fencing

Work Site Perimeter

Haul Route Plan 2

Date: 2021-01-18 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 1580 Grafton St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Haul Route 2
Inbound via Barrington St to Upper Water St to Cogswell St to Brunswick St to Sackville St to Grafton St
Outbound via Grafton St to Sackville St to Lower Water St to Barrington St

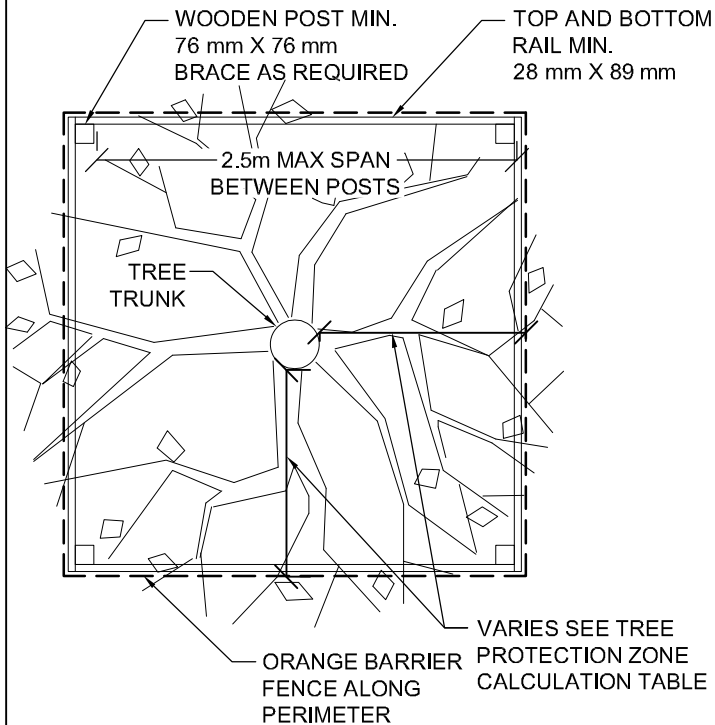


V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

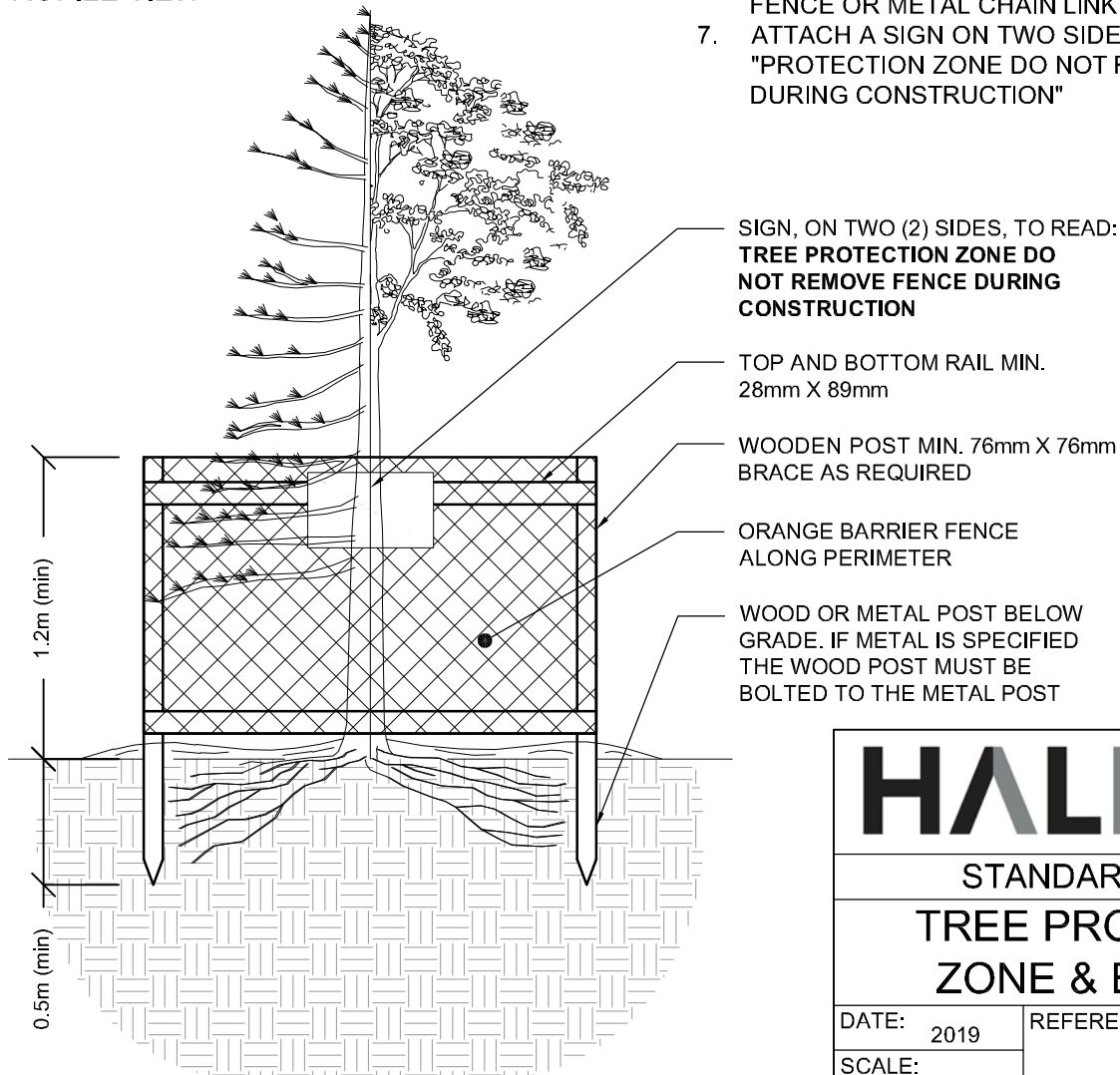
Legend	
	Gate
	Pedestrian Route
	Site Fencing
	Work Site Perimeter

Appendix F – HRM Tree Detail

PLAN VIEW



PROFILE VIEW



TREE PROTECTION ZONE CALCULATION TABLE

TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCE REQUIRED (MEASURE FROM THE OUTSIDE EDGE OF TREE TRUNK)
10 CM & UNDER	1.2 METERS
11 - 30 CM	2.0 METERS
31 - 40 CM	3.4 METERS
41 - 50 CM	4.6 METERS
51 - 60 CM	6.0 METERS
61 - 70 CM	7.0 METERS
71 - 80 CM	8.0 METERS
>80 CM	9.0 METERS

NOTES:

1. WOOD POST: (MIN. 76mm WIDTH) INSTALLED TO A DEPTH OF 500mm (UNDERGROUND LOCATES REQUIRED)
2. TOP AND BOTTOM RAIL: (MIN. 38 X 89mm CONSTRUCTION, MAX. SPAN 2.5m), CROSS BRACING AS REQUIRED.
3. HEIGHT OF THE FENCE: MIN.1.2 METERS
4. NO GROUND DISTURBANCE WITHIN 1.2 METER OF THE TREE TRUNK (I.E. POST INSTALLATION)
5. POSTS SET BACK FROM SIDEWALK AND CURB: MIN 300mm
6. FENCE MATERIAL: MINIMUM ORANGE BARRIER FENCE OR METAL CHAIN LINK FENCE
7. ATTACH A SIGN ON TWO SIDES OF THE TREE "PROTECTION ZONE DO NOT REMOVE FENCE DURING CONSTRUCTION"

HALIFAX

STANDARD DETAIL

TREE PROTECTION
ZONE & BARRIER

DATE: 2019

REFERENCE:

APPROVED

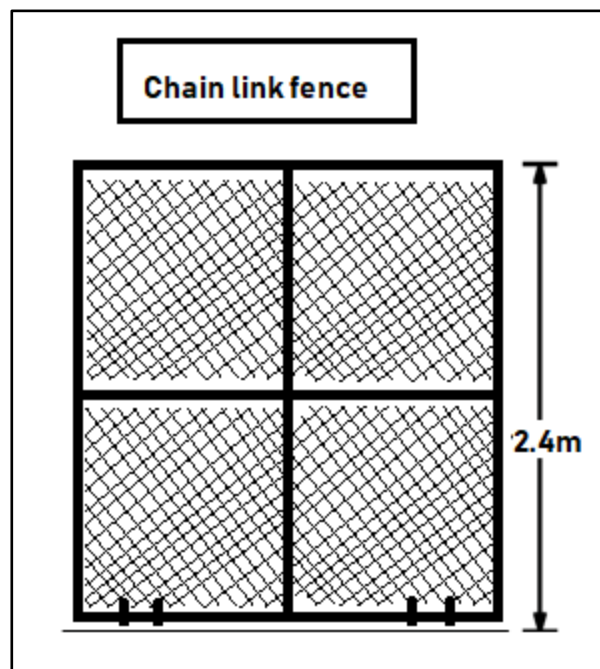
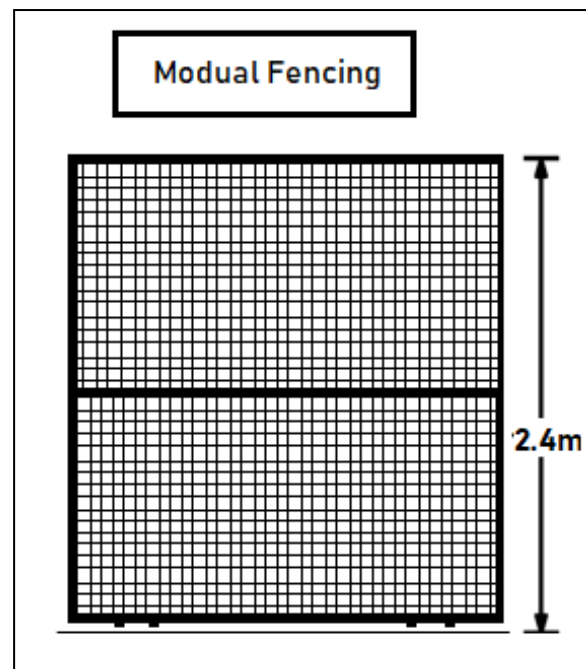
SCALE:

NTS

FIG NO:

Appendix G – Barrier, Fence & Gates Information

Sample Barrier & Fence Details



Appendix H – Hoarding Information

Opaque construction hoarding material shall covering and be adequately secured to the rigid fencing that outlines the encroachment area. This covering shall be continuous such that it prevents passersby or tourist from seeing through the fencing and gates to the active construction site.

UltraMesh® Eclipse® if a 7.96 oz. which is a polyester, black-backed mesh that is used where complete opacity is required.

UltraMesh Eclipse is UV printable for project renderings and is typically used for building and fence graphic wraps. The product is available in widths of 126" and 196".

Product example is shown below with the technical data sheet on the following page.



UltraMesh Eclipse is a 7.96 oz. polyester, black-backed mesh. The material is ideal for applications where complete opacity is required. UltraMesh Eclipse is UV printable and may be used for building wraps and fence graphics. Available in widths of 126 and 196.

Material Details

CHARACTERISTICS	TEST METHOD	METRIC	ENGLISH
Base Fabric	100% PES	1000D×1000D	
Construction		12×12	
Total Weight	DIN53352 BS3424 Method5A	270 +/- 20 gsm/m²	7.96 oz/yd²
Width		Up to 500cm	
Tensile Strength	DIN53352 BS3424	Warp 1250 n/5cm Weft 1100 n/5cm	142.75 x 130.19 lb/in
Tear Strength	DIN53356 BS3424	Warp 235 N Weft 225 N	52.8 x 50.5 lbf
Air Permeability	GB/T 2410-2008	2649 mm/s	
Light Transmission	GB/T 5453-1997	37%	
Temperature Resistance	DIN53357 BS3425 Method 10	-20°C /70°C	

Applications

	Back-lit	Banner	Billboard	Block-out	Building Wrap	Fence Graphics	Truckside
Applications		■		■	■	■	

Ink Printability

Solvent	Eco Solvent	UV	Latex	Screen Printing	Dye Transfer	Dye Direct
		■				

Available Sizes

Metric (m)	English (inches)
3.20, 5.00	126 , 196

The information on physical and chemical characteristics is based upon tests believed to be reliable. The values are intended only as a source of information. A legally binding guarantee of specific properties is not to be inferred from our specifications. They are given without guaranty and do not constitute a warranty. A weight variance of +1/-2 is acceptable. The purchaser should independently determine, prior to use, the suitability of this material for his/her specific purpose. (Data represents averages and is not intended for use as a specification.)

Appendix I – Project Information Board

PROPOSED DEMOLITION
1580 Grafton Street

January 15, 2021 – March 31, 2021

Owner:

Maxwell Properties Limited
1245 Barrington Street, Halifax, NS

24 Hour Emergency Contact:
Kris Skiba – (902) 830-0649

Contractor:

S. J Jollimore and Sons Excavation
79 Burkes Road, Shad Bay, NS, B3T 2B4

Contact:
Jeff Jollimore – 902-456-5124

Traffic Control:

Frontline Traffic Services
6 Belmont Avenue, P.O. Box 89, Eastern Passage, NS, B3G 1M7

Contact:
Phil Pruneau – (902) 818-5548

Rodent Control Company:

Rentokil Pest Control
51 Duke Street, Bedford, NS, B4A 2Z2

Contact:
902-835-2304

Appendix J – Project Safety Signage

**NO
TRESPASSING**



A large warning sign with a brown top section, a yellow middle section, and a grey bottom section. The top section features a black exclamation mark icon and the word "WARNING" in large black letters. The middle section features the words "CONSTRUCTION SITE" in large black letters. The bottom section features two blue circular icons on the left: a hard hat and a safety shoe. To the right of these icons, the text reads: "To reduce risk of injury," followed by a bulleted list: "• Hard Hat" and "• Safety Shoes", and finally "MUST be worn on this site." in large, bold letters.

WARNING

CONSTRUCTION SITE

To reduce risk of injury,

- Hard Hat
- Safety Shoes

MUST be worn on this site.

RESTRICTED
— AREA —

**CONSTRUCTION
WORK IN
PROGRESS**

Appendix K – Sample Traffic Notification Letter

**PROPOSED BUILDING DEMOLITION
1580 Grafton Street**

DRAFT NOTIFICATION LETTER

NOTIFICATION OF TRAFFIC DISRUPTION: Grafton Street, HALIFAX, NOVA SCOTIA

This is to inform you that the to facilitate operations in association with the Grafton Street demolition work, traffic disruptions will occur on or about **DATE** with an anticipated duration of approximately **TIME**. The street will be **reduced(?)** to one lane of vehicular traffic during this time.

Should you have any questions or concerns please feel free to contact the below:

CONTACT INFORMATION

General Contractor:

S. Jollimore & Sons Excavation Limited

79 Burkes Road

Shad Bay, NS

B3T 2B4

Phone: (902) 456-5124

Should any questions arise, please feel free to contact the undersigned.

Yours Truly,

Jeff Jollimore

S. Jollimore & Sons Excavation Limited

Appendix L – Vehicular and Pedestrian Hazard Assessment

Project Name:

Date:

Location:

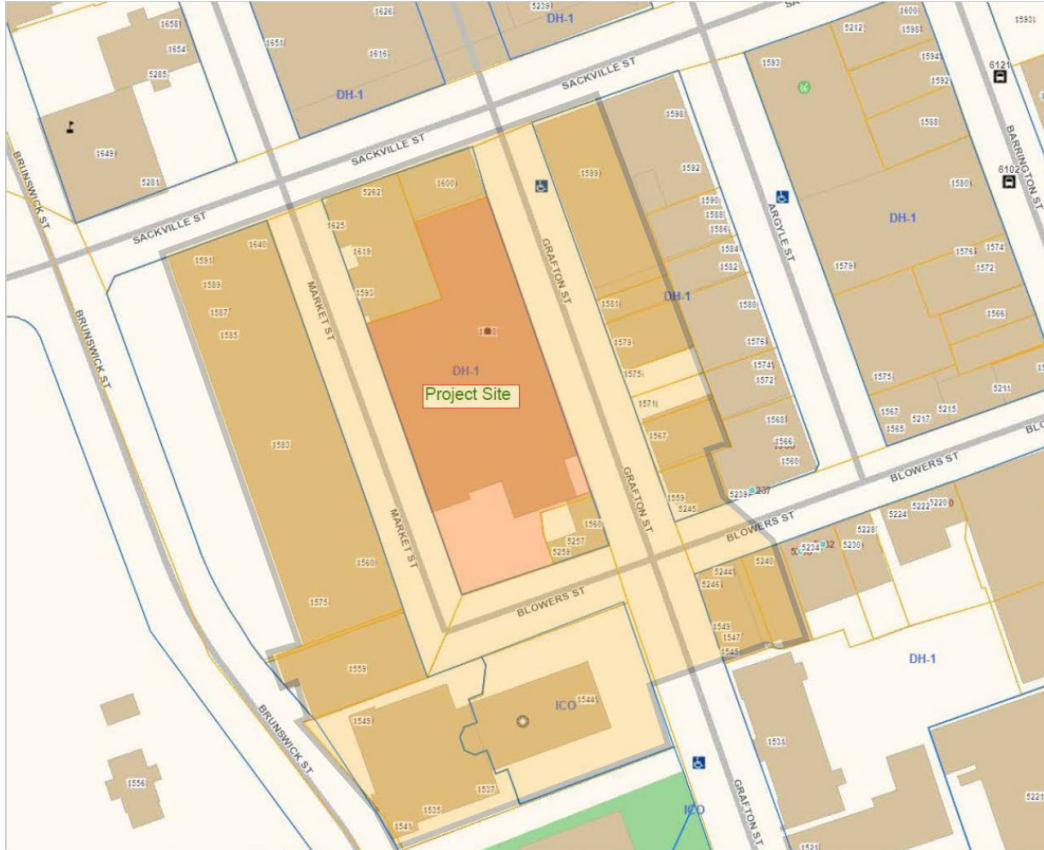
VEHICULAR & PEDESTRIAN HAZARD ASSESSMENT

No.	Hazard:	Vehicular Impacts:	Mitigation Methods:	Pedestrian Impacts:	Mitigation Methods:
1	Building Demolition	Debris may fall off building, damaging vehicles.	Spotters to be present to ensure vehicles temporarily do not park adjacent to site during front wall tear down.	Debris may fall off building, injuring pedestrians.	Temporarily close sidewalks adjacent to site, moving pedestrians to opposite side of street.
2	Construction Waste	Vehicles may strike or be struck by construction waste.	The contractor shall keep the project site and surrounding areas clean and free of construction debris.	Pedestrians may strike or be struck by construction waste.	The contractor shall keep the project site and surrounding areas clean and free of construction debris.
3	Vehicular & Pedestrian Activities	Drivers and pedestrians may become confused or impatient with construction activities. Pedestrians may walk in unmarked crosswalks or in vehicular travel areas. Drivers may fail to obey traffic signage.	Vehicular and pedestrian signage will be posted prominently around the project site to facilitate pedestrian movement. Notification will be sent prior to all traffic interruptions.	Drivers and pedestrians may become confused or impatient with construction activities. Pedestrians may walk in unmarked crosswalks or in vehicular travel areas. Drivers may fail to obey traffic signage.	Vehicular and pedestrian signage will be posted prominently around the project site to facilitate pedestrian movement. Notification will be sent prior to all traffic interruptions.
4	Heavy Machinery Operation	Heavy machinery or vehicles may break down or overturn, damaging other vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site. Rigid fencing will be installed to separate construction vehicles from public traffic.	Heavy machinery or vehicles may break down or overturn, injuring pedestrians.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery. Rigid fencing will be installed to separate construction vehicles from pedestrians.
		Heavy machinery or vehicles may overturn due to uneven terrain, damaging other vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site and ensure travel routes are kept flat.	Heavy machinery or vehicles may overturn due to uneven terrain, injuring pedestrians. Pedestrians may walk on uneven terrain causing them to twist their ankles or fall.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery and ensure travel routes are kept flat.
5	Construction Signage	Construction signage may strike vehicular traffic.	Construction signage will be securely fixed to existing poles, temporary concrete sign bases, or rigid fences.	Pedestrians may walk into construction signage, including traffic signage, pedestrian management plan renderings, wayfinding signs, etc. may.	Signage will be angled in line with pedestrian routes and/or be placed at heights such that they do not pose a risk to pedestrians.
				Construction signage may strike pedestrians.	Construction signage will be securely fixed to existing poles, temporary concrete sign bases, or rigid fences.
6	Reinstatement of Public Infrastructure & Service Installation	Heavy equipment and hot concrete used during public infrastructure reinstatement and service installation may cause damage to vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site.	Heavy equipment and hot concrete used during public infrastructure reinstatement may injure pedestrians.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery.

Appendix M – Community Consultation Records

COMMUNITY CONSULTATION MAP OVERVIEW

Project



Appendix N – Rodent Control Plan



Pre-Demo Bait Station - ●
Post-Demo Bait Station- ●

Rodent Control Plan
-
Prepared for Rentokil Atlantic
-
Rob Colwell
-
902-789-7368
-
51 Duke Street, Bedford, NS

The Maxwell's Plum
Temporarily closed

1580 Grafton St,
Halifax, NS B3J 2C2

The Stubborn
Goat Gastropub
Takeout • Delivery

Pizza Cor
Sicilian P
Takeout • D

Pizza Girls |
KATCH Seafood
Takeout • Delivery

Cambridge Suites
Hotel Halifax
4.2 ★ (926)
3-star hotel

Google

Imagery ©2021 Maxar Techn

Protecta® EVO **AMBUSH**™

PATENT PENDING



THE MOST ADVANCED LOW-PROFILE BAIT STATION

PRODUCT FEATURES:

- ▶ Single locking mechanism for quick servicing
- ▶ Removable tray for easy cleaning
- ▶ Locking bait rods won't fall out during cleaning
- ▶ Dog & child tamper-resistant
- ▶ Can hold:
 - 4 - 1 oz. bait BLOX on 4 vertical rods
 - or -
 - T-Rex™ rat trap or Mini-Rex™ mouse trap
- ▶ Compatible with Sidekick® Load-N-Lock™ system



PRODUCT

Protecta Evo Ambush

CODE

EA2000

DIMENSIONS (in)

8 1/2 x 10 1/4 x 4 1/4

CASE QTY

6 Stations



More Than Meets The Eye

Madison, Wisconsin 53704 USA | Ph: (608) 241-0202 | Fax: (608) 241-9631

www.belllabs.com

ALL-WEATHER
BLOX™



CONTRAC®
ALL-WEATHER BLOX™

KILLS RATS, MICE & MEADOW VOLES*

Kills Warfarin Resistant Norway Rats

KEEP OUT OF REACH OF CHILDREN

CAUTION

See back panels for First Aid and additional precautionary statements.

ACTIVE INGREDIENT:

Bromadiolone (CAS #28772-56-7): 0.005%

OTHER INGREDIENTS†: 99.995%

†Contains Denatonium Benzoate TOTAL 100.000%

*Not permitted for use against the following species in California: Cotton rat, Eastern harvest mouse, Golden mouse, Polynesian rat, Meadow vole, White-throated woodrat, Southern plains woodrat, and Mexican woodrat.

NET WT:
18 lbs (8.2 kg)

FIRST AID

HAVE LABEL WITH YOU WHEN OBTAINING TREATMENT ADVICE

IF SWALLOWED:

- Call a poison control center, doctor, or 1-877-854-2494, or 1-800-858-7378** immediately for treatment advice.
- Have person sip a glass of water if able to swallow.
- Do not induce vomiting unless told to do so by the poison control center or doctor.

IF ON SKIN OR CLOTHING:

- Take off contaminated clothing. Rinse skin immediately with plenty of water for 15–20 minutes.
- Call a poison control center or doctor for treatment advice.

IF IN EYES:

- Hold eye open and rinse slowly and gently with water for 15–20 minutes.
- Remove contact lenses, if present, after the first 5 minutes, then continue rinsing eye.
- Call a poison control center, doctor, or 1-877-854-2494 immediately for treatment advice.

** Also call this number for information on health concerns and pesticide incidents.

NOTE TO PHYSICIAN

If swallowed or absorbed through the skin, this material may reduce the clotting ability of the blood and cause bleeding. If ingested, administer Vitamin K₁ intramuscularly or orally. Repeat as necessary based on monitoring of prothrombin times.

TREATMENT FOR PET POISONING

If animal eats bait, call veterinarian at once.

NOTE TO VETERINARIAN

Anticoagulant Bromadiolone: For animals ingesting bait and/or showing poisoning signs (bleeding or elevated prothrombin times), give Vitamin K₁. If needed, check prothrombin times every 3 days until values return to normal (up to 30 days). In severe cases, blood transfusions may be needed.

DIRECTIONS FOR USE

It is a violation of Federal law to use this product in a manner inconsistent with its labeling.

READ THIS LABEL: Read this entire label and follow all use directions and use precautions. Use only for sites, pests, and application methods described on this label.

IMPORTANT: Do not expose children, pets, or nontarget animals to rodenticides. To help to prevent exposure:

1. Store unused product out of reach of children and pets.
2. Apply bait in locations out of reach of children, pets, domestic animals and nontarget wildlife, or in tamper-resistant bait stations. These stations must be resistant to destruction by dogs and by children under six years of age, and must be used in a manner that prevents such children from reaching into bait compartments and obtaining bait. If bait can be shaken from bait stations when they are lifted, units must be secured or otherwise immobilized. Stronger bait stations are needed in areas open to hoofed livestock, raccoons, bears, or other potentially destructive animals, or in areas prone to vandalism.
3. Dispose of product container and unused, spoiled, or unconsumed bait as specified on this label.

Bait stations are mandatory for outdoor, above-ground use. Tamper-resistant bait stations must be used wherever children, pets, non-target mammals, or birds may have access to the bait placement location.

USE RESTRICTIONS: This product may only be used to control the following rodent pests in and around man-made structures: House mouse (*Mus musculus*), Norway rat (*Rattus norvegicus*), Roof rat (*Rattus rattus*), Cotton mouse (*Peromyscus gossypinus*), Cotton rat (*Sigmodon hispidus*), Deer mouse (*Peromyscus maniculatus*), Eastern harvest mouse* (*Reithrodontomys humilis*), Golden mouse* (*Ochrotomys nuttalli*), Polynesian rat* (*Rattus exulans*), Meadow vole* (*Microtus pennsylvanicus*), White-footed mouse (*Peromyscus leucopus*), White-throated woodrat* (*Neotoma albigula*), Southern plains woodrat* (*Neotoma micropus*), and Mexican woodrat* (*Neotoma mexicana*). This product must be used in and within 100 feet of man-made structures constructed in a manner so as to be vulnerable to commensal rodent invasions and/or to harboring or attracting rodent infestations. Examples of such structures include homes and other permanent or temporary residences, food processing facilities, industrial and commercial buildings, trash receptacles, agricultural and public buildings, transport vehicles (ships, trains, aircraft), docks and port or terminal buildings and related structures around and associated with these sites. Fence and perimeter baiting, beyond 100 feet from a structure as defined above, is prohibited. This product must not be applied directly to food or feed crops.

CONTRAC®

ALL-WEATHER BLOX™

KILLS RATS, MICE, AND MEADOW VOLES*

Kills Warfarin Resistant Norway Rats

Norway rats, roof rats, and house mice may consume a lethal dose in one night's feeding with first dead rodents appearing four or five days after feeding begins.

ACTIVE INGREDIENT:

Bromadiolone (CAS #28772-56-7): 0.005%

OTHER INGREDIENTS: 99.995%

†Contains Denatonium Benzoate TOTAL 100.000%

KEEP OUT OF REACH OF CHILDREN CAUTION

See side panels for First Aid and additional precautionary statements.

STORAGE AND DISPOSAL

Do not contaminate water, food or feed by storage or disposal.

Pesticide Storage: Store only in original container in a cool, dry place inaccessible to children and pets. Keep containers closed and away from other chemicals.

Pesticide Disposal: Wastes resulting from the use of this product may be placed in trash or delivered to an approved waste disposal facility.

Container Handling: Nonrefillable container. Do not reuse or refill this container. [Plastic:] Offer for recycling or reconditioning; or puncture and dispose of in a sanitary landfill; or by incineration. In most states, burning is not allowed.

WARRANTY: To the extent consistent with applicable law, seller makes no warranty, expressed or implied, concerning the use of this product other than indicated on the label. Buyer assumes all risk of use and/or handling of this material when such use and/or handling is contrary to label instructions.

NET WEIGHT: 18 lbs (8.2 kg)

EPA REG. NO. 12455-79

EPA EST. NO. 12455-WI-1

Manufactured by:

Bell
LABORATORIES, INC.
3699 Kinsman Blvd.
Madison, WI 53704 U.S.A.
www.belllabs.com
MADE IN USA

DIRECTIONS FOR USE (Continued from other panel)

Burrow baiting with Contrac All-Weather Blox is prohibited.

Do not place near or inside ventilation duct openings. Do not contaminate water, food, feedstuffs, food or feed handling equipment, or milk or meat handling equipment or surfaces that come into direct contact with food. When used in USDA inspected facilities, this product must be applied in tamper-resistant bait stations. Do not broadcast bait. Do not use this product in sewers.

Do not sell this product in individual containers holding less than 16 pounds of bait.

SELECTION OF TREATMENT AREAS: Determine areas where rats, mice, or meadow voles* will most likely find and consume the bait. Generally, these areas are along walls, by gnawed openings, in corners and concealed places, between floors and walls, or in locations where rats, mice, or meadow voles*, or their signs have been seen. Protect bait from rain and snow. Remove as much alternative food as possible.

APPLICATION DIRECTIONS:

RATS: Place 3 to 16 bait blocks (at intervals of 15 to 30 feet) per placement in infested areas. Maintain an uninterrupted supply of fresh bait for at least 10 days or until signs of rat activity cease.

MICE AND MEADOW VOLES*: Place 1 block per placement. Space placements at 8- to 12-foot intervals in infested areas. Two blocks may be needed at points of very high activity. Maintain an uninterrupted supply of fresh bait for at least 15 days or until signs of mouse or meadow vole* activity cease.

FOLLOW-UP: Replace contaminated or spoiled bait immediately. Wearing gloves, collect and dispose of all dead, exposed animals and leftover bait. To prevent reinfestation, limit sources of rodent food, water, and harborage as much as possible. If reinfestation does occur, repeat treatment. Where a continuous source of infestation is present, establish permanent bait stations and replenish as needed.

PRECAUTIONARY STATEMENTS

HAZARDS TO HUMANS AND DOMESTIC ANIMALS

CAUTION: Harmful if swallowed or absorbed through the skin. Keep away from children, domestic animals and pets. Do not get in eyes, on skin or on clothing.

All handlers (including applicators) must wear: shoes plus socks, and waterproof gloves. Any person who retrieves carcasses or unused bait following application of this product must wear gloves.

User Safety Requirements

Follow manufacturer's instruction for cleaning/maintaining PPE. If no such instructions for washables, use detergent and hot water. Keep and wash PPE separately from other laundry. Remove PPE immediately after handling this product. Wash the outside of gloves before removing. As soon as possible, wash hands thoroughly after applying bait and before eating, drinking, chewing gum, using tobacco or using the toilet and change into clean clothing.

ENVIRONMENTAL HAZARDS

This product is extremely toxic to fish, birds and other wildlife. Dogs and predatory and scavenging mammals and birds might be poisoned if they feed upon animals that have eaten this bait. Do not apply this product directly to water or to areas where surface water is present or to intertidal areas below the mean high water mark. Runoff also may be hazardous to aquatic organisms in water adjacent to treated areas. Do not contaminate water when disposing of equipment wash water or rinsate.

*Not permitted for use against the following species in California: Cotton rat, Eastern harvest mouse, Golden mouse, Polynesian rat, Meadow vole, White-throated woodrat, Southern plains woodrat, and Mexican woodrat.





DETEX[®] BLOX with LUMITRACK

SAFETY DATA SHEET

ACCORDING TO REGULATION: OSHA
Hazard Communication Standard 29 CFR 1910.1200

DATE OF ISSUE:
January 2016

PREPARED BY:
CAR

SECTION 1. PRODUCT AND COMPANY IDENTIFICATION

Product Identifier: DETEX[®] BLOX with LUMITRACK

EPA Registration Number: NA

Relevant identified uses of the substance or mixture and uses advised against

Relevant identified uses: Activity Monitoring - Ready to use

Uses advised against: Use only for the purpose described above

MANUFACTURER/SUPPLIER:

Bell Laboratories, Inc.

3699 Kinsman Blvd.

Madison, WI 53704, USA

Email: sds@belllabs.com

Phone: 608-241-0202

Medical or Vet Emergency: 877-854-2494 or 952-852-4636

Spill or Transportation Emergency: 800-424-9300 (CHEMTREC)

SECTION 2. HAZARDS IDENTIFICATION

Classification according to Regulation OSHA 1910.1200(d): Not classified

Signal Word: None

See Section 15 for information on FIFRA applicable safety, health, and environmental classifications.

SECTION 3. COMPOSITION/INFORMATION ON INGREDIENTS

Component	CAS No.	% By weight
Inert and Non-Hazardous Ingredients (Unlisted components are non-hazardous)	Proprietary	100.00%

SECTION 4. FIRST AID MEASURES

Description of first aid measures

Ingestion: Non-Toxic

Inhalation: Not applicable.

Eye contact: Non-Toxic

Skin contact: Non-Toxic

Most important symptoms and effects, both acute and delayed

Non-Toxic

Advice to physician: Non-Toxic

Advice to Veterinarian: Non-Toxic

SECTION 5. FIRE-FIGHTING MEASURES

Extinguishing media

Suitable Extinguishing Media: water, foam or inert gas.

Unsuitable Extinguishing Media: None known.

Special hazards arising from the mixture: High temperature decomposition or burning in air can result in the formation of toxic gases, which may include carbon monoxide.

Advice for firefighters: Wear protective clothing and self-contained breathing apparatus.

SECTION 6. ACCIDENTAL RELEASE MEASURES

Personal precautions, protective equipment and emergency procedures: None. Non-Toxic

Environmental precautions: None. Non-Toxic

Methods and materials for containment and cleaning up

For Containment: None. Non-Toxic

For Cleaning Up: None. Non-Toxic

Reference to other sections: Refer to Sections 7, 8 & 13 for further details of personal precautions, personal protective equipment and disposal considerations.

SECTION 7. HANDLING AND STORAGE

Precautions for safe handling: Do not use near heat sources, open flame, or hot surfaces. Non-Toxic.

Conditions for safe storage, including any incompatibilities: None. Non-Toxic

SECTION 8. EXPOSURE CONTROLS/PERSONAL PROTECTION

Established Limits

Component	OSHA	ACGIH	Other Limits
None	Not Established	Not Established	Not Established

Appropriate Engineering Controls: None. Non-Toxic

Occupational exposure limits: None. Non-Toxic

Personal Protective Equipment:

Respiratory protection: Not required

Eye protection: Not required

Skin protection: None. Non-Toxic

Hygiene recommendations: None. Non-Toxic

SECTION 9. PHYSICAL AND CHEMICAL PROPERTIES

Information on basic physical and chemical properties

Appearance/Color:	Tan wax block
Odor:	Sweet grain-like
Odor Threshold:	Not applicable, odor not associated with a hazardous material.
pH:	Not applicable, is not dispersible with water.
Melting point:	Not applicable
Boiling point:	Not applicable
Flash point:	Not applicable, does not contain components classified as flammable.
Evaporation rate:	Not applicable, is a solid.
Flammability:	Not applicable, is a solid.
Upper/lower flammability or explosive limits:	Not applicable, does not contain components classified as flammable or explosive.
Vapor Pressure:	Not applicable
Vapor Density:	Not applicable, is a solid
Relative Density:	1.13 g/mL @ 20°C
Solubility (water):	Not water soluble
Solubility (solvents):	Not applicable
Partition coefficient: n-octanol/water:	Not applicable
Auto-ignition temperature:	Not applicable, does not contain components classified as flammable.
Decomposition temperature:	Not applicable
Viscosity:	Not applicable, is not a liquid.

SECTION 10. STABILITY AND REACTIVITY

Reactivity: Not Applicable

Chemical stability: Not Applicable

Possibility of hazardous reactions: Refer to Hazardous decomposition products

Conditions to avoid: Avoid extreme temperatures (below 0°C or above 40°C).

Incompatible materials: Not Applicable

Hazardous decomposition products: Not Applicable

SECTION 11. TOXICOLOGICAL INFORMATION

Information on toxicological effects

Acute Toxicity

LD50, oral (ingestion): Not Toxic

LD50, dermal (skin contact): Not Toxic

LC50, inhalation: Not Toxic

Skin corrosion/irritation: Not Toxic

Serious eye damage/Irritation: Not Toxic.

Respiratory or skin sensitization: Not Toxic

Germ cell mutagenicity: Not Toxic

Carcinogenicity: Not Toxic

Components	NTP	IARC	OSHA
None	NA	NA	NA

Reproductive Toxicity: Not Toxic
Aspiration Hazard: Not Toxic
Target Organ Effects: Not Toxic

SECTION 12. ECOLOGICAL INFORMATION

Ecotoxicity Effects: Not Toxic
Persistence and degradability: Not Toxic
Bioaccumulative potential: Not Toxic
Mobility in Soil: Not Toxic.
Other adverse effects: None.

SECTION 13. DISPOSAL CONSIDERATIONS

Disposal: Wastes resulting from the use of this product may be placed in trash, on-site, or at an approved waste disposal facility. Dispose of all wastes in accordance with all Federal, state and local regulations.

SECTION 14. TRANSPORT INFORMATION

UN number: Not regulated
UN proper shipping name: Not regulated
Transport hazard class(es): Not regulated
Packing group : Not regulated
Environmental Hazards
DOT Road/Rail: Not considered hazardous for transportation via road/rail.
DOT Maritime: Not considered hazardous for transportation by vessel.
DOT Air: Not considered hazardous for transportation by air.
Freight Classification: LTL Class 60
Transport in bulk according to Annex II of MARPOL 73/78 and the IBC code: Not applicable
Special precautions for user: None

SECTION 15. REGULATORY INFORMATION

Safety, health and environmental regulations/legislation specific for the substance or mixture: Not applicable
Signal Word: None
Precautionary Statements: None
Potential Health Effects:
Eye Contact: May cause irritation
Skin Contact: Non-irritating to the skin
Ingestion: Not harmful if swallowed

TSCA: All components are listed on the TSCA Inventory or are not subject to TSCA requirements
CERCLA/SARA 313: Not Toxic
CERCLA/SARA 302: Not Toxic

SECTION 16. OTHER INFORMATION

For additional information, please contact the manufacturer noted in Section 1.

NFPA	Health: 0 (Not Toxic)	Flammability: 1 (slight)	Reactivity: 0 (stable)	Specific Hazard: None
HMIS	Health: 0 (Not Toxic)	Flammability: 1 (slight)	Reactivity: 0 (minimal)	Protective Equipment: None

Disclaimer: The information provided in this Safety Data Sheet has been obtained from sources believed to be reliable. Bell Laboratories, Inc. provides no warranties; either expressed or implied, and assumes no responsibility for the accuracy or completeness of the data contained herein. This information is offered for your consideration and investigation. The user is responsible to ensure that they have all current data, including the approved product label, relevant to their particular use.

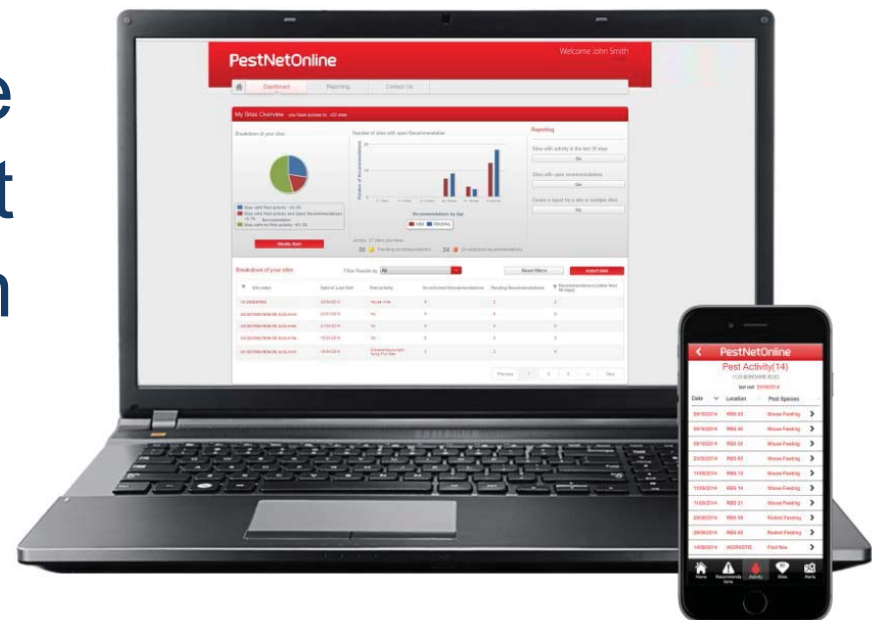
Rentokil

Ehrlich | Western | Presto-X
Your Local Pest Control Experts

PestNetOnline

The complete online
pest management
and reporting solution

Randy Hobbs
Account Executive



What is PestNetOnline?

Online reporting and analysis of all pest activity

- Intuitive and easy to use
- Complete visibility to minimize risks
- Increased efficiency with information at your fingertips
- Minimize exposure with all your pest control records and data in one place
- Stay in control with a smartphone app



Who is PestNetOnline for?

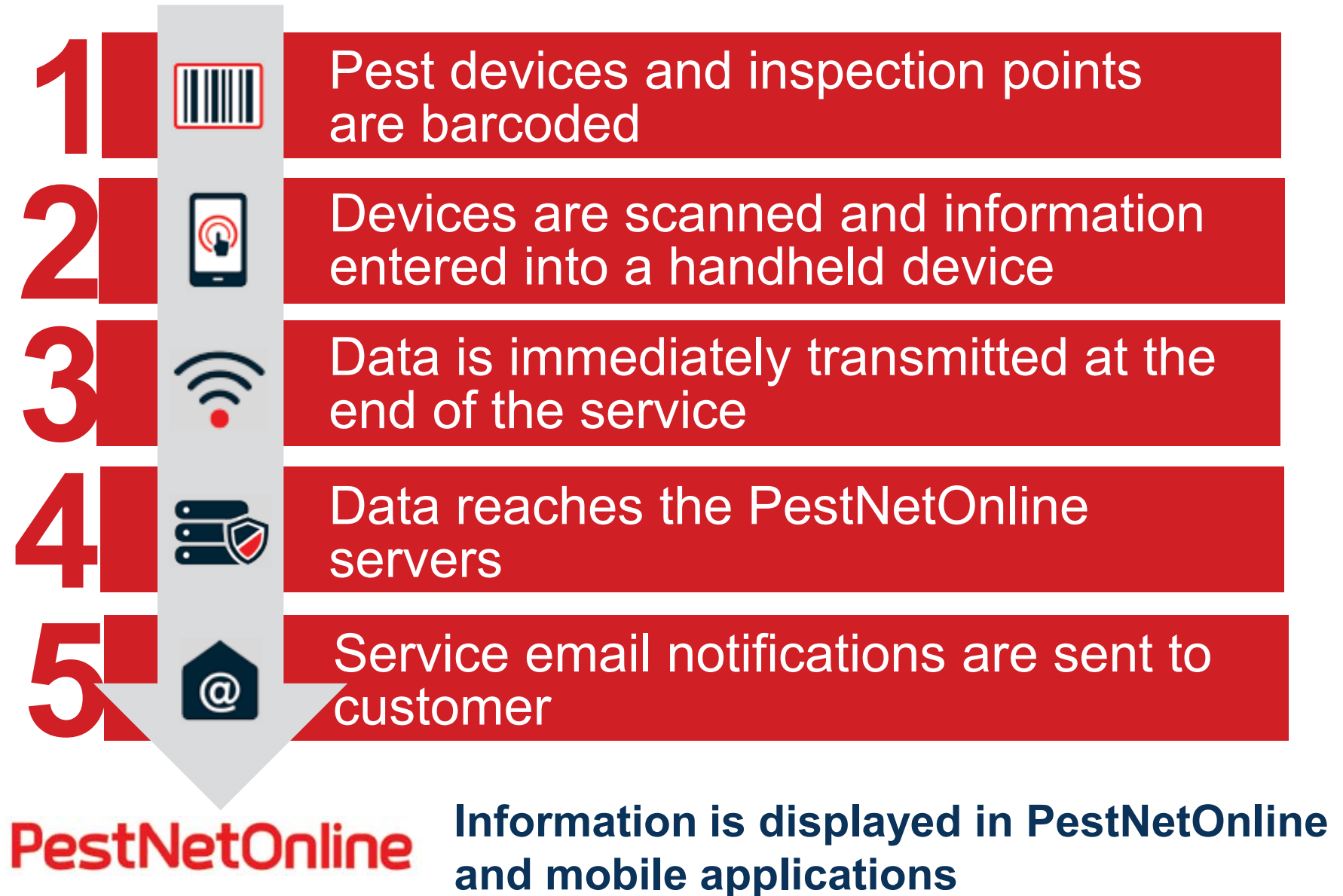
For Food and Beverage, Pharmaceutical, Logistics, Healthcare, Commercial/Residential Property, and Retail... any business that needs online pest management and reporting

Offering:

- Personalized Dashboard
- Multiple and Single Site Locations
- Trend Analysis
- Detailed Service Reports
- Recommendation System
- Interactive Site Maps
- Documentation Availability
- Material Usage Reports
- Proof of Service



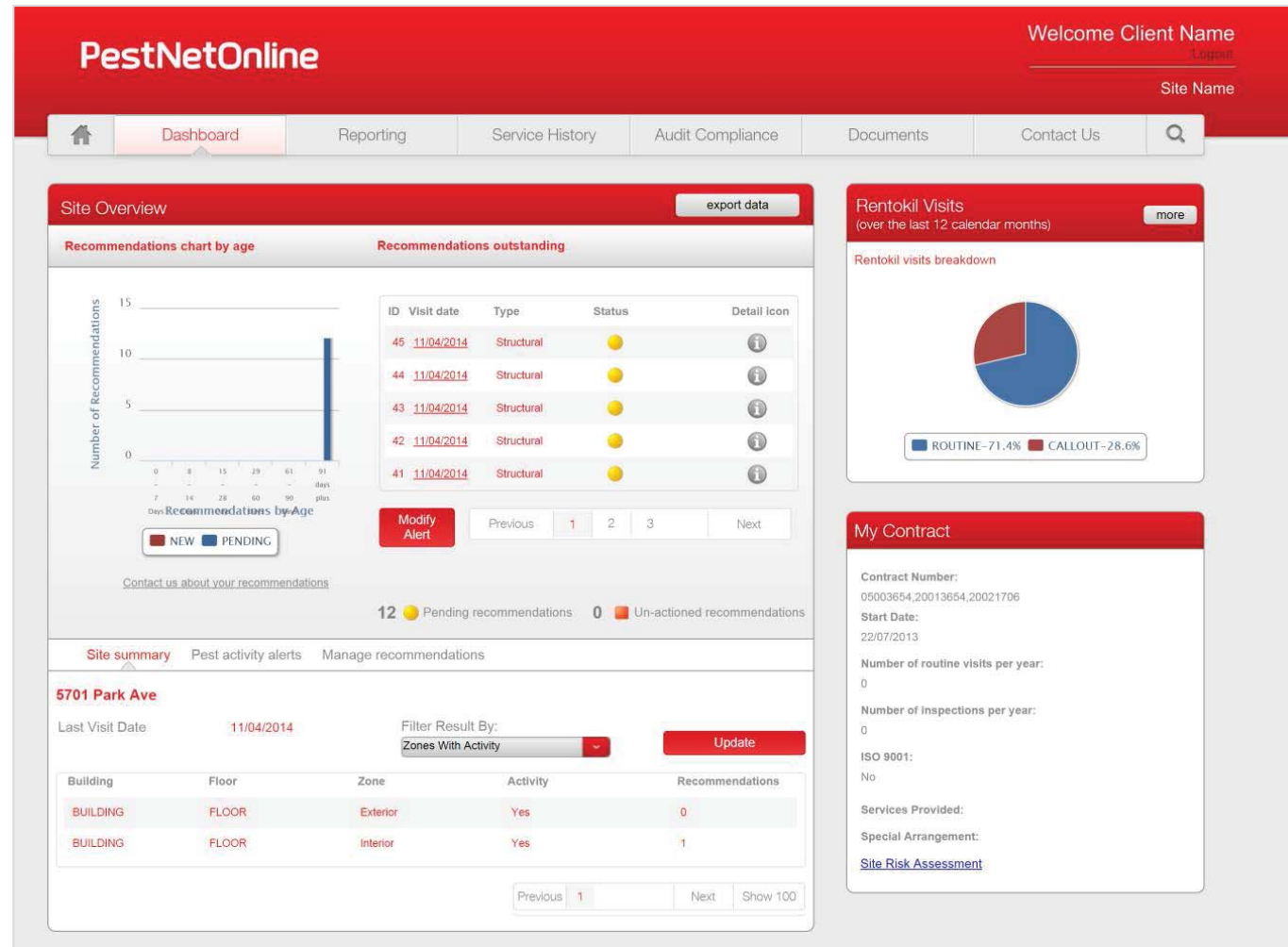
How PestNetOnline works...



PestNetOnline

Single site locations

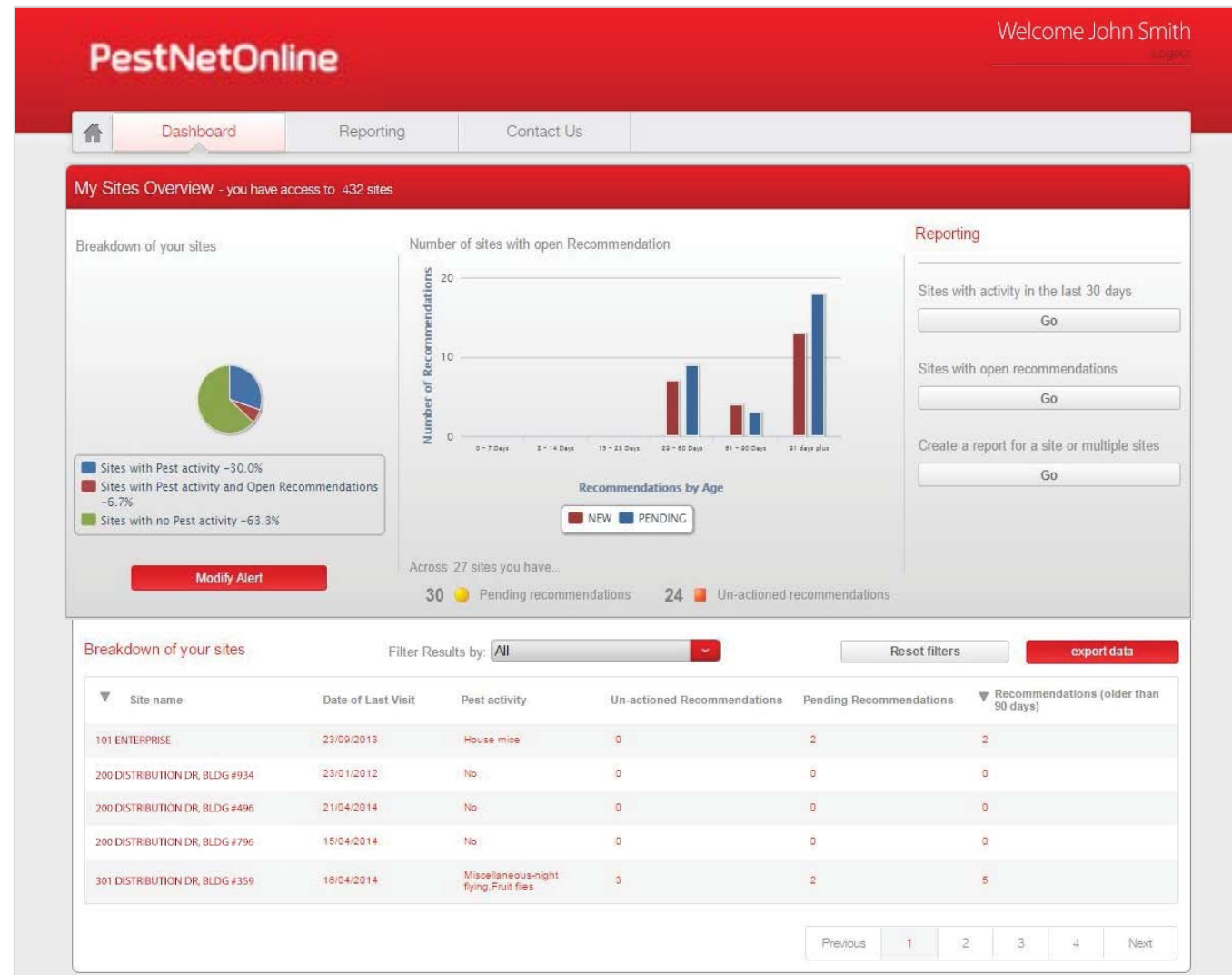
- Provides a comprehensive review of all visit details
- Pest Activity and Recommendation charts summarizing at a high level all issues
- Visit Filters allowing you to quickly locate series of visit and types of visits
- Review and reprint any Proof of Service
- Navigation tabs take you directly to Tasks, Recommendations, Pest Activity and Material Usage detail screen – quickly and easily



PestNetOnline

For multi site locations

- A dashboard that summarizes all activity
- My Sites allows you to see an overview of your locations
- Navigation shortcuts allowing you to quickly and effortlessly research visit activity
- Link to all related information
- Export data for custom analysis



PestNetOnline

The screenshot displays the PestNetOnline web application interface. At the top, a red header bar contains the 'PestNetOnline' logo on the left and a 'Welcome Client Name' message on the right. Below the header is a navigation bar with links for 'Dashboard', 'Reporting' (which is highlighted), and 'Contact Us'. A search icon is also present on the right side of the navigation bar.

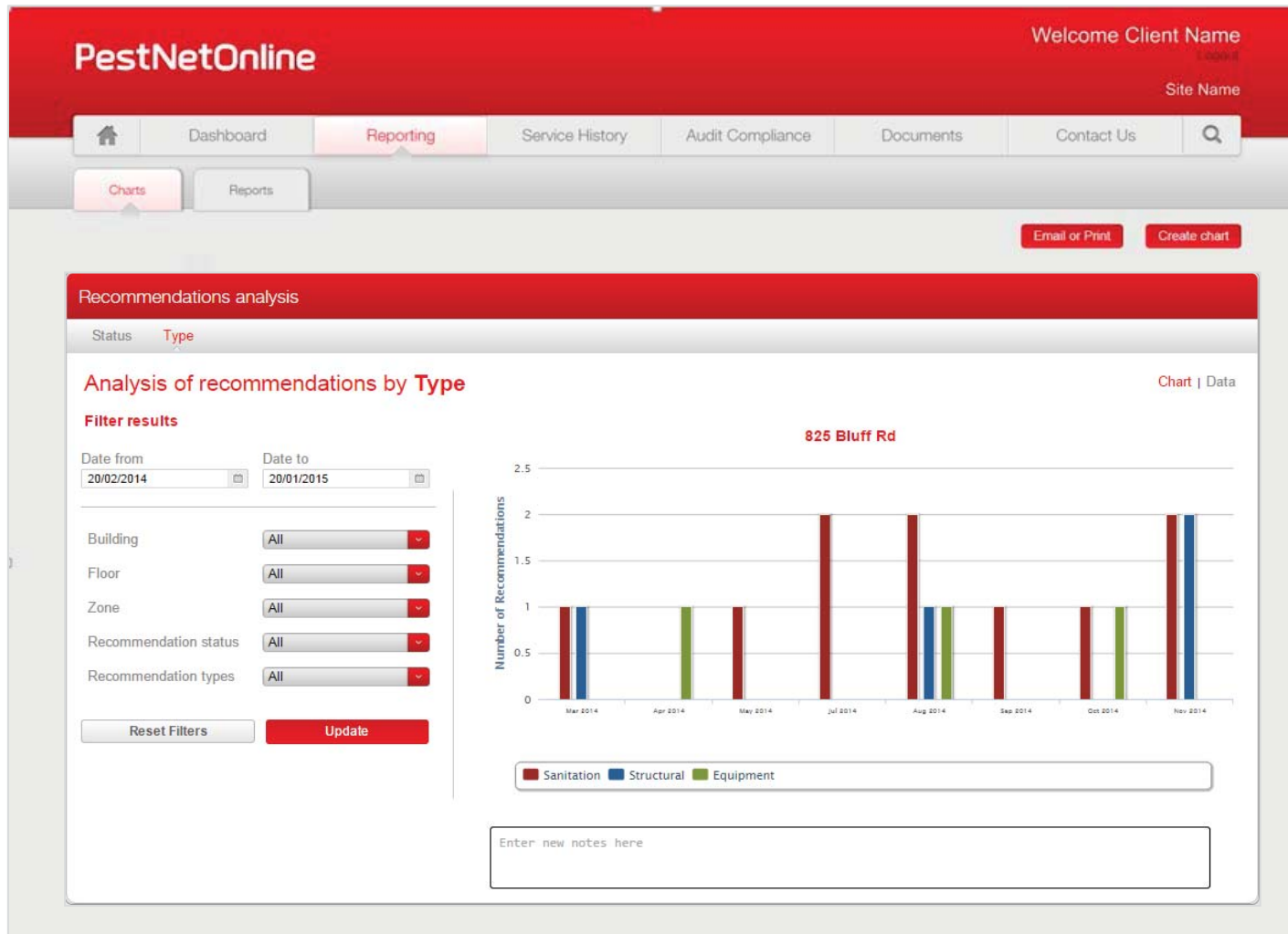
The main content area is divided into two sections. On the left, under the heading 'Existing reports', is a large form titled 'Create a new report'. This form includes a text input field for 'Please enter a report title...' with 'Pest Activity' entered. Below this is a section titled '1) Select report type and location'. It contains several options: 'Type of report' with radio buttons for 'All', 'Pest activity' (selected), 'Recommendations', and 'Preparations'; 'What format should the report be' with radio buttons for 'Excel' (selected) and 'pdf'; 'Where would you like this report emailed to?' with the email address 'john.pfeffer@rentokil.com'; 'When would you like the report to run?' with radio buttons for 'One Off' (selected) and 'Scheduled'; 'What site locations would you link to report on?' with radio buttons for 'All' (selected), 'Internal', and 'External'; and 'Which sites would you like to report on?' with a list of two sites: 'PestNetOnline Demo Account (E) (High Dependency)' and 'PestNetOnline Demo Account (A) (Commercial)', both of which have green checkmarks next to them. A 'continue' button with a right arrow is at the bottom of the form.

On the right side of the main content area, under the heading 'Create new', there are two buttons: 'Pest activity, recommendations and preparations report' and 'Visits and tasks report'.

Analysis and reports

- Provides quick, ad-hoc snapshot analysis reporting on all pest and device type activity
- Reports can be created to document Pest Activity, Recommendations, Visit Performance, Task Performance and Material Usage
- Reports are distributed to you via email
- Can be created and ran once, or proactively scheduled on a Daily, Week, Monthly or Quarterly based upon your needs
- Many options available to customize a snapshot view of Pest Activity

PestNetOnline



- Options to review an entire worksite, or specific Buildings / Floor / Zones within your worksite
- Feature rich with multiple date range options
- Provides quick, ad-hoc snapshot analysis on all pest activity
- Add commentary to charts

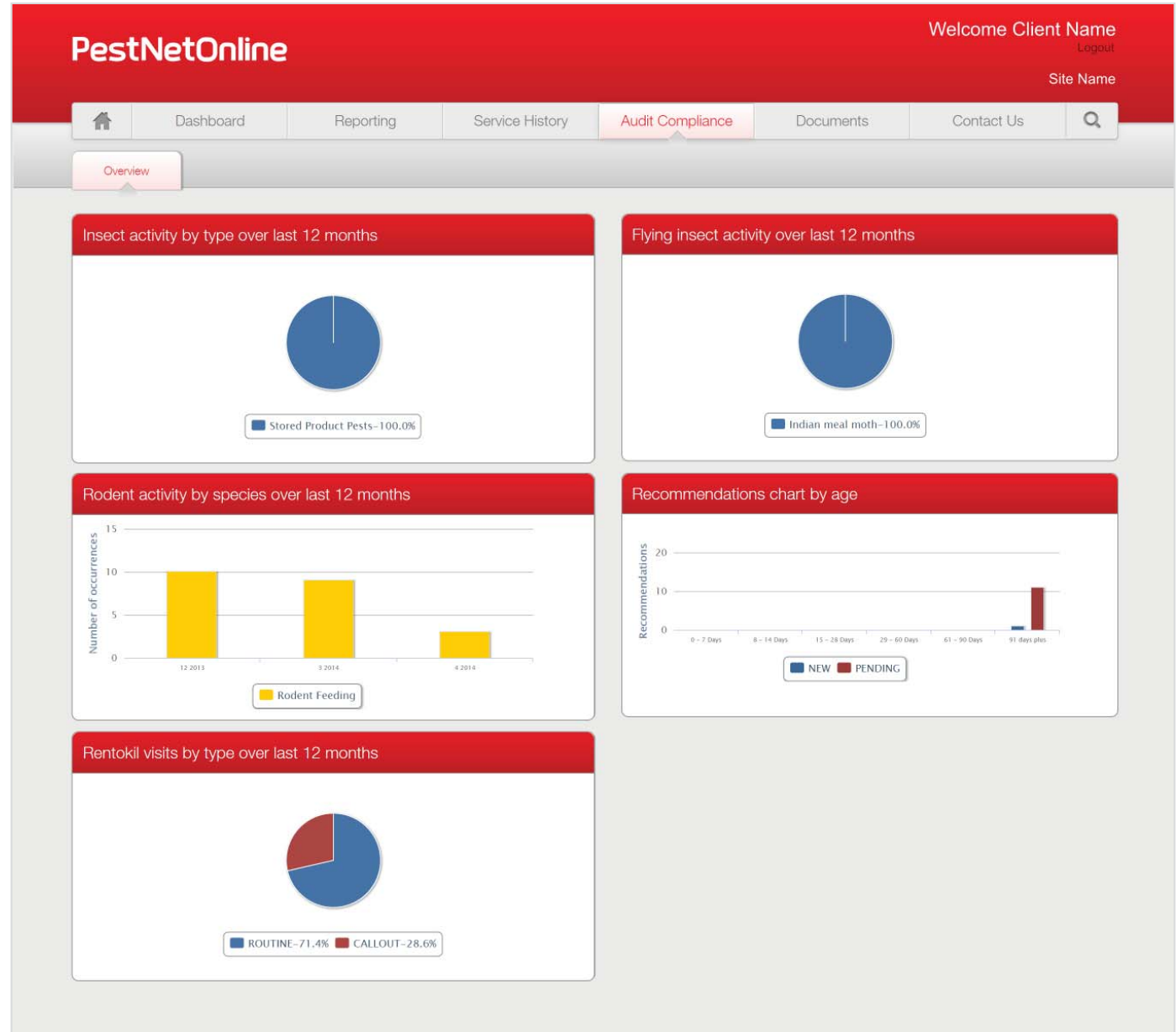
Rentokil

Ehrlich | Western | Presto-X
Your Local Pest Control Experts

PestNetOnline

For high dependency customers

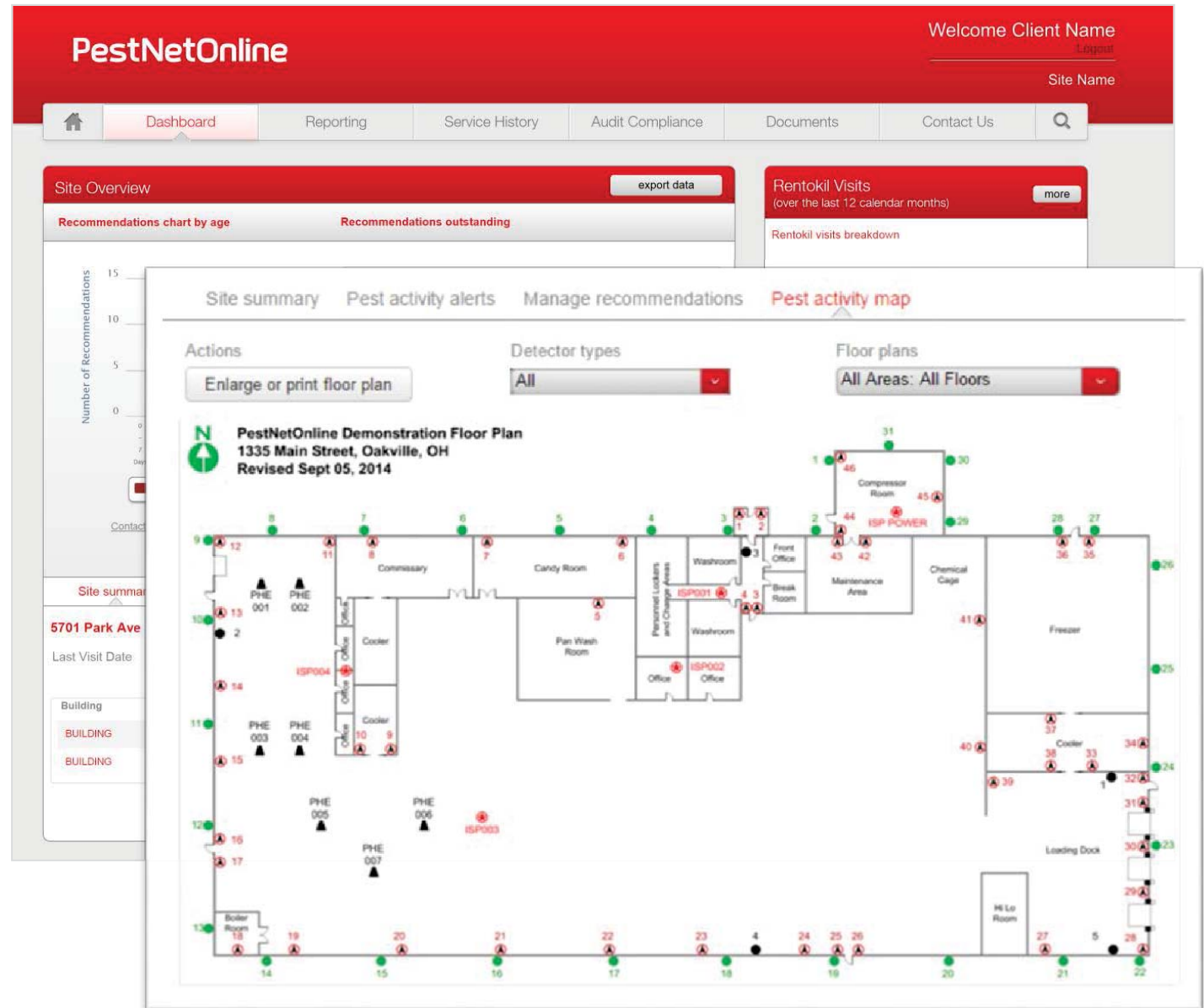
- A dedicated Audit Checklist page
- For AIB, BRC, and other 3rd Party Auditors, a single page that brings together all necessary visit details and links to related information



PestNetOnline

Site plans for high dependency and commercial customers

- Provide a interactive, graphic representation of device location
- Filters allow you to locate specific types (Mechanical Rodent Traps, Pheromone, etc.) quickly and easily
- Site Maps may also be printed if desired



PestNetOnline

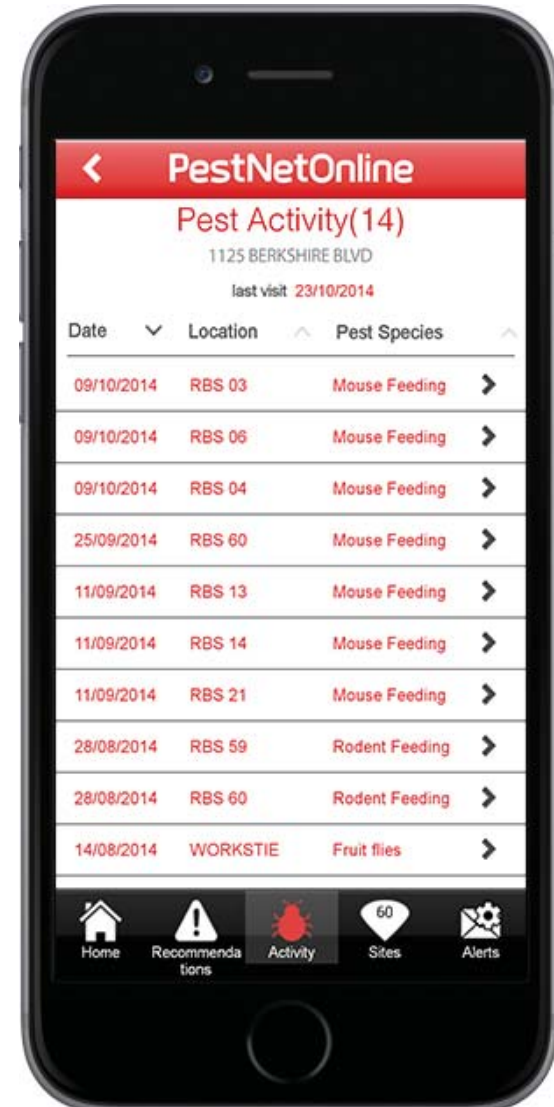
Site Documents,
available to all users of
PestNetOnline
compliments all printed
log book information
electronically

The screenshot displays the PestNetOnline web application. The top navigation bar is red with the 'PestNetOnline' logo on the left and 'Welcome Client Name' with a 'Logout' link on the right. Below this is a secondary navigation bar with tabs: Home, Dashboard, Reporting, Service History, Audit Compliance, Documents (highlighted), and Contact Us. A search icon is also present. Under the 'Documents' tab, there are two sub-tabs: 'Site Documents' (active) and 'Site Plan'. The main content area is titled 'Documents list' and contains a table of documents. The table is organized into sections: 'TECH LICENSES, BUSINESS LICENSES, TRAINING CERTIFICATES', 'INSURANCE CERTIFICATES', and 'FACILITY ASSESSEMENTS'. Each document entry includes a title, creation and expiration dates, version information, and a download icon.

TECH LICENSES, BUSINESS LICENSES, TRAINING CERTIFICATES			
Rentokil Background Check policy	Created by : 04/04/2014 Version : 1 Expired by :		
Technician License - John Doe	Created by : 03/10/2014 Version : 1 Expired by : 06/30/2016		
GMP Training Certificate - John Doe	Created by : 01/01/2014 Version : 1 Expired by :		
INSURANCE CERTIFICATES			
Insurance Certificate	Created by : 01/01/2014 Version : 1 Expired by : 31/12/2014		
FACILITY ASSESSEMENTS			
IPM Facility Assessment 2014	Created by : 03/01/2014 Version : 1 Expired by :		
IPM Facility Assessment 2013	Created by : 14/01/2013 Version : 1 Expired by :		

PestNetOnline Smartphone App

- **Home Screen**
 - Open recommendations
 - Instances of activity (last 90 days)
- **Recommendations**
 - Open recommendations total and by site
 - Open recommendations within a single site
 - Individual recommendation detail
 - Update the recommendation on the spot!
- **Activity**
 - Overall activity and activity instances by site
 - Last 90 days activity within a single site
 - Activity details and materials used
- **Site list and recommendation and activity indicators**
- **Email alerts creation**



PestNetOnline Flexibility

PestNetOnline offers three levels of functionality

- Whether you are a homeowner, local retailer, business with multiple branches or manufacturer, PestNetOnline will meet all of your business needs

Level	Residential	Commercial	High Dependency
Functionality	Privately owned residences, condos, and townhouses	Commercial organizations that do not require third party audit support	Businesses and organizations who utilize any third party audit group
Barcode Structure	One barcode is required	✓	✓
Materials Usage	Only through reporting	✓	✓
Pest Activity	✓	✓	✓
Updating Recommendations	✓	✓	✓
Visit Details	✓	✓	✓
Single Site Reporting	✓	✓	✓
Documents	✓	✓	✓
Reports	✓	✓	✓
Smartphone app (lite version)	✓	✓	✓
Alerts	X	✓	✓
Multi-Site Reporting	X	✓	✓
Detector History	X	✓	✓
Trends Analysis	X	✓	✓
Tasks	X	✓	✓
Site Plans	X	X	✓
Audit Compliance	X	X	✓

PestNetOnline

For more information visit pnol.rentokilna.com

Appendix O – CMP's TCP & PMP Inspection Records

Project: _____ Location: _____ Phase: _____ Date: _____ Inspector: _____

CONSTRUCTION MANAGEMENT PLAN - INSPECTION CHECKLIST

[illegible]

Appendix P – Project Signage Specifications

Signage Specifications: Project Signage shall;

- Be constructed of weatherproof material (corrugated plastic)
- Have high visibility contrasting colours (dark letters on white background)
- Incorporate appropriate font types (mix of upper and lower-case lettering)
- Incorporate appropriate font sizes (16mm – 51mm) such that the signage is readable from a distance (16-20m)
- Size of signage will be poster size (600mm x 900mm) or larger; to allow community members to see and read the information from a distance
- Signage may incorporate plastic grommets positioned every 300mm around the perimeter of the signage to ensure a secure signage installation
- Signage will be installed/anchored to project fencing using plastic zip-ties
- Signage will be positioned along the project site as per the encroachment plan
- Signage shall not impede traffic of pedestrian sight lines
- **Signage shall be placed on site 10 days prior to the start of the noted construction activity to ensure the passing public has had adequate time to review, adjust their travel patterns, usage of streets and or can be considered 'informed'.**

Samples



Appendix Q – Structural Demolition Plan
