



PO Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

MEMORANDUM

TO: Chair and Members of the Design Advisory Committee

FROM: Sean Audas, Principal Planner & Development Officer, Current Planning

DATE: April 14, 2021

SUBJECT: Case # 23031: Level III Site Plan Approval Application for 6189-6191 Young Street, Halifax, N.S. (PID 00153098)

Background:

The applicant has submitted a Level III Site Plan Approval under the [Regional Centre Land Use Bylaw](#) (LUB) for a property located at 6189-6191 Young Street (PIDs #00153098). A pre-application has been completed and the proposal has been deemed compliant with the requirements of the LUB.

The applicant is seeking a recommendation from the Design Advisory Committee on the design requirements, as required by the LUB. Public consultation has not yet been completed for this project.

Existing Use: 6189/6191 Young Street is currently a one storey commercial building that houses a Tattoo Shop and Furniture Store. The abutting lot to the right is a vacant lot owned by Nova Scotia Power. To the left is a large vacant lot on the corner of Young Street and Windsor Street.

Zoning: CEN-2 (Centre-2) under the Regional Centre Land Use Bylaw.

Proposal:

The proposal before the Committee is for a 9-storey, 58-unit residential building with one level of commercial and one level of underground parking. The proposed building is classified as a tall mid-rise building under the LUB (20-26 metres in height).

Input Requested from Design Advisory Committee:

In accordance with the requirements of the LUB and the Terms of Reference for the Design Advisory Committee, the Committee is being asked to provide a recommendation to the Development Officer regarding the design requirements of Part VI. No variations have been requested. The following chapters of Part VI are relevant to this proposal:

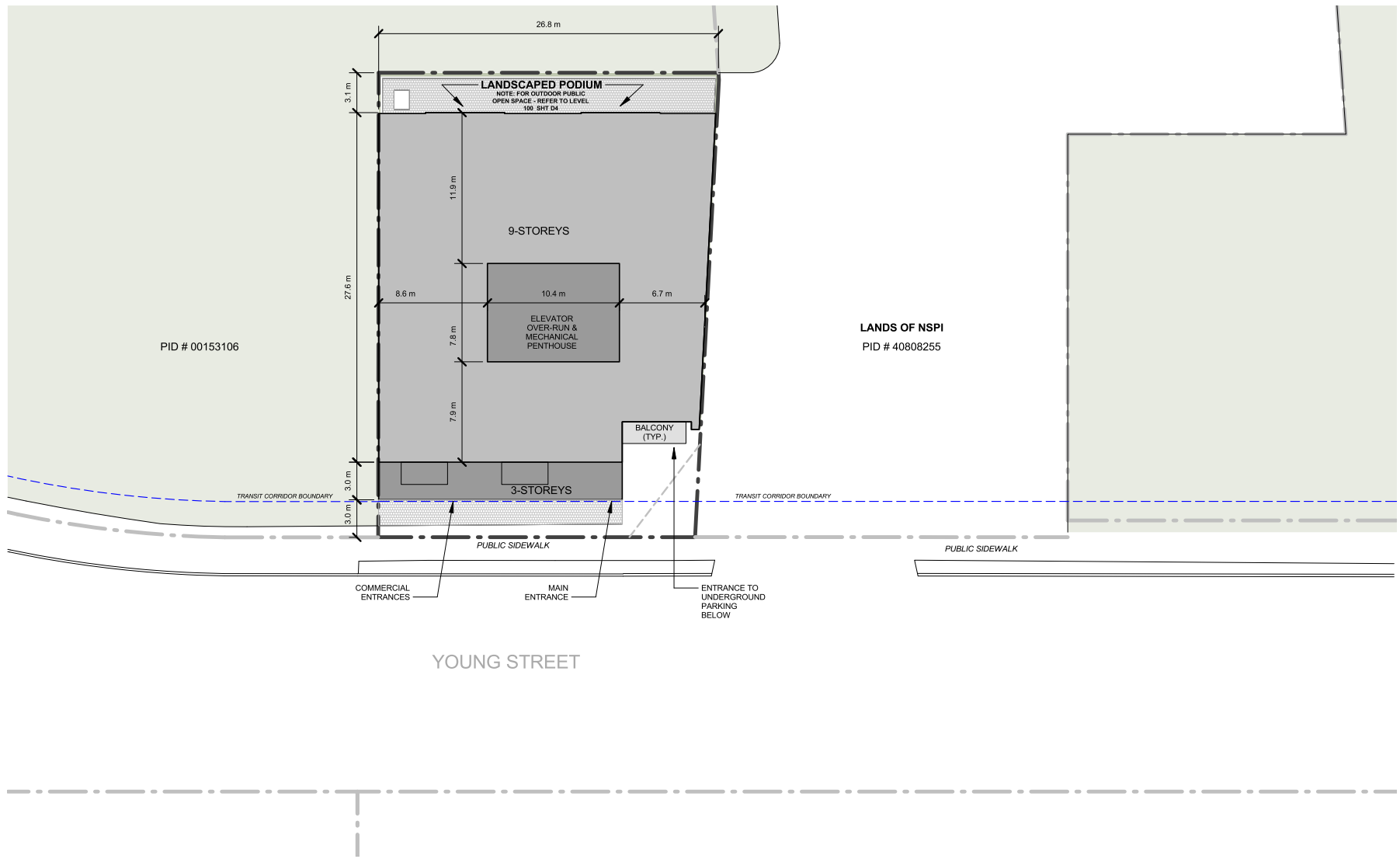
Chapter 1: General Site Plan Approval Design Requirements	Chapter 1 sets out the requirement for site plan approval. There are no criteria to be satisfied.
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Chapter 2: At-Grade Private Open Space Design Requirements	<p>The Landscape Plan and the Site Plan illustrate the design requirements of this chapter.</p> <ul style="list-style-type: none"> - There is private open space at the front of the building abutting the main sidewalk on Young Street. - The main residential entry is located off the public sidewalk. - The at-grade private open space at the building's rear is provided with barrier free access and permanent seating (benches), concrete pavers, and timber made planters with junipers. - The at-grade private open space is partially covered by the building upper levels. - All walkways within the at-grade open spaces are on concrete pavers hard-surface.
Chapter 3: Building Design Requirements	<p>The Elevation Drawings and Building Renderings illustrate the design requirements of this Chapter.</p> <ul style="list-style-type: none"> - Streetwall articulation has been provided using change in colours, and recesses. - Pedestrian entrances along Young Street are distinguished using changes in materials (curtain glass), and recesses. There are 2 entrances for commercial storefronts and 1 for residential. These entrances are all recessed to provide weather protection. - The ground floor commercial unit has 100% clear glass glazing. - Pedestrian entrances on the rear podium at the at grade private open space are recessed. - Building top distinction is accomplished with a fascia-soffit band and material variation. - Rooftop mechanical features are visually integrated into the design of the building and concealed from the public view at the streetline.
Chapter 4: Parking, Access, and Utilities Design Requirements	<ul style="list-style-type: none"> - A pedestrian connection connects the public sidewalk to the at-grade private open space on the site. - The motor vehicle parking is internal to the building, and it's completely enclosed with a door. - All mechanical units or features at up-grade open private space are located at the rear podium and are minimized by concealing the units with decorative Zen style features
Chapter 5: Heritage Conservation Design Requirements	<ul style="list-style-type: none"> - Not applicable – the subject property is not a heritage property and is not within a heritage conservation district.
Chapter 6: Other Design Requirements	<ul style="list-style-type: none"> - LED lighting (bollards, Sconces and Recessed Pot Lights) are provided at common building entrances on Young Street, walkways, and at grade private open spaces. - The subject site is not a View Terminus Site.
Chapter 7: Variation Criteria	<ul style="list-style-type: none"> - No variations have been proposed.

Any recommendations made by the Committee will be considered by the Development Officer prior to approval or refusal of the Site Plan Approval application. Any changes to the building informed by the recommendation of the Committee must meet the requirements of the Land Use Bylaw.

Attachments:

Please refer to the digital building plans package for all renderings, floor plans, landscaping, and design rationale.



YOUNG
6189 YOUNG STREET, HALIFAX NS

SITE PLAN

Project No: 2019-15
Scale: 1 : 300
Date: 06-Apr-21
11:37:32 AM



WM FARES
ARCHITECTS

D1

GROSS FLOOR AREA

Level	Name	Area
T/O 1st FLOOR	BUILDING FA	542 m ²
T/O 2nd FLOOR	BUILDING FA	705.8 m ²
T/O 3rd FLOOR	BUILDING FA	705.8 m ²
T/O 4th FLOOR	BUILDING FA	645.3 m ²
T/O 5th FLOOR	BUILDING FA	645.3 m ²
T/O 6th FLOOR	BUILDING FA	645.3 m ²
T/O 7th FLOOR	BUILDING FA	645.3 m ²
T/O 8th FLOOR	BUILDING FA	645.3 m ²
T/O 9th FLOOR	BUILDING FA	645.3 m ²
		5825.4 m ²

OUTDOOR AMENITY

Level	Count
BALCONIES	362.4 m ²
LANDSC. PODIUM	77.4 m ²
	439.8 m ²

INDOOR AMENITY

Level	Count
1ST FLOOR	74.8 m ²
1ST FLOOR	70.6 m ²
	145.4 m ²

UNIT MIX

Dwelling	Count	Req. %	Provided %
1 BED	28	-	48%
2 BED	30	25 %	52%
Total	58		100%

UNIT COUNT

Level	Name	Count
T/O 1st FLOOR		
	-	-
	-	-
T/O 2nd FLOOR		
	1 BED	5
	2 BED	3
T/O 3rd FLOOR		
	1 BED	5
	2 BED	3
T/O 4th FLOOR		
	1 BED	3
	2 BED	4
T/O 5th FLOOR		
	1 BED	3
	2 BED	4
T/O 6th FLOOR		
	1 BED	3
	2 BED	4
T/O 7th FLOOR		
	1 BED	3
	2 BED	4
T/O 8th FLOOR		
	1 BED	3
	2 BED	4
T/O 9th FLOOR		
	1 BED	3
	2 BED	4
Total		58

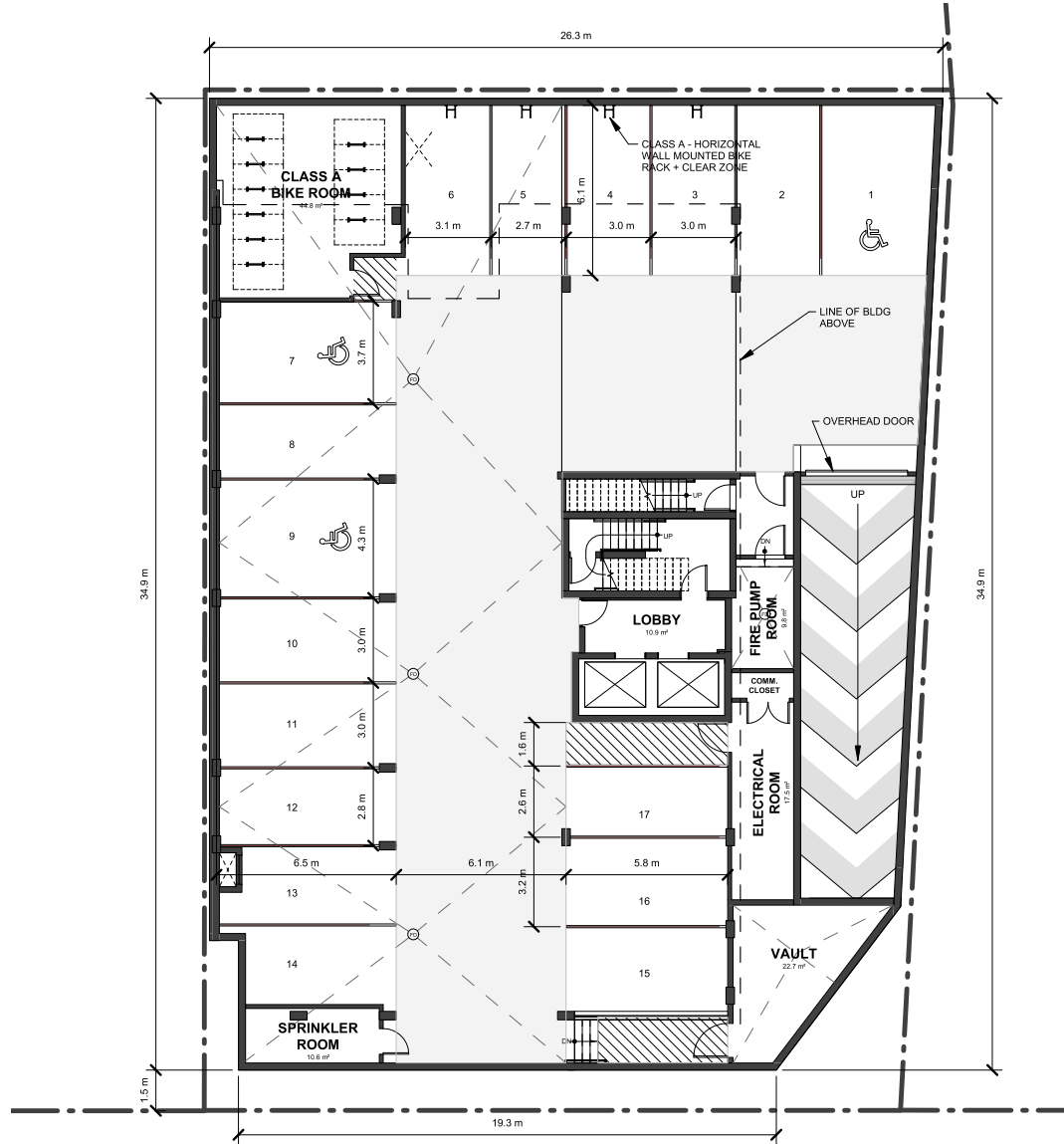
LAND-USE BY-LAW CHECK LIST

ZONE	CEN-2
MAX HEIGHT	90m SUBJECT TO FAR
FAR	8.0
BUILDING TYPE	TALL-MID RISE
TRANSITION LINES	NO
PEDESTRIAN STREET	NO
SPECIAL AREA	TRANSIT CORRIDOOR
FRONT & FLANKING YARDS	MIN 1.5m to MAX 3.0m
STREET WALL HEIGHT	MAX 11.0m (Per 93 (1)(D))
STEET WALL STEPBACKS	3.0m. (Per 95 (2))
SIDE YARD	NOT REQUIRED (Per 94 (2))
REAR YARD	MIN 3.0m
PARKING REQUIREMENTS	NOT REQUIRED
DWELLING UNIT MIX	25% ATLEAST 2 BEDROOMS. (ROUNDED UP)
AMENITY SPACE	MIN 5m ² PER UNIT. 50% OF REQUIRED SPACE TO BE PROVIDED INDOORS.
LOT AREA	949.6 M ²
BUILDING FOOTPRINT	542 M ²
AMENITY SPACE TOTAL	145.1 M ²
LEVEL 100 - A	74.8 M ²
LEVEL 100 - B	70.6 M ²

PARKING SCHEDULE

Level	Count
T/O P1 FLOOR	17
	17





YOUNG
6189 YOUNG STREET, HALIFAX NS

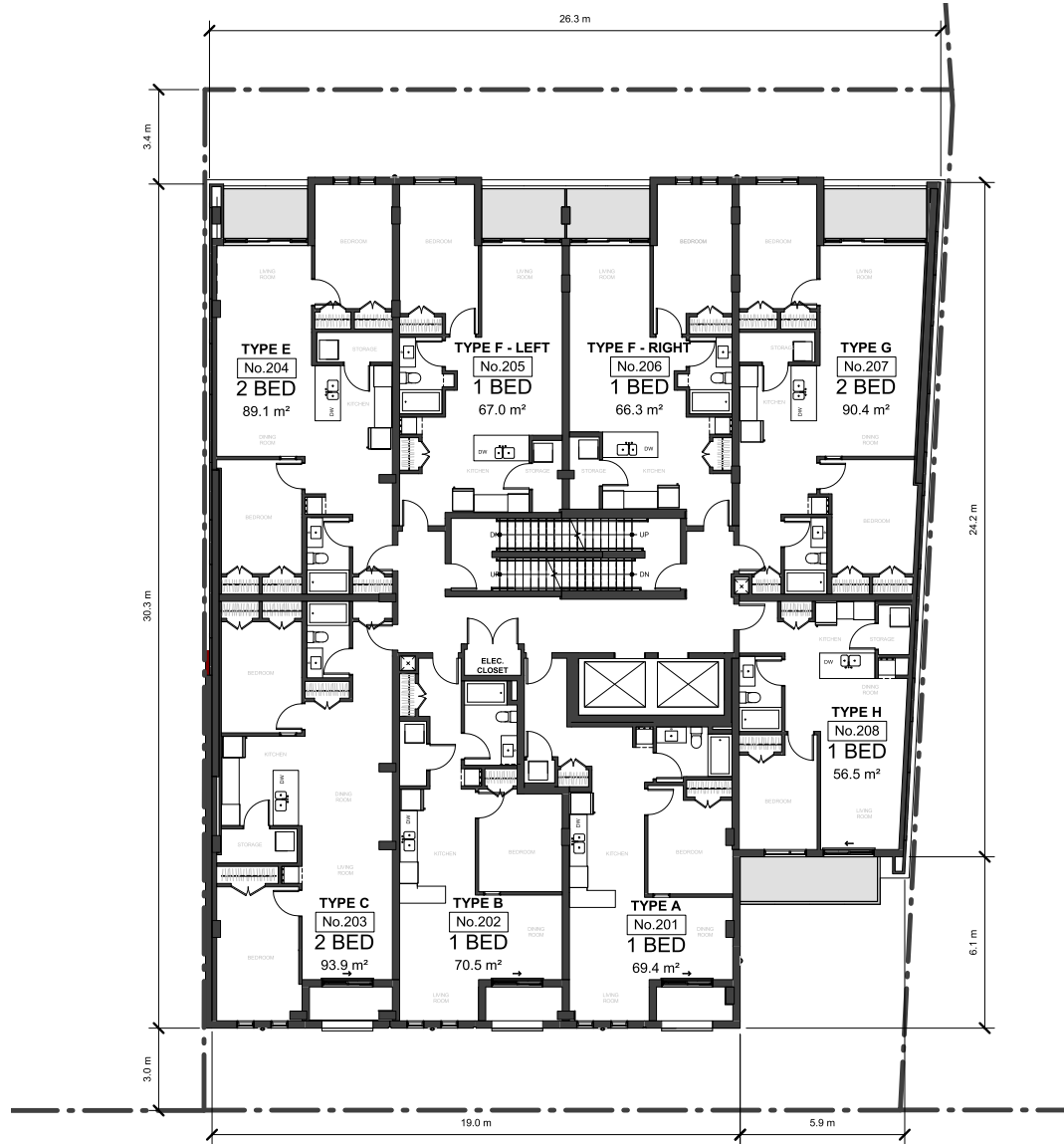
LEVEL P1 - PARKING

Project No: 2019-15
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Date: 02-Feb-21 1:28:25 PM



WM FARES
ARCHITECTS

D3



YOUNG
 6189 YOUNG STREET, HALIFAX NS

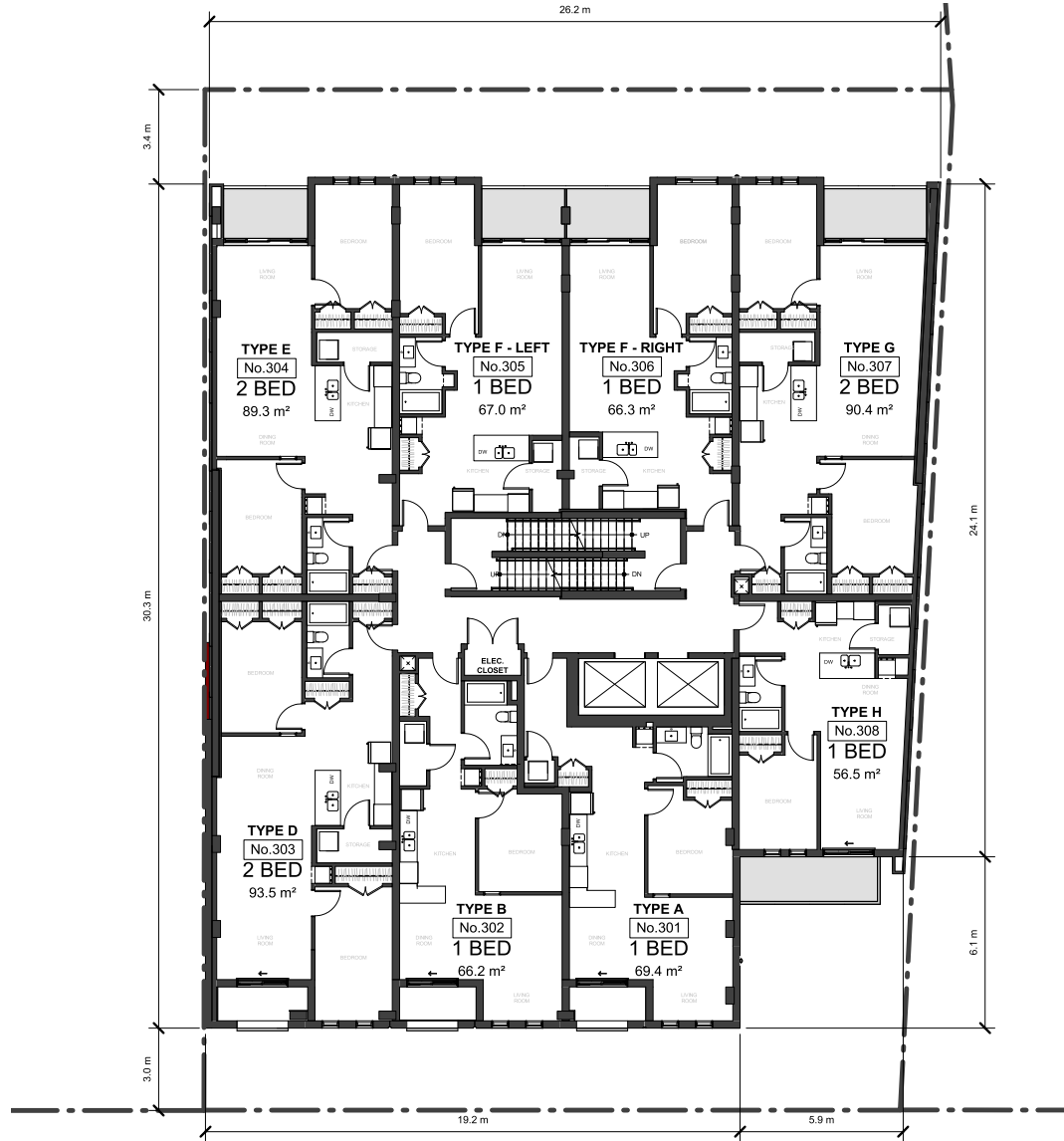
LEVEL 200 - FLOOR PLAN

Project No: 2019-15
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WM FARES
 ARCHITECTS

D5



YOUNG
6189 YOUNG STREET, HALIFAX NS

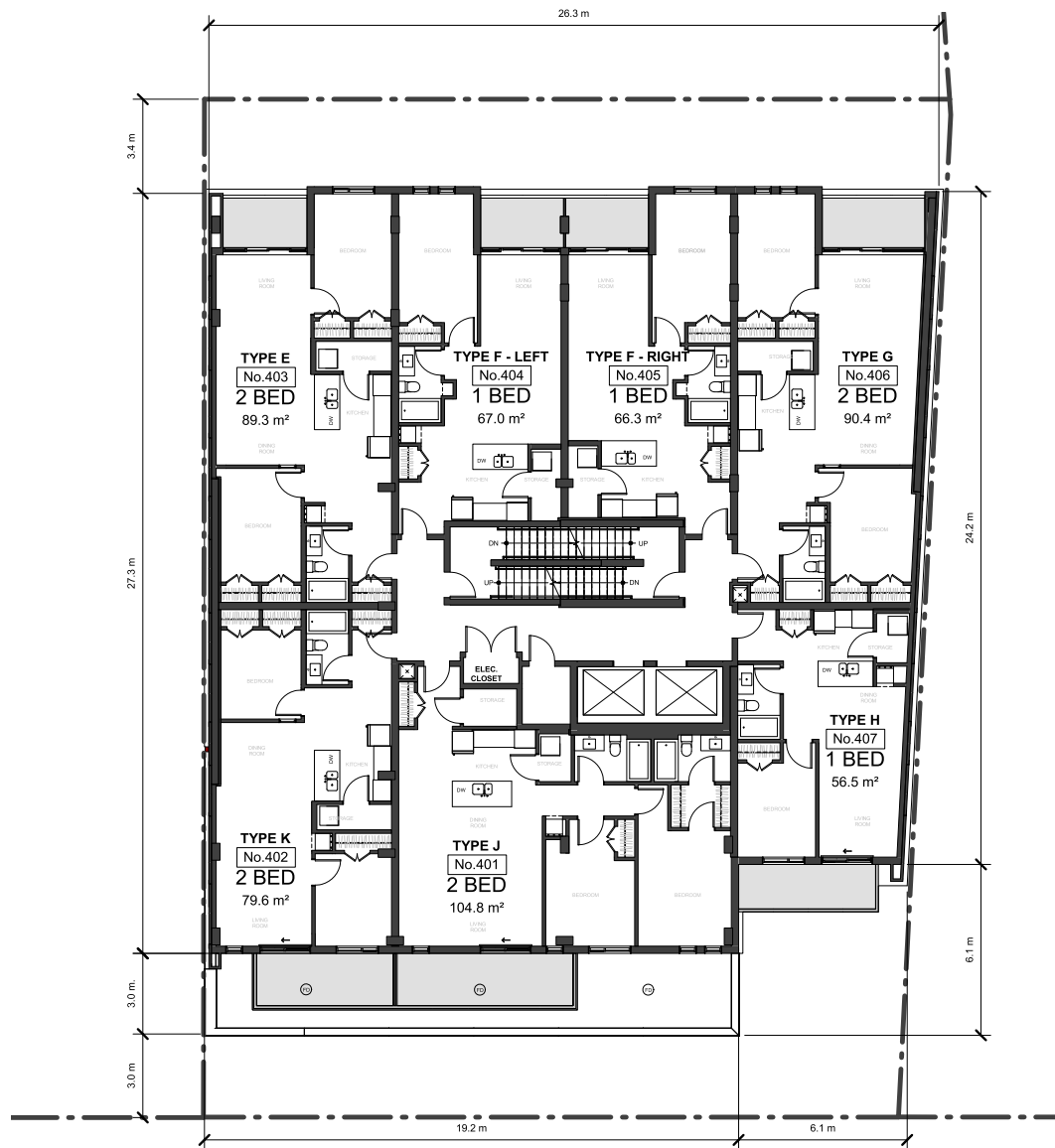
LEVEL 300 - FLOOR PLAN

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WM FARES
ARCHITECTS

D6



YOUNG
6189 YOUNG STREET, HALIFAX NS

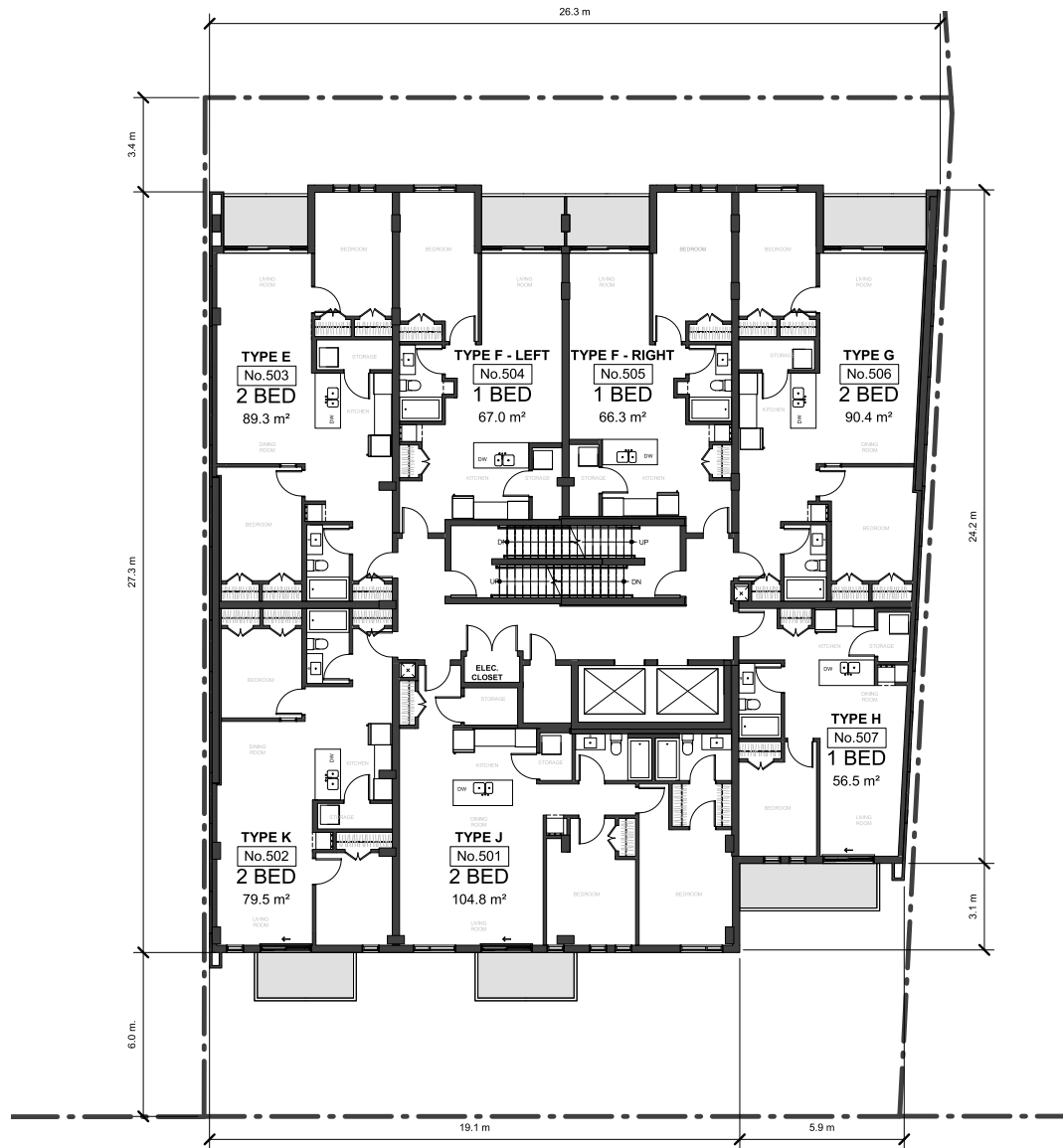
LEVEL 400 - FLOOR PLAN

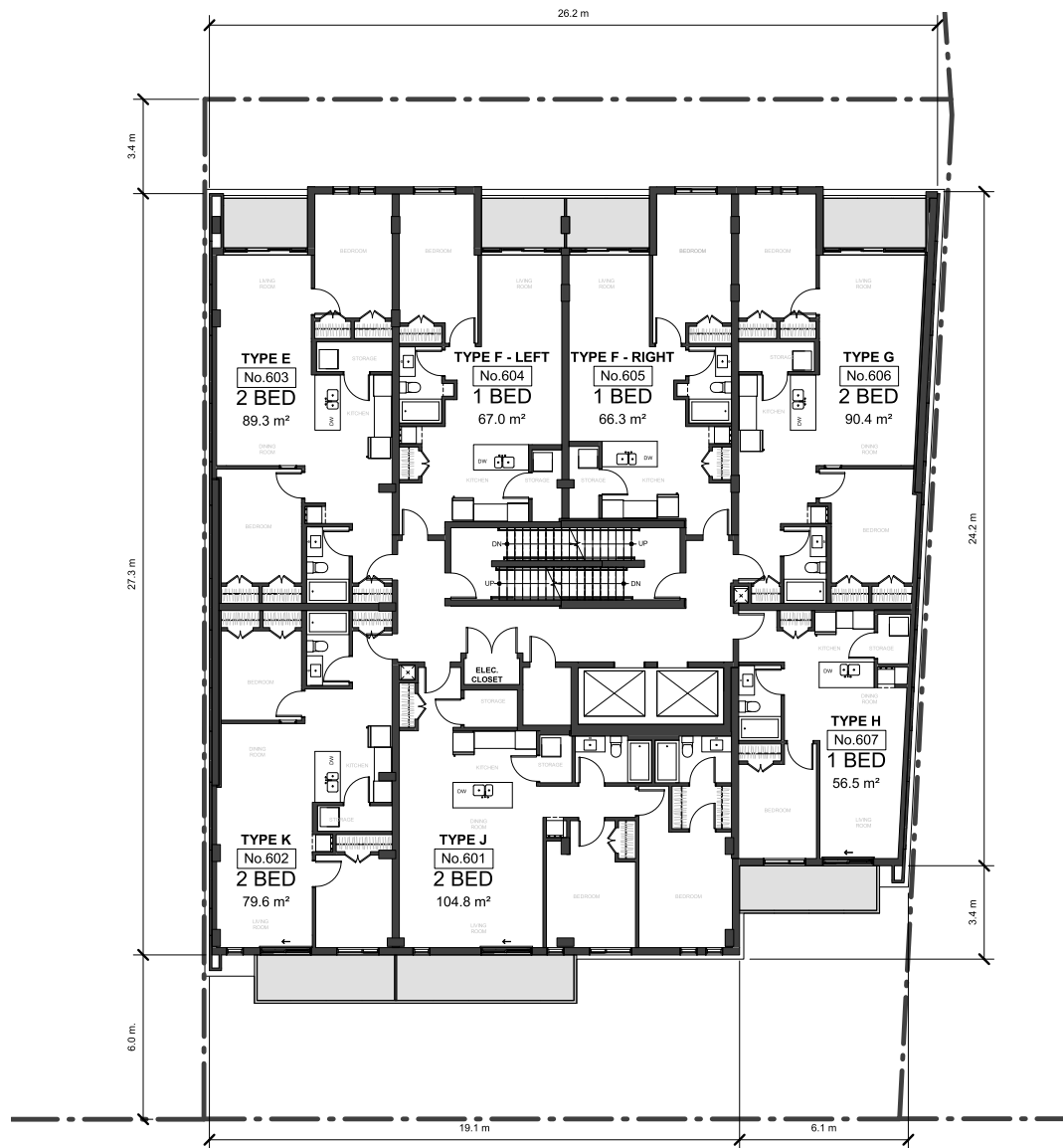
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ARCHITECTS

D7





YOUNG
6189 YOUNG STREET, HALIFAX NS

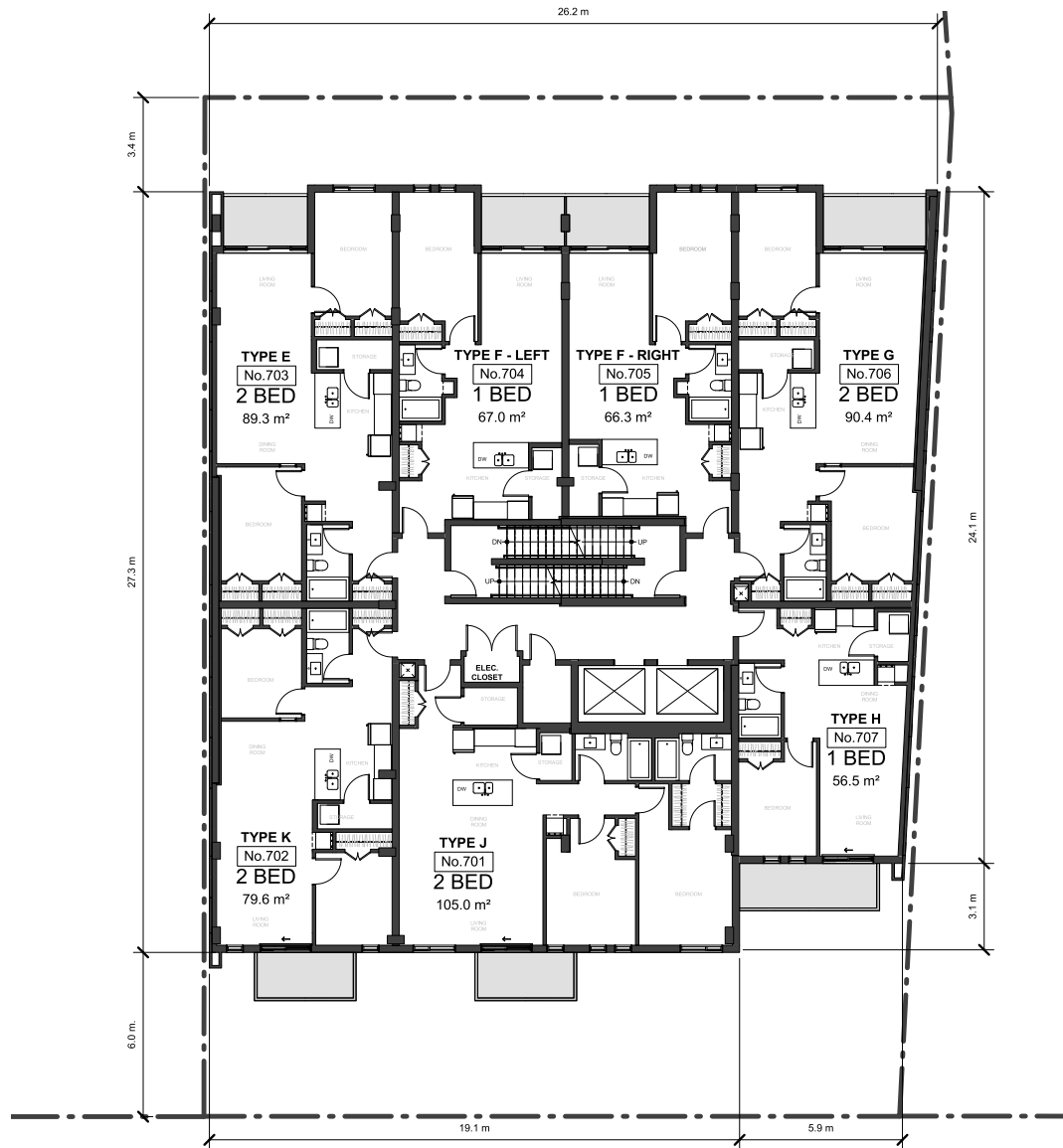
LEVEL 600 - FLOOR PLAN

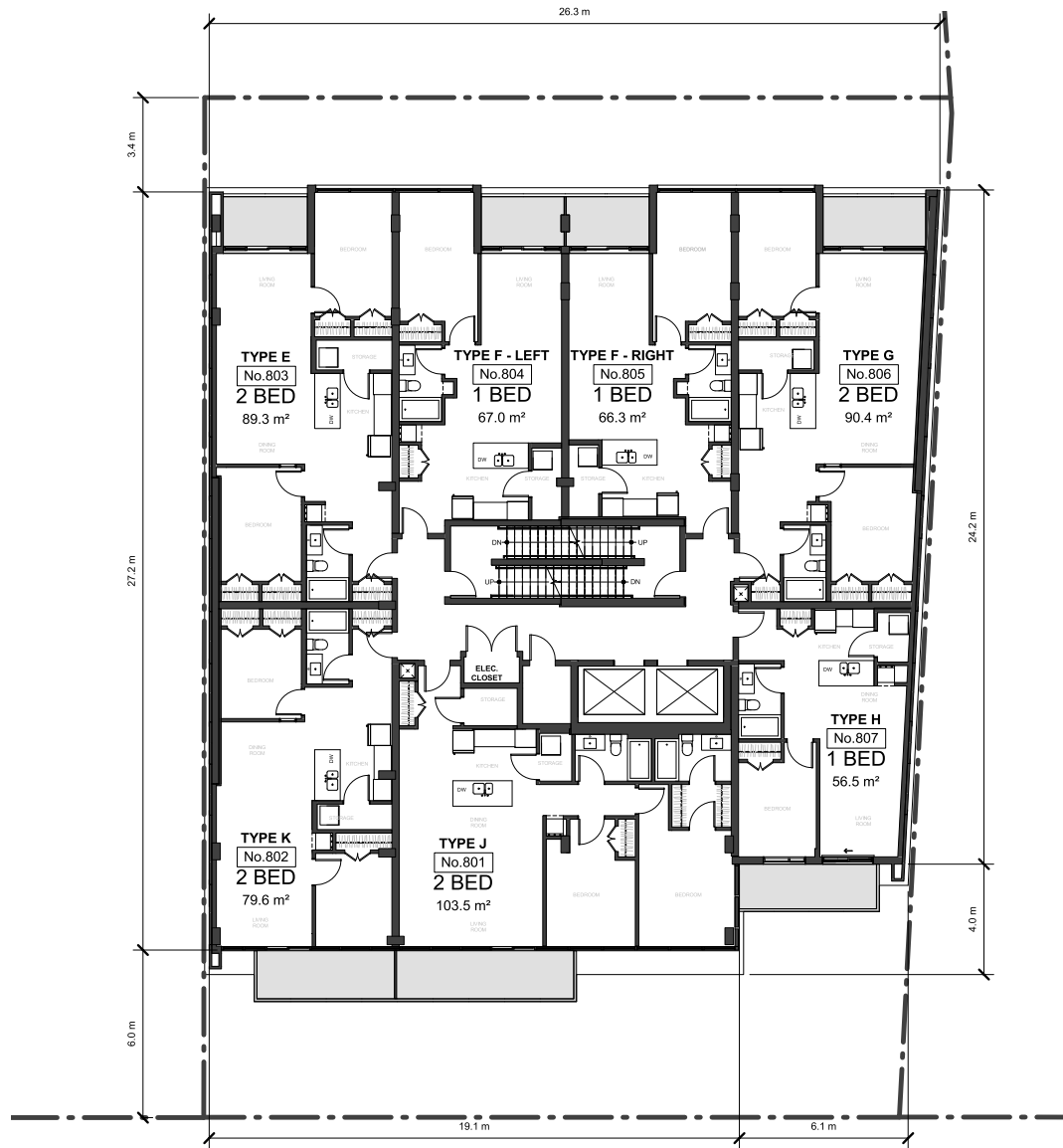
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WM FARES
ARCHITECTS

D9





YOUNG
6189 YOUNG STREET, HALIFAX NS

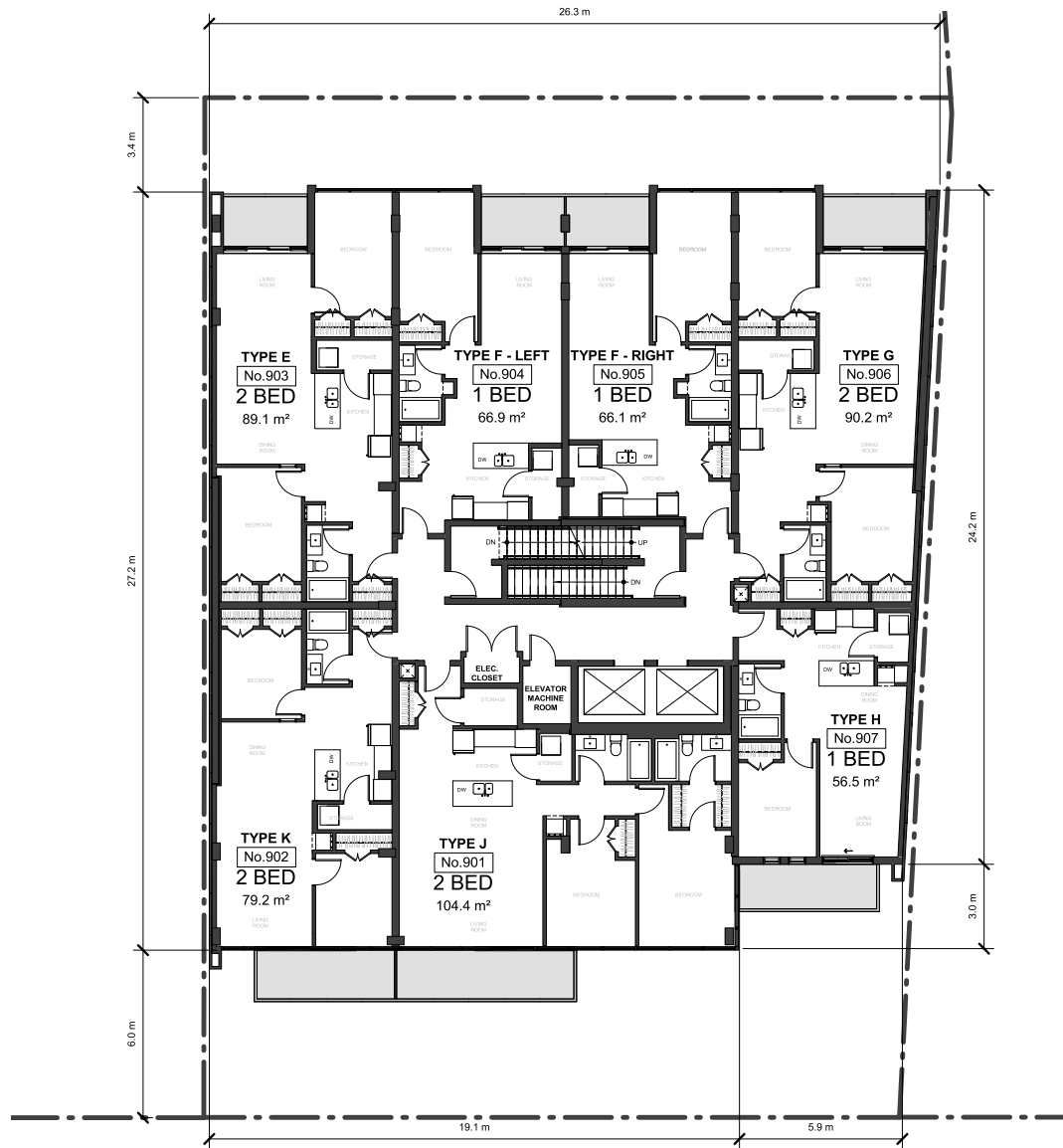
LEVEL 800 - FLOOR PLAN

Project No: 2019-15
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WM FARES
ARCHITECTS

D11



YOUNG
6189 YOUNG STREET, HALIFAX NS

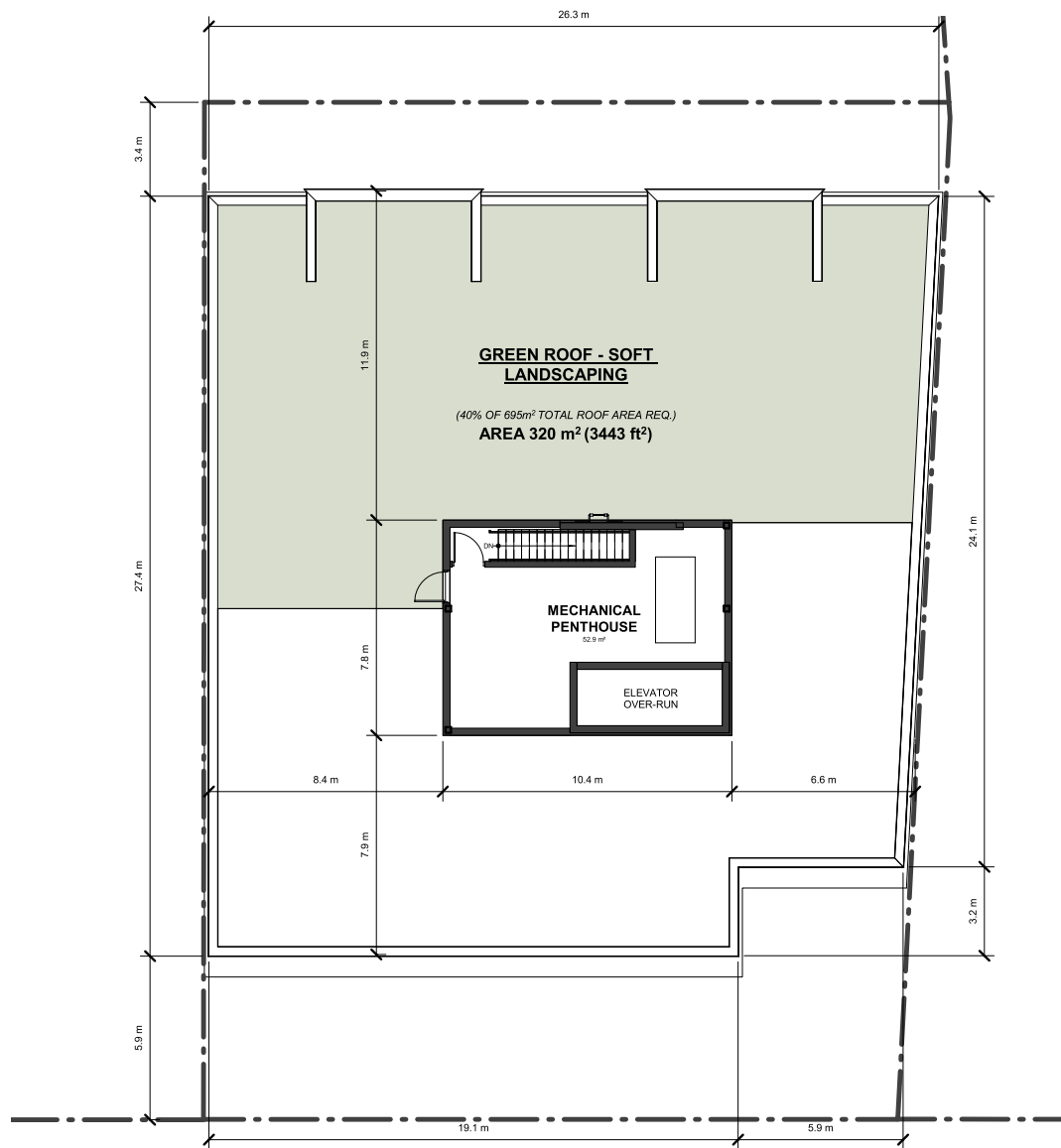
LEVEL 900 - FLOOR PLAN

Project No: 2019-15
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Date: 06-Apr-21
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WM FARES
ARCHITECTS

D12



YOUNG
6189 YOUNG STREET, HALIFAX NS

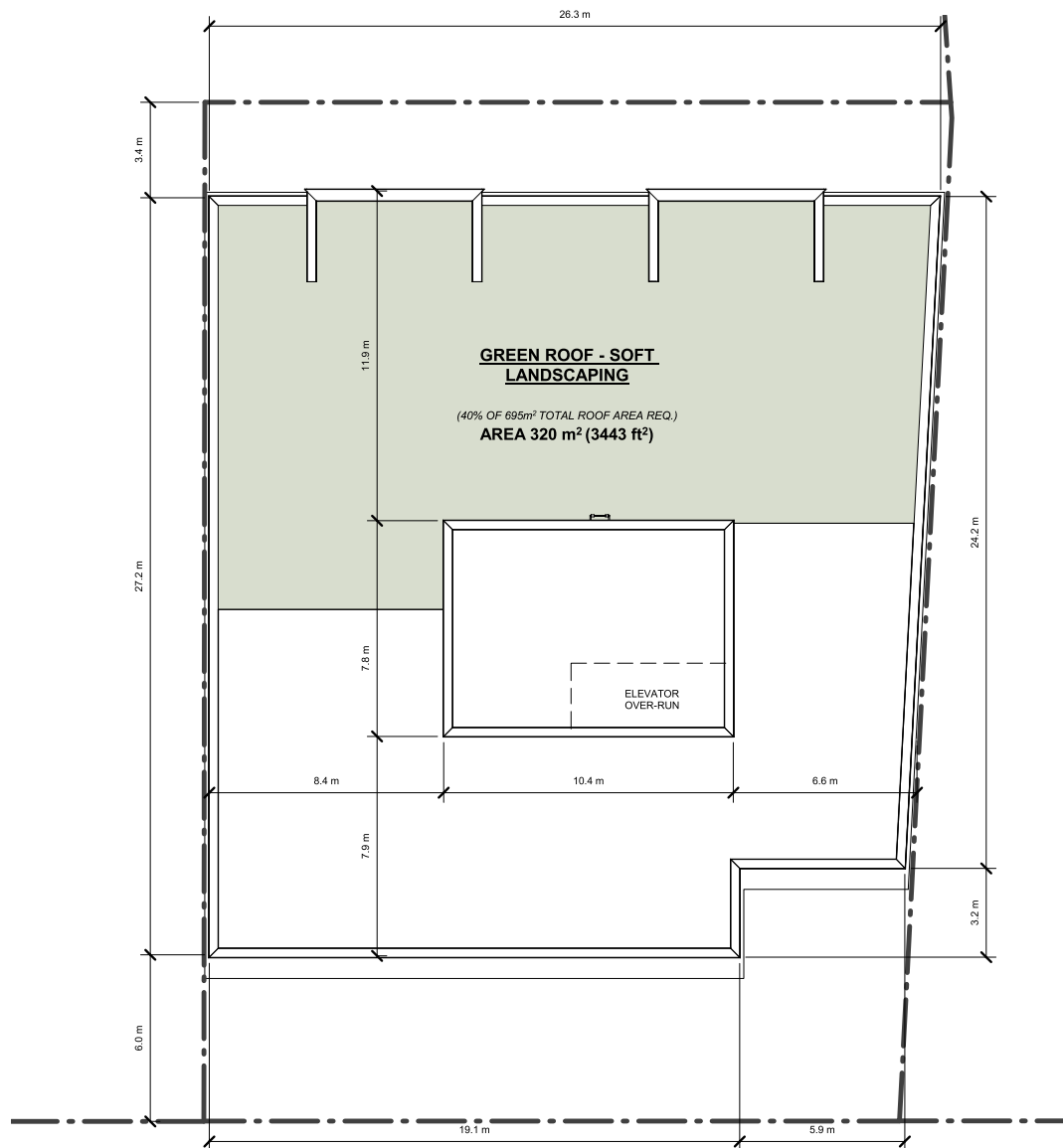
LEVEL 1000 - FLOOR PLAN

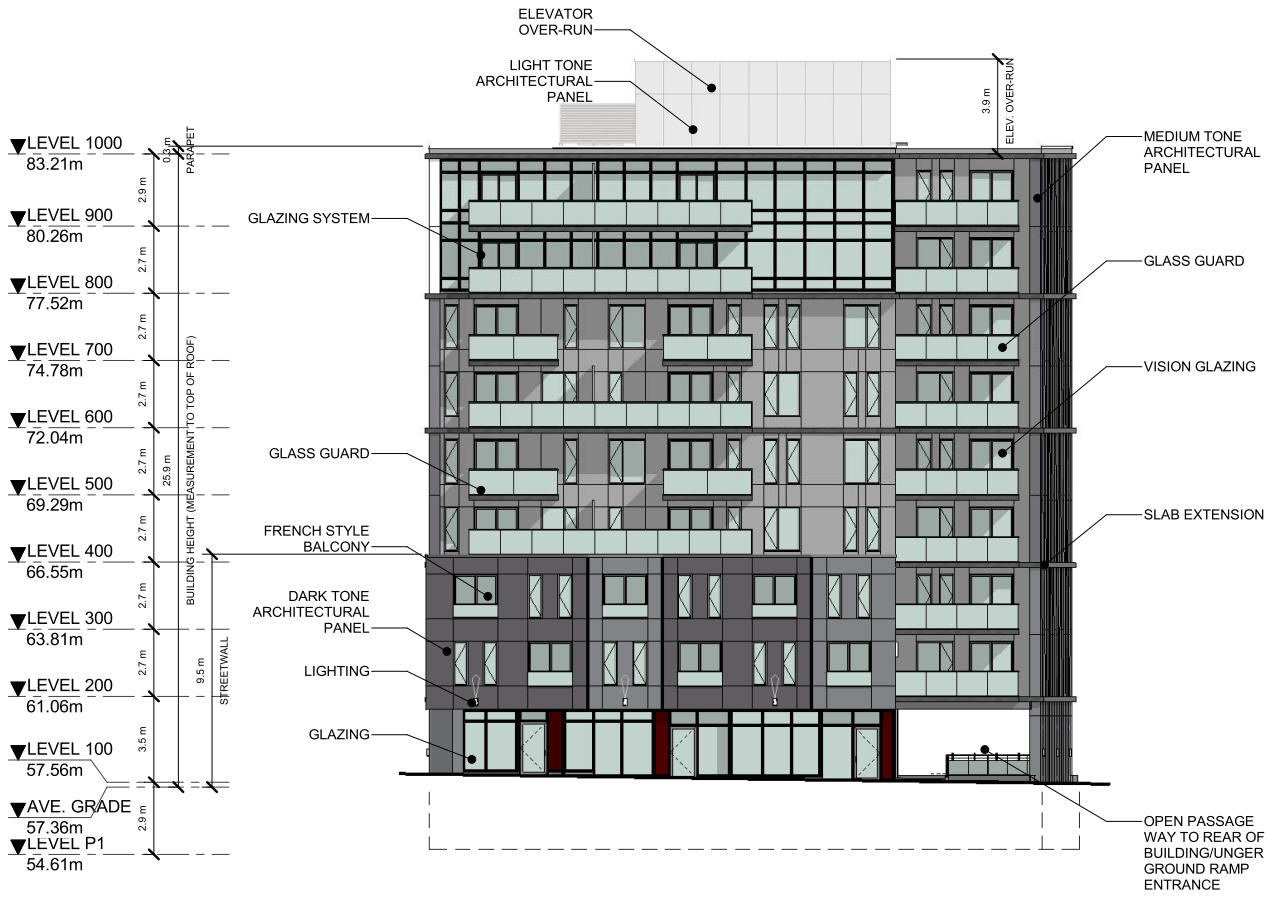
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D13





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 6189 YOUNG STREET, HALIFAX NS

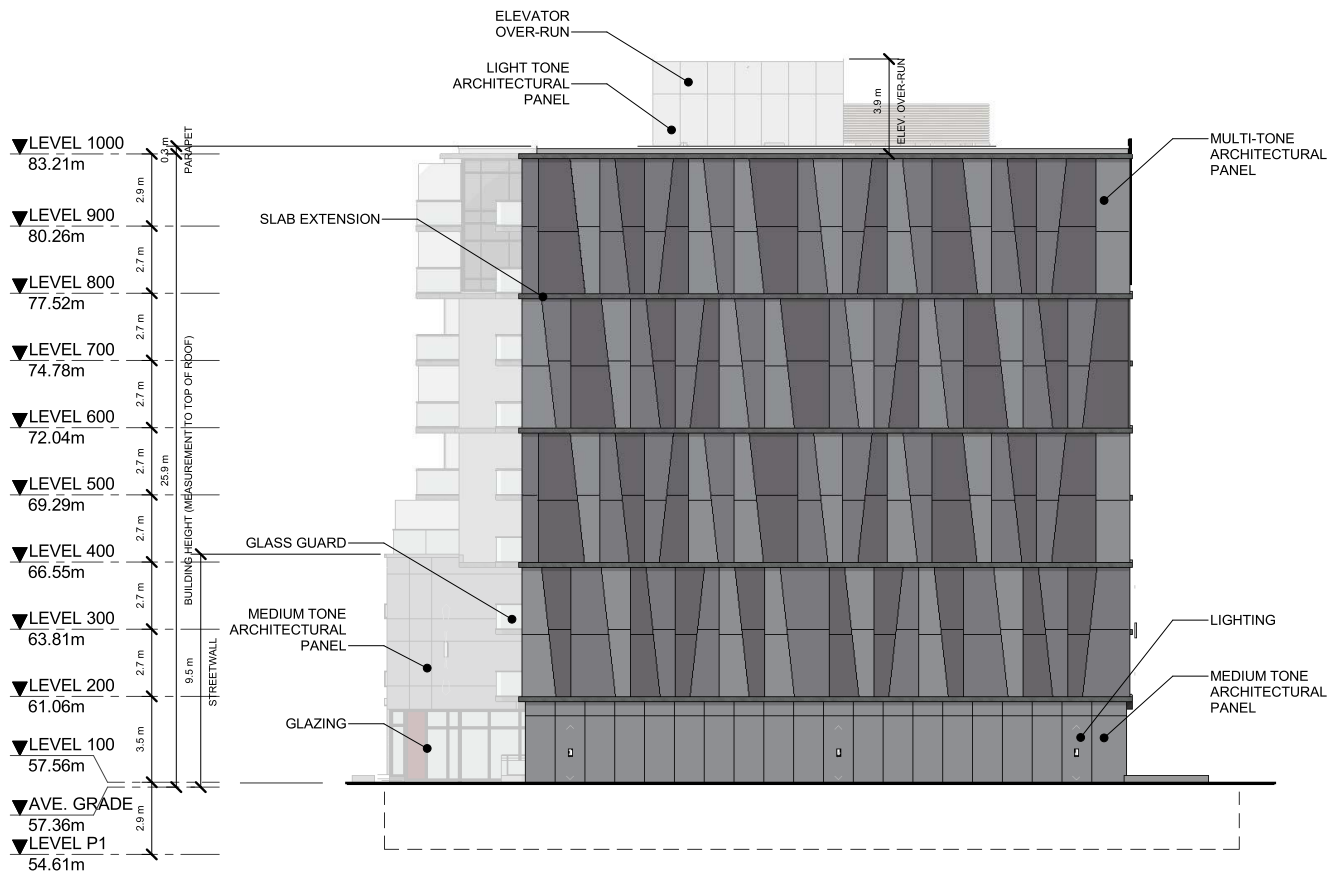
SOUTH ELEVATION

Project No: 2019-15
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WM FARES
 ARCHITECTS

D15



YOUNG
 6189 YOUNG STREET, HALIFAX NS

EAST ELEVATION

Project No: 2019-15
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WM FARES
 ARCHITECTS

D16



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6189 YOUNG STREET, HALIFAX NS

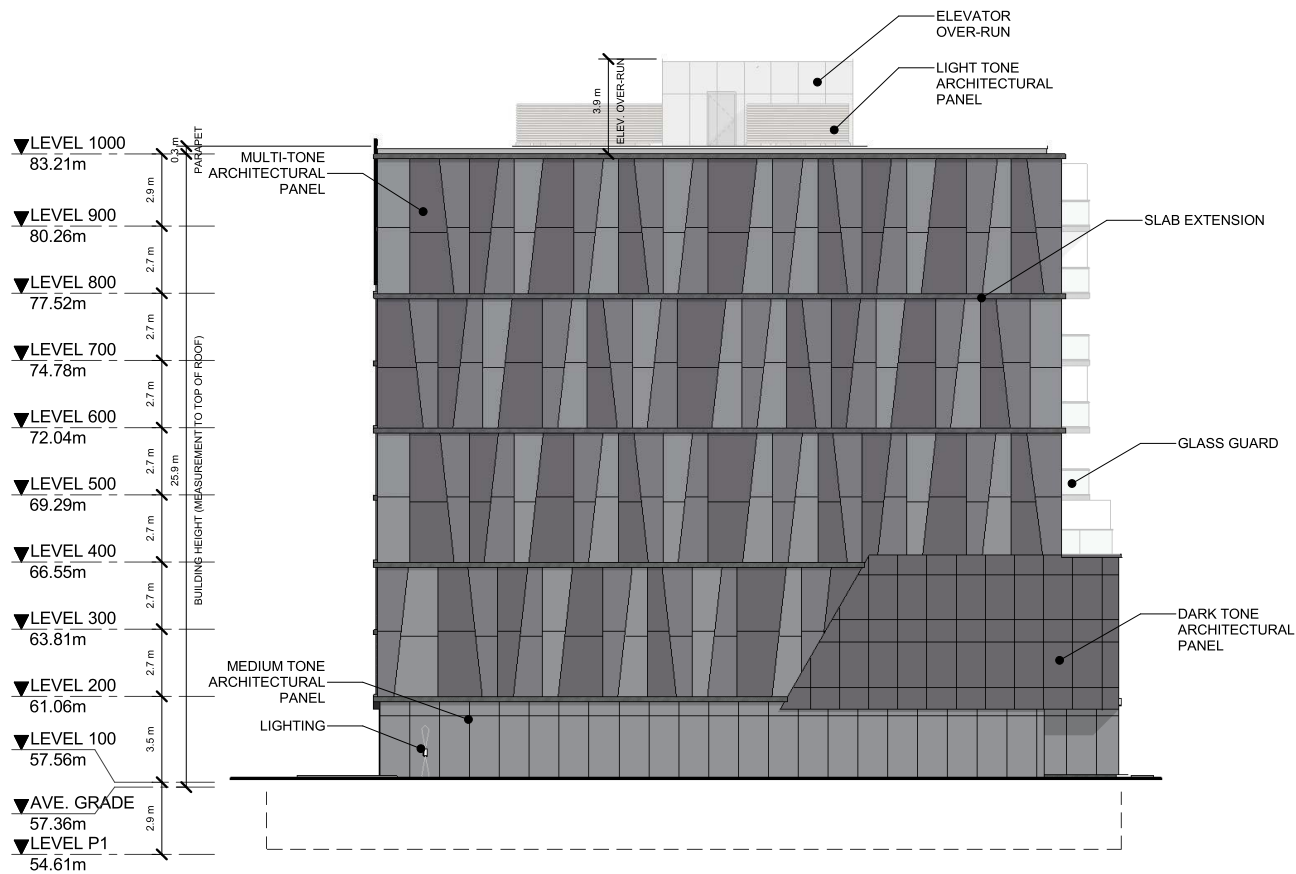
NORTH ELEVATION

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WM FARES
ARCHITECTS

D17



YOUNG
6189 YOUNG STREET, HALIFAX NS

WEST ELEVATION

Project No: 2019-15
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ARCHITECTS

D18



YOUNG
6189 YOUNG STREET, HALIFAX NS

PERSPECTIVES

Project No: 2019-15
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ARCHITECTS

D19



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6189 YOUNG STREET, HALIFAX NS

PERSPECTIVES

Project No: 2019-15
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D20



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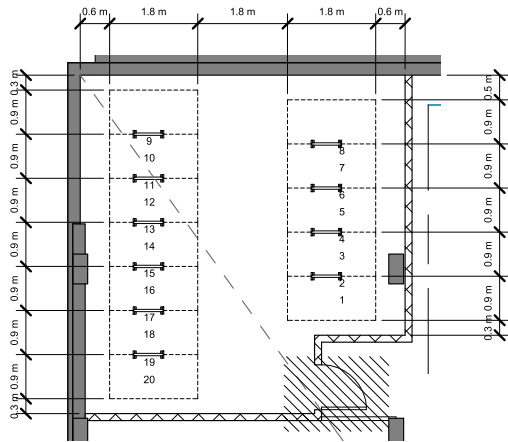
PERSPECTIVES

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Date: 02-Feb-21
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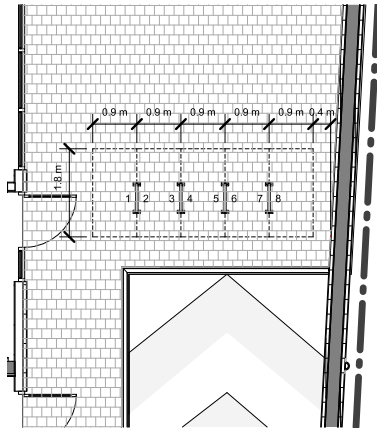


WM FARES
ARCHITECTS

D21

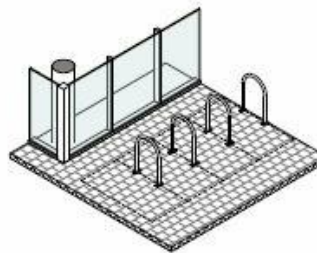


① BIKE ROOM - LEVEL P1
1 : 100

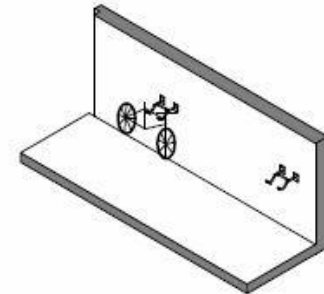


② BIKE RACKS - EXTERIOR
1 : 100

GROSS FLOOR AREA			
Level		Class A	Class B
RESIDENTIAL TOTAL REQ.	29	24	6
LEVEL P1 PARKING			
ROOM		20	-
WALL MOUNTED		4	-
LEVEL P1 PARKING			
EXTERIOR RACK		-	6
COMMERCIAL TOTAL REQ.	2		2
TOTAL PROVIDED	32	24	8

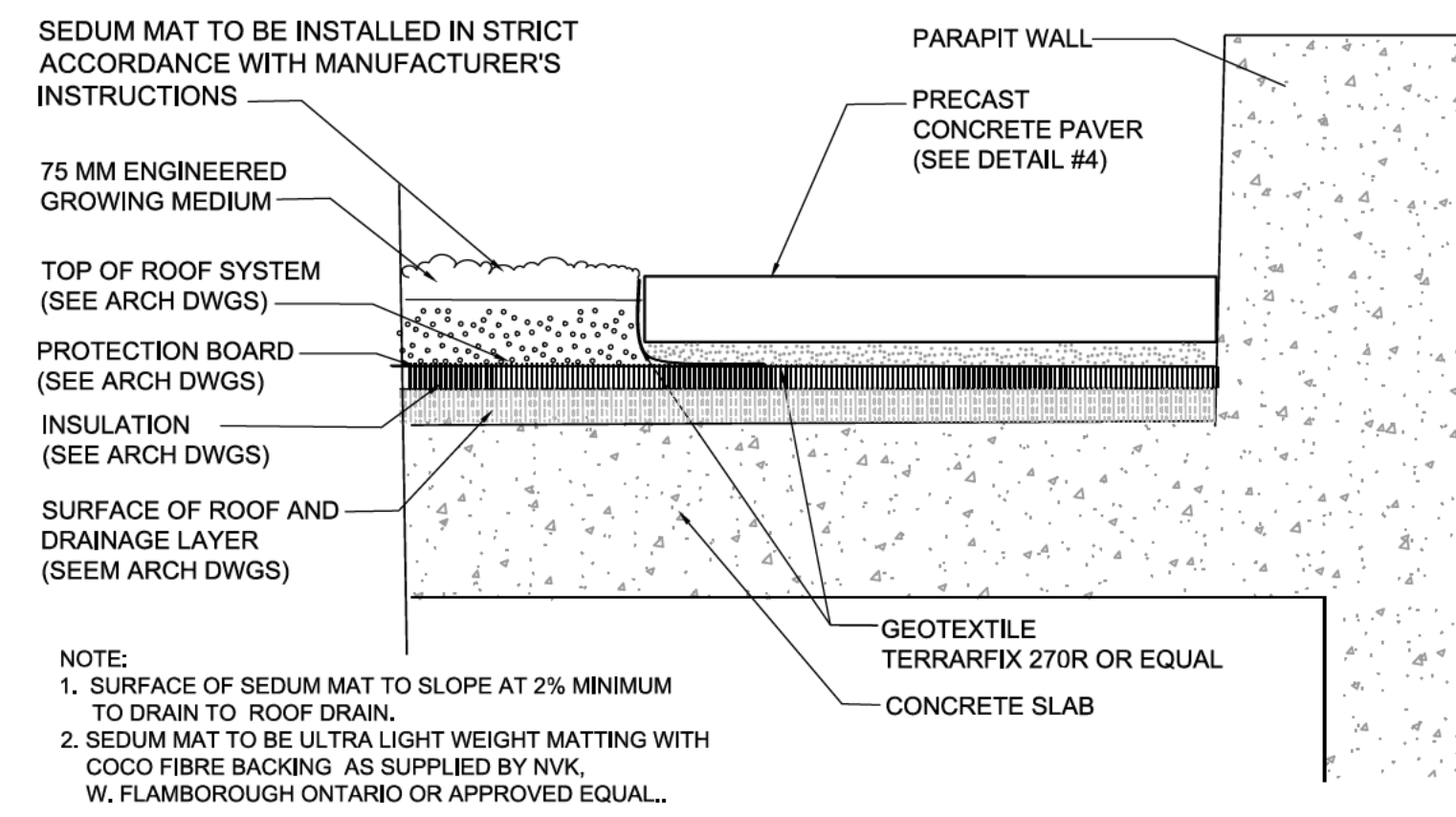


EXTERIOR BIKE RACK

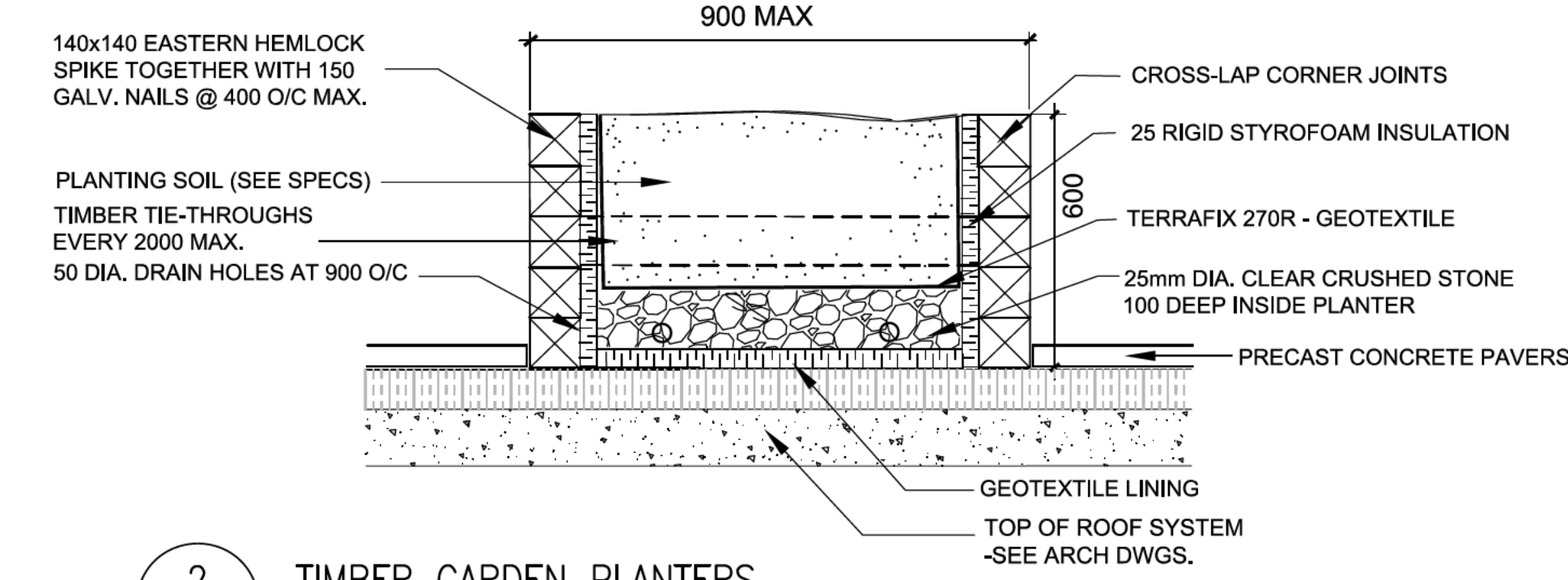


INTERIOR - WALL MOUNTED BIKE RACK

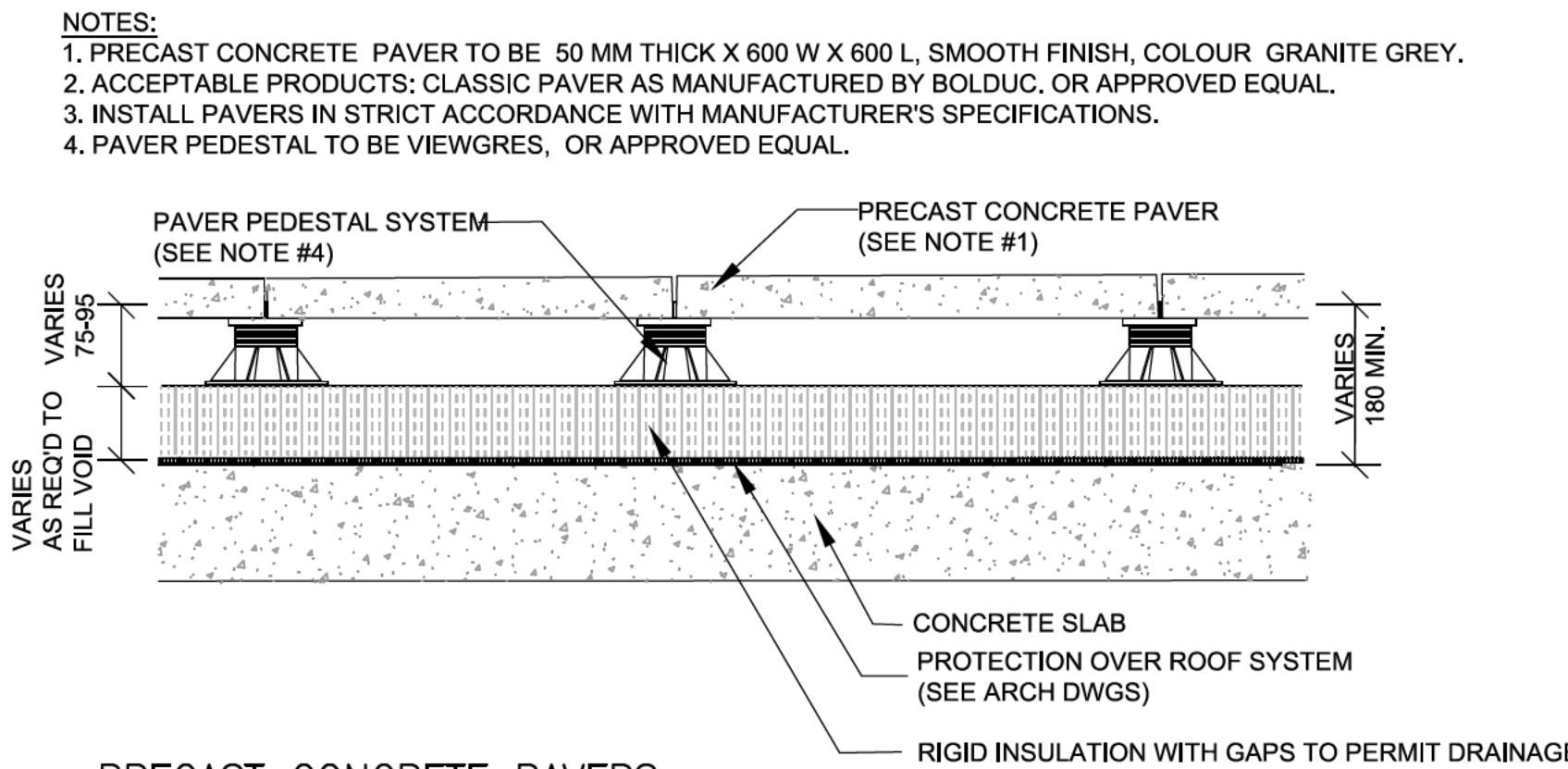




1 SEDUM MAT ON ROOF WITH PAVER EDGE AT BUILDING
L101 N.T.S.



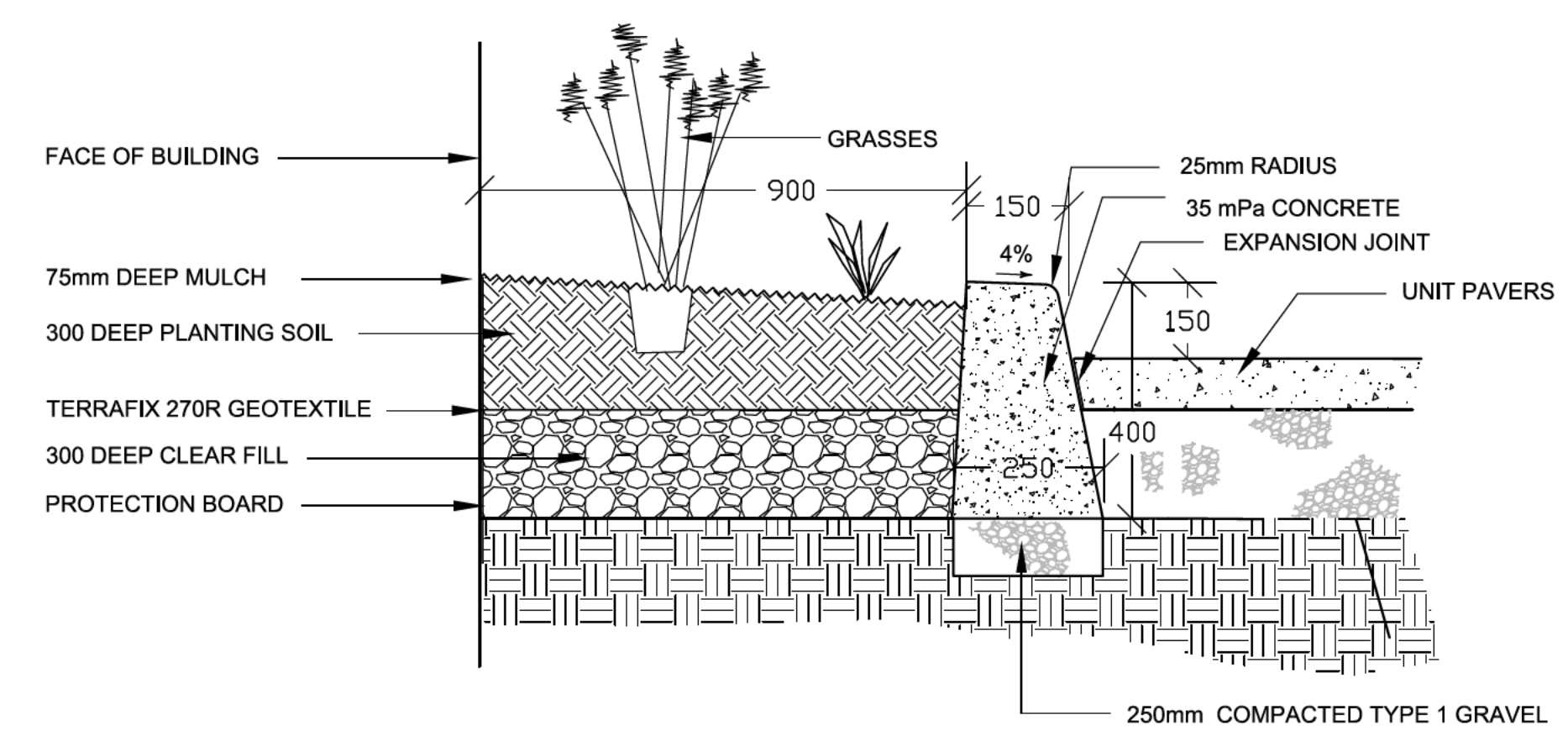
2 TIMBER GARDEN PLANTERS
L101 N.T.S.



4 PRECAST CONCRETE PAVERS ON PODIUM OR ON GRADE
L101 N.T.S.

QTY.	COMMON NAME	BOTANICAL NAME	SIZE/ CONDITION
10	TAMARIX JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA'	3 GAL. POT
13	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA KARL FORESTER	3 GAL. POT
10	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'	1 GAL. POT

LANDSCAPE NOTES:
 1. ALL PLANT MATERIAL SHALL CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION METRIC GUIDE SPECIFICATIONS AND STANDARDS
 2. ENSURE ALL PLANT MATERIAL IS KEPT WELL WATERED PRIOR TO AND AFTER PLANTING.

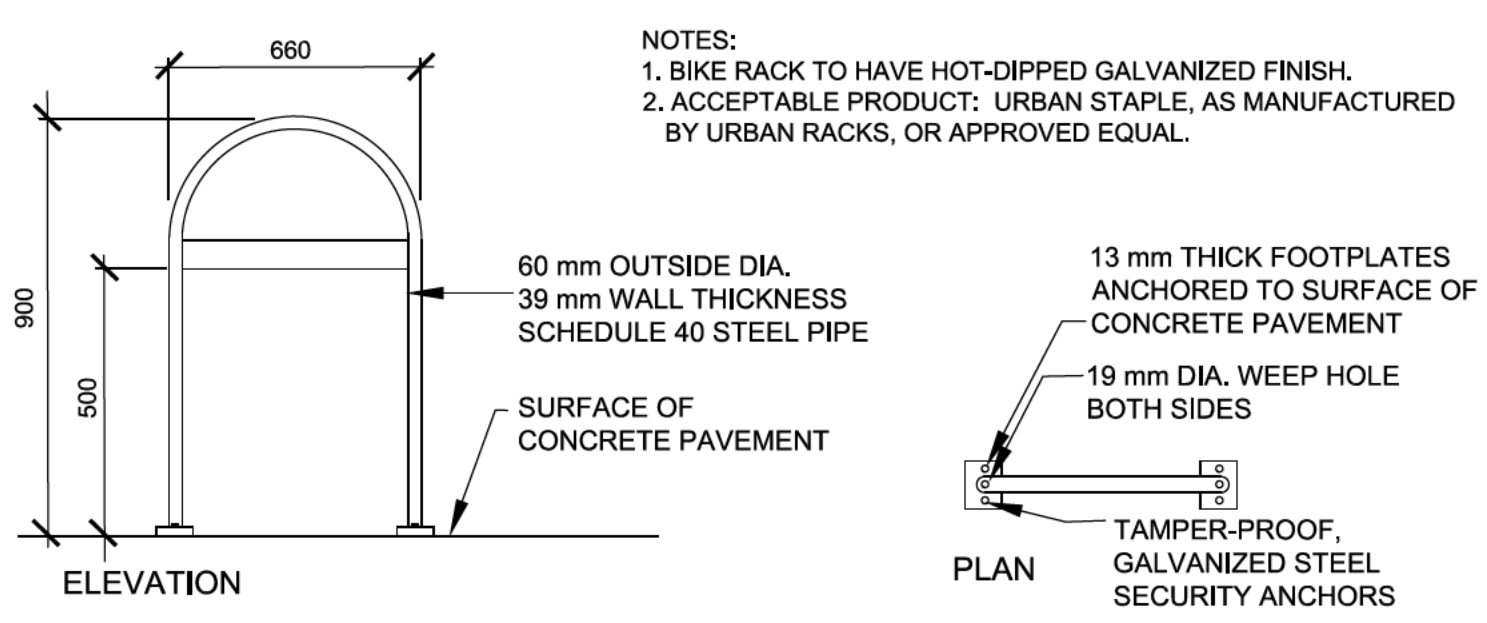


3 CONCRETE CURB AND PLANTING BED AT FACE OF BUILDING
L101 N.T.S.

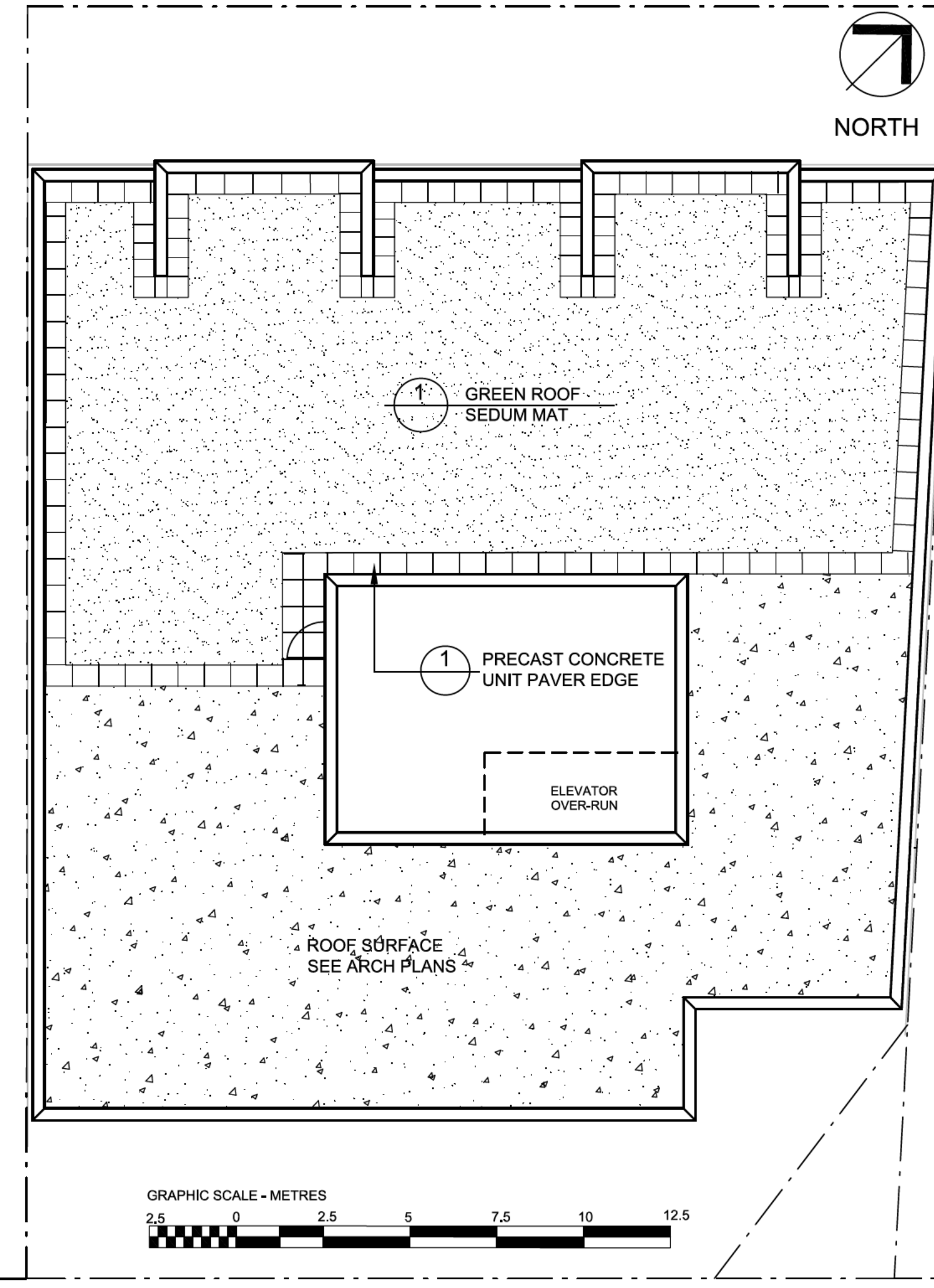
LANDSCAPE SPECIFICATIONS

- 1. QUALIFICATION OF BIDDERS**
 - THE CONTRACTOR SHALL BE A MEMBER IN GOOD STANDING OF A MEMBER ORGANIZATION OF THE CANADIAN NURSERY TRADES ASSOCIATION.
 - THE CONTRACTOR'S SITE SUPERVISOR SHALL BE A CERTIFIED LANDSCAPE TECHNICIAN.
- 2. GENERAL**
 - SITE LAYOUT HAS BEEN TAKEN FROM SITE PLAN PROVIDED BY WM FARES ON FEBRUARY 2, 2021.
 - THIS PLAN IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND CIVIL DRAWINGS. REFER TO CIVIL DRAWINGS FOR ALL PAVEMENTS, GRADING AND LAYOUT INFORMATION AND ACCURATE PROPERTY BOUNDARY DEFINITIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO READ ALL DRAWINGS, SPECIFICATIONS AND NOTES RELATED TO THIS PROJECT AND CONFIRM ALL TERMS AND CONDITIONS RELATED TO THIS CONTRACT AND TO QUESTION ANY UNCERTAINTIES PRIOR TO SUBMISSION OF QUOTATION.
 - THE CONTRACTOR SHALL VISIT THE SITE TO CONFIRM CONDITIONS. THE CONTRACTOR SHALL CONTACT THE CONSULTANT WITH QUESTIONS CONCERNING ANY UNCERTAINTY IN THE TERMS OF THE CONTRACT PRIOR TO SUBMISSION OF QUOTATION.
 - ALL LOCATIONS ARE APPROXIMATE. ACTUAL LOCATIONS SHALL BE STAKED ON SITE BY CONTRACTOR AND APPROVED BY CONSULTANT PRIOR TO COMMENCEMENT OF LANDSCAPING.
 - ALL WORK TO BE CONDUCTED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS AND BYLAWS.
 - THE CONTRACTOR SHALL NOT DISTURB EXISTING STRUCTURES, PLANT MATERIAL, LAWNS AND PAVEMENT. THE CONTRACTOR SHALL REINSTATE ANY DISTURBANCE TO THE APPROVAL OF THE CONSULTANT AT OWN COST.
 - THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT DISTURB UNDERGROUND UTILITIES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES AT OWN EXPENSE.
 - THE CONTRACTOR SHALL EMPLOY ANY MEASURES NECESSARY TO PREVENT SOIL FROM ENTERING THE STORM DRAINAGE SYSTEM. SCHEDULE WORK TO AVOID EXPOSURE OF SOIL TO RAINFALL.
 - ALL WORK SHALL BE GUARANTEED AND MAINTAINED FOR A PERIOD OF ONE YEAR FOLLOWING COMPLETION OF PROJECT AND ACCEPTANCE BY CONSULTANT.
- 3. SOILS FOR LANDSCAPING**
 - TOPSOIL SHALL BE FRAGILE SANDY LOAM WITH A SUITABLE CONTENT OF MINERAL PARTICULATE, MICRO ORGANISMS, ORGANIC MATTER AND SOIL NUTRIENTS (NITROGEN, PHOSPHORUS, POTASSIUM). FREE OF DEBRIS AND STONES OVER 1 INCH IN DIAMETER. SAND CONTENT SHALL BE 40-70%, ORGANIC CONTENT SHALL BE 20%, THE CLAY CONTENT SHALL BE 20% MAX. A SAMPLE OF THE TOPSOIL SHALL BE SUBMITTED TO THE PROVINCIAL DEPARTMENT OF AGRICULTURE FOR ANALYSIS. THE CONTRACTOR SHALL SUPPLEMENT THE TOPSOIL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOIL ANALYSIS. THE CONTRACTOR SHALL SUBMIT A COPY OF THE SOILS ANALYSIS REPORT TO THE CONSULTANT AND PROVIDE A SAMPLE OF THE TOPSOIL FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
 - PLANTING SOIL TO BE A MIXTURE OF 60% TOPSOIL AND 40% ORGANIC MATTER (COMPOST OR WELL AGED MANURE, FREE OF WEED SEED) OR APPROVED EQUAL.
- 4. PLANTING**
 - ALL PLANTING SHALL CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION METRIC GUIDE SPECIFICATIONS AND STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL PLANT MATERIAL SHALL BE TOP QUALITY AND APPROVED BY THE CONSULTANT PRIOR TO PLANTING. POOR QUALITY PLANT MATERIAL SHALL BE REJECTED. UNDERSIZED PLANT MATERIAL OR SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS APPROVED BY THE CONSULTANT.
 - ENSURE ALL PLANTS ARE DELIVERED TO THE SITE IN GOOD CONDITION. DELIVER PLANTS TO THE SITE ON THE DAY THEY ARE TO BE PLANTED. DO NOT STORE PLANTS ON SITE.
 - PLANTING TO BE IN ACCORDANCE WITH PLANTING DETAILS ON THIS DRAWING.
 - WATER PLANTS IMMEDIATELY AFTER PLANTING AND WATER THOROUGHLY ONCE EVERY THREE DAYS FOR A PERIOD OF ONE MONTH AFTER PLANTING. CONTINUE TO WATER ONCE A WEEK FOR 3 MONTHS TO MAINTAIN OPTIMAL GROWING CONDITIONS DURING THE MAINTENANCE PERIOD.
 - PLANTING AREAS SHALL BE MAINTAINED FOR A PERIOD OF ONE YEAR FOLLOWING DATE OF ACCEPTANCE. TO INCLUDE:
 - WATER WHENEVER NECESSARY TO MAINTAIN OPTIMUM SOIL MOISTURE CONDITIONS FOR THE GROWTH AND HEALTH OF THE PLANT MATERIAL WITHOUT CAUSING EROSION.
 - REMOVE WEEDS MONTHLY.
 - REPLACE OR RESPIREAD ANY DAMAGED, MISSING OR DISTURBED MULCH.
 - APPLY PESTICIDES AS REQUIRED TO CONTROL INSECTS, FUNGUS AND DISEASE. OBTAIN PRODUCT APPROVAL FROM CONSULTANT BEFORE APPLICATION.
 - REMOVE DEAD AND BROKEN BRANCHES FROM PLANT MATERIAL.
 - KEEP TREE SUPPORTS IN PROPER REPAIR AND ADJUSTMENT. REMOVE TREE SUPPORTS AT END OF MAINTENANCE PERIOD.
 - REMOVE AND REPLACE DEAD PLANTS AND PLANTS NOT IN HEALTHY GROWING CONDITIONS. MAKE REPLACEMENTS AS SPECIFIED FOR ORIGINAL PLANTINGS.
- 5. MULCH**
 - MULCH SHALL BE SHREDDED BARK AT LEAST TWO YEARS OLD AND FROM THE BARK OF SOFTWOOD TREES.
 - ALL PLANTING AREAS, AND DISTURBED AREAS NOT DESIGNATED TO BE SODDED TO BE COVERED WITH 5" OF MULCH.
- 6. BENCH**
 - BENCHES TO BE MAGLIN MODEL MLB1200-PCS COLOUR SANDSTONE OR APPROVED EQUAL.
 - BENCHES TO BE FASTENED SECURELY TO PRECAST CONCRETE UNIT PAVERS.
- 7. CLEAN UP**
 - THE CONTRACTOR SHALL CONDUCT A THOROUGH CLEAN UP FOLLOWING THE COMPLETION OF THE WORK.
 - REMOVE ALL LITTER AND UNUSED MATERIALS FROM THE SITE.
 - ALL PAVED SURFACES USED TO ACCESS THE WORK SHALL BE CLEANED TO THE APPROVAL OF THE CONSULTANT.

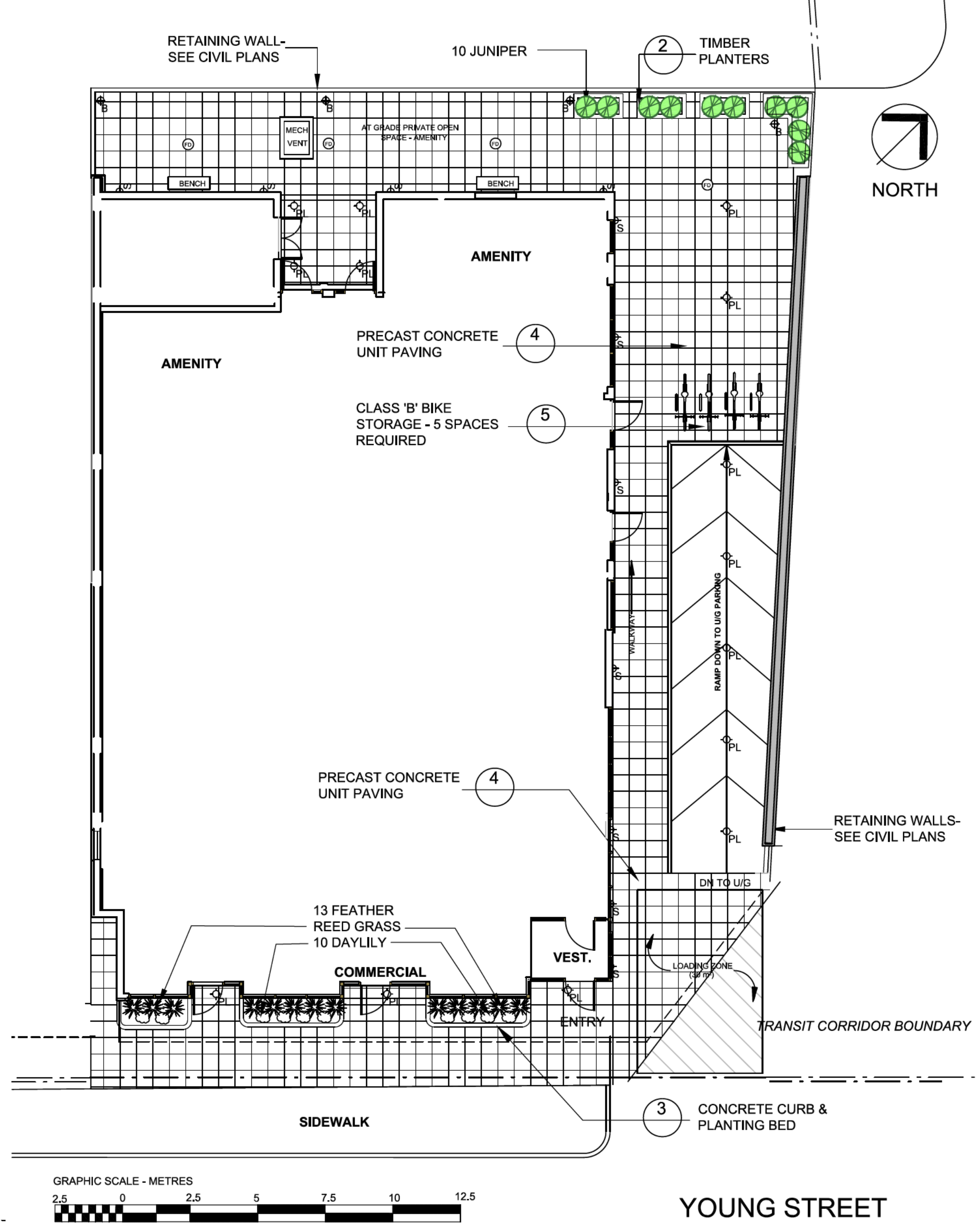
LEGEND	
	CONIFEROUS SHRUB
	ORNAMENTAL GRASSES
	PERENNIALS
	PRECAST CONCRETE UNIT PAVERS
	SEDUM MAT
	BOLLARD
	SCONCE
	RECESSED POT LIGHT



5 BIKE RACK
L101 N.T.S.



ROOF TOP PLAN



GROUND LEVEL PLAN

CLIENT:

Gordon Ratcliffe LANDSCAPE ARCHITECTS
 2055 Route 329, RR #1 HUBBARDS, NOVA SCOTIA CANADA, B0J 1T0
 TEL: (902) 478 - 3683 FAX: (902) 857 - 1108 gfa@eastlink.ca

No.	Revision/Issue	Date
1	ISSUED FOR APPROVAL	FEB. 4/21

STAMP:

GORDON RATCLIFFE

PROJECT:

6189 YOUNG ST. APARTMENT

HALIFAX, NOVA SCOTIA

DRAWING:

LANDSCAPE PLAN

SCALE:	AS NOTED	DWG. NO.	L-101
DATE:	NOV. 17, 2020		
DRAWN BY:	MDP		





PART VI DESIGN CRITERIA CHECKLIST

The Regional Centre Land Use Bylaw requires an application for Level II and Level III site plan approval, or an application for Level I site plan approval that includes a registered heritage property or a building located in a heritage conservation district include a design rationale that **identifies how** each specific design requirement contained in Part VI is:

- (a) either applicable or not applicable in the specific context of the application; and
- (b) if applicable, the manner in which it has been addressed by the design.

Please complete this checklist to satisfy this application requirement.

This checklist is intended to be used as a guide to Part VI of the Regional Centre Land Use Bylaw. Additional requirements and definitions can be found within the full document. The Regional Centre Land Use Bylaw can be found here:

<https://www.halifax.ca/about-halifax/regional-community-planning/community-plan-areas/regional-centre-plan-area>

*Please note that all diagrams referenced in this form can be found in Part VI of the Regional Centre Land Use Bylaw	
Part VI, Chapter 2: At-Grade Private Open Space Design Requirements	
Design Requirement: Contribution to Open Space Network	
<p>Section 113 Where one or more at-grade private open space(s) are proposed, at least one shall contribute to the Regional Centre’s network of open spaces by: (a) abutting an existing public open space that is not a public sidewalk; (b) abutting an existing public sidewalk; (c) abutting an existing mid-block at-grade private open space; or (d) establishing a new mid-block at-grade private open space.</p>	<p>Rationale: The propose building’s at-grade private open space is abutting the existing public sidewalk on Young Street. Refer to drawings D1 and D4.</p>
Design Requirement: At-Grade Private Open Spaces Abutting a Public Sidewalk	
<p>Section 114 At-grade private open spaces that abut public sidewalks shall provide pedestrian access by having at least one contiguous connection of not less than 2.0 metres wide, from the at-grade private open space to the public sidewalk.</p>	<p>Rationale: A pedestrian access is provided between the at grade private open space and the public sidewalk on Young Street. Refer to drawings D1 and D4.</p>

Design Requirement: At-Grade Private Open Spaces – Medium Scale	
<p>Section 115 At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall: (a) provide (i) barrier-free access, and (ii) permanent seating; and (b) provide one or more of the following materials for groundcover (i) vegetation, (ii) brick pavers, stone pavers, or concrete pavers, or (iii) wood, excluding composites.</p>	<p>Rationale: The at-grade private open space at the building’s front and rear is provided with barrier free access and permanent seating (benches), concrete pavers, and timber made planters with junipers. Refer to drawing D4.</p>
Design Requirement: Weather Protection for At-Grade Private Open Spaces – Medium Scale	
<p>Section 116 At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall offer weather protection to its users through at least one of the following (Diagram 7): (a) a new deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres; (b) canopies or awnings on abutting façades; (c) recessed entrances of abutting façades; (d) cantilever(s) of a building on the same lot; or (e) structures such as gazebos, pergolas, or covered site furnishings</p>	<p>Rationale: The at-grade private open space is partially cover by the building upper levels, in addition, each pedestrian entrance is provided with building shelter. Refer to 3D drawing D19.</p>

Design Requirement: At-Grade Private Open Spaces – Large Scale	
<p>Section 117 In addition to meeting the requirements of Sections 115 and 116, at-grade private open spaces with a contiguous area exceeding 400 square metres and with an average depth exceeding 2.5 metres, shall provide at least three of the following: (a) an additional deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres; (b) a permanent table and chair(s); (c) a public art piece, a cultural artifact, or a commemorative monument; (d) a structure such as a gazebo or pergola; or (e) a planter or planting bed.</p>	<p>Rationale: N/A</p>
Design Requirement: Existing Access to Public Open Spaces	
<p>Section 118 At-grade private open spaces shall maintain existing accesses to abutting public open spaces.</p>	<p>Rationale: N/A</p>

Design Requirement: Privacy for Grade-Related Units	
<p>Section 119 At-grade private open spaces which are 2.5 metres deep or greater, as measured perpendicularly from the streetline, and which are located between the streetline and a grade-related unit, shall provide privacy for the residential units by using a minimum of one of the following elements per grade-related unit (Diagram 8): (a) a deciduous tree that is not a shrub with a minimum base caliper of 50 millimetres; (b) a minimum of two shrubs, each no less than 1.0 metre in height; (c) planters ranging in height from 0.25 to 1.0 metres; or (d) masonry walls ranging in height from 0.25 to 1.0 metres.</p>	<p>Rationale: N/A</p>
Design Requirement: Walkways to be Hard-Surfaced	
<p>Section 120 Walkways within at-grade private open spaces shall be hard-surfaced, excluding asphalt</p>	<p>Rationale: All walkways within the up-grade open spaces are on concrete pavers hard-surface.</p>
Part VI, Chapter 3: Building Design Requirements	
Design Requirement: Streetwall Articulation	
<p>Section 121 Streetwalls shall be divided into distinct sections no less than 0.3 metres in width and not exceeding 8 metres in width, from the ground floor to the top of the streetwall, with each section differentiated by using at least two of the following (Diagram 9): (a) colour(s); (b) material(s); or (c) projections and recesses not less than 0.15 metres in depth.</p>	<p>Rationale: Street wall facing Young Street is highly articulated from the ground floor to the top by using color variation and recesses not less than 0.15metres in depth. Refer to drawing D1, D5-D7, D15, D16, D19, D20.</p>

Design Requirement: Articulation of Non-Streetwalls Fronting an At-Grade Private Open Space	
<p>Section 122 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space abutting a public right-of-way, shall meet the requirements of Section 121 as if it was a streetwall.</p>	<p>Rationale: N/A</p>
Design Requirement: Side Façade Articulation	
<p>Section 123 Where a side yard is proposed or required, the side yard façade shall continue the streetwall articulation for a depth greater than or equal to the width of the side yard, as measured at the streetline, using the same options chosen to achieve the design requirement in Section 121 (Diagram 10).</p>	<p>Rationale: N/A. However, the blank wall is highly articulated with small slab extension and multi-tone architectural panels. Refer to drawings D16, D17, D19 and D20.</p>
Design Requirement: Pedestrian Entrances Along Streetwalls	
<p>Section 124 (1) Subject to Subsection 124(2), pedestrian entrances in the streetwall shall be distinguished from the remainder of the streetwall by using at least two of the following: (a) changes in colour; (b) changes in materials; or (c) projections and recesses not less than 0.15 metres in depth</p> <p>(2) Canopies or awnings shall not be used to meet the requirements of Subsection 124(1).</p>	<p>Rationale: Pedestrian entrances in the streetwall off Young Street are distinguished with change in materials (curtain Glass Wall) and recessed not less than 0.15 metres in depth. Refer to drawings D4, D15, D19-D21.</p>

<p>Design Requirement: Pedestrian Entrances Along Non-Streetwalls Fronting an At-Grade Private Open Space</p>	
<p>Section 125 Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space, shall meet the requirements of Section 124 as if it was a streetwall.</p>	<p>Rationale: Pedestrian entrances on the rear podium at at-grade private open space are recessed not less than 0.5 metres in depth.</p>
<p>Design Requirement: Number of Pedestrian Entrances Along Streetwalls</p>	
<p>Section 126 Streetwalls shall provide: (a) a minimum of one pedestrian entrance per storefront; or (b) a minimum of 2 pedestrian entrances where the storefront is greater than 24 metres wide</p>	<p>Rationale: The streetwall facing Young Street is provided with 3 pedestrian entrances (2 for commercial storefronts and 1 for residential entrance. Refer to drawings D4 and D15.</p>
<p>Design Requirement: Ground Floor Transparency – Commercial Uses</p>	
<p>Section 127 For at-grade commercial uses in the streetwall, between 50% and 80% of the building's ground floor façade dedicated to commercial uses shall consist of clear glass glazing.</p>	<p>Rationale: The at-grade commercial uses in the streetwall are provided with 100% clear glass glazing. Refer to drawings D4 and D15.</p>

Design Requirement: Ground Floor Transparency – Grade-Related Unit Uses	
<p>Section 128 For grade-related unit uses in the streetwall, between 25% and 80% of the building's ground floor façade dedicated to grade-related unit uses shall consist of clear glass glazing.</p>	<p>Rationale: N/A</p>
Design Requirement: Access Ramps Along Streetwalls	
<p>Section 129 Where a ramp for barrier-free access is provided between a streetwall and a sidewalk, no portion of the access ramp shall exceed a width of 2.0 metres and depth of 2.0 metres.</p>	<p>Rationale: N/A</p>
Design Requirement: Weather Protection	
<p>Section 130 (1) Subject to Subsection 130(2), where entrances for commercial uses or multi-unit dwelling uses are proposed in the streetwall, weather protection for pedestrians shall be provided above the entrances and shall consist of at least one of the following (Diagram 11): (a) canopies; (b) awnings; (c) recessed entrances; or (d) cantilevers.</p>	<p>Rationale: Entrances to commercial and residential uses (entry lobby) are recessed to provide weather protection. Refer to drawings D4, D19, D20, D21.</p>
<p>(2) Subsection 131(1) shall not apply to the entrances of grade-related units</p>	

Design Requirement: Exposed Foundations and Underground Parking Structures	
<p>Section 131 Exterior foundation walls and underground parking structures the height of which exceeds 0.6 metres above grade shall be clad in a material consistent with the overall design of the same exterior façade.</p>	<p>Rationale: N/A</p>
Design Requirement: Building Top Distinction	
<p>Section 132 (1) Subject to Subsection 132(2), a portion of the top third of a building shall be differentiated from lower portions of the same building, by using two or more of the following (Diagram 12): (a) colour(s); (b) material(s); and (c) projections and recesses not less than 0.15 metres in depth.</p> <p>(2) The minimum height of the differentiated portion shall be no less than: (a) 0.5 metres in height for a low-rise building or mid-rise building; (b) 1.0 metres in height for a tall mid-rise building; and (c) 3.0 metres in height for a high-rise building.</p>	<p>Rationale: A portion of the top third of the building is distinguished by fascia-soffit band and color variation. Refer to drawing D15.</p>
Design Requirement: Penthouses	
<p>Section 133 Penthouses shall be visually integrated into the overall design of the building</p>	<p>Rationale: Mech. and Elevator Penthouse is visually integrated and concealed from the public view at streetline with a light color tone. Refer to drawings D15-D20.</p>

Design Requirement: Rooftop Mechanical Features	
<p>Section 134 Rooftop mechanical features shall be visually integrated into the design of the building and concealed from the public view at the streetline.</p>	<p>Rationale: Rooftop mechanical units (HRV) will be visually integrated and concealed from the public view at the streetline.</p>
Part VI, Chapter 4: Parking, Access, and Utilities Design Requirements	
Design Requirement: Pedestrian Connections	
<p>Section 135 Where pedestrian connections are proposed on the site, at least one shall connect (Diagram 13): (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the site.</p>	<p>Rationale: One pedestrian connection on site connects Young Street (public Street and Sidewalk) to the building's up-grade private open space. Refer to drawing D1.</p>
Design Requirement: Pedestrian Connections Through Accessory Surface Parking Lots	
<p>Section 136 (1) Pedestrian connections within accessory surface parking lots shall be no less than 2.0 metres wide.</p> <p>(2) Pedestrian connections within accessory surface parking lots shall be delineated by raised walkways, no less than 0.15 metres high, and consisting of: (a) poured concrete; (b) brick pavers; (c) stone pavers; or (d) concrete pavers.</p> <p>(3) Where a pedestrian connection crosses a driving aisle, the surface of the aisle shall be raised to meet the elevation of the abutting pedestrian connection and delineated with a change of colour or material from the driving aisle.</p> <p>(4) A pedestrian connection shall provide a direct route between parking areas, building entrances, and the nearest sidewalk.</p>	<p>Rationale: N/A (No surface parking).</p>

Design Requirement: Motor Vehicle and Service Accesses	
<p>Section 137 (1) Motor vehicle and service accesses in the streetwall shall be minimized by using the same colours or materials chosen for the streetwall.</p> <p>(2) All motor vehicle and service accesses shall: (a) not exceed the height of the ground floor or 4.5 metres, whichever is less; and (b) be completely enclosed with a door(s)</p>	<p>Rationale:</p> <p>Motor vehicle and service access is completely minimized. Refer to D4.</p> <p>All motor vehicle and service access does not exceed the height of the ground floor, and it is completely enclosed with an O/H Door at Parking Level P1. Refer to D3 and D4.</p>
Design Requirement: Parking Internal to a Building or Within a Parking Structure	
<p>Section 138 Where parking internal to a building is located within the streetwall, it shall be screened from public view from any public right-of-way or park.</p>	<p>Rationale:</p> <p>N/A</p>
Design Requirement: Visual Impact Mitigation for Utility and Mechanical Features	
<p>Section 139 The visual impact of utility features and mechanical features, including vents and meters, shall be minimized by concealing them from public view at the streetline by: (a) using opaque screening; or (b) enclosing them within a projection or recess in the building.</p>	<p>Rationale:</p> <p>All mechanical units or features at up-grade open private space will be located at the rear podium and will be minimized by concealing the units with decorative Zen style features.</p>

Design Requirement: Heat Pumps and Other Heating and Ventilation Equipment for Individual Units

<p>Section 140 Heat pumps and other heating and ventilation equipment for individual units are permitted on balconies, unenclosed porches, and verandas if they are concealed from public view at the streetline by: (a) using opaque screening; or (b) enclosing them within a projection or recess in the building.</p>	<p>Rationale: N/A. No heat pumps nor mechanical units on balconies.</p>
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Part VI, Chapter 5: Heritage Conservation Design Requirements

Design Requirement: Conservation of Character-Defining Elements

<p>Section 141 Character-defining elements of registered heritage buildings shall be conserved and remain unobstructed.</p>	<p>Rationale: N/A</p>
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Design Requirement: New Windows and Doors

<p>Section 142 New window and door openings on registered heritage buildings shall match established patterns (materials, design, detail, and dimensions).</p>	<p>Rationale: N/A</p>
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Design Requirement: Preservation of Architectural Elements	
<p>Section 143 Architectural elements on registered heritage buildings shall be preserved, such as pilasters, columns, cornices, bays, and parapets.</p>	<p>Rationale: N/A</p>
Design Requirement: Use of Archival Evidence	
<p>Section 144 Archival evidence shall be used to support the rehabilitation and restoration of character-defining elements on registered heritage buildings, or on registered heritage properties.</p>	<p>Rationale: N/A</p>
Design Requirement: Historic Building Façades	
<p>Section 145 Historic building façades on registered heritage buildings shall be retained and rehabilitated, or restored using traditional materials.</p>	<p>Rationale: N/A</p>

Design Requirement: Materials	
Section 146 Brick or masonry façades shall be maintained and restored on registered heritage buildings. The painting of brick or masonry façades is prohibited.	Rationale: N/A
Design Requirement: Maintenance of Same or Similar Cornice Line Height for New Developments in a Heritage Context	
Section 147 The podiums or streetwalls of new developments in a heritage context shall maintain the same or similar cornice line height established by abutting registered heritage buildings, except where the maximum streetwall height permitted under the Land Use By-law is lower than the cornice of the registered heritage buildings.	Rationale: N/A
Design Requirement: Streetwall Stepback for Taller Portions of New Developments in a Heritage Context	
Section 148 Subject to Subsection 93(4), any portions of new developments in a heritage context that are taller than the cornice line of an existing abutting registered heritage building shall be stepped back from the streetwall (Diagram 14).	Rationale: N/A

Design Requirement: Side Wall Stepback for Taller Portions of New Detached Buildings in a Heritage Context

Section 149 Where a detached building constitutes a new development in a heritage context and where it abuts the same streetline as the registered heritage building, any portions of the new development that are taller than the cornice line of the registered heritage building shall be stepped back 3 metres on the side that abuts the heritage building (Diagram 15).

Rationale:
N/A

Design Requirement: Architectural Elements of Existing Heritage Buildings to be Used as a Reference in the Design of New Development in a Heritage Context

Section 150 Architectural elements of existing abutting registered heritage buildings shall be used as a reference in the design of new development in a heritage context, by: (a) Incorporating articulation established by vertical and horizontal architectural elements of the registered heritage buildings (i.e. columns, pilasters, cornice, architectural frieze, datum lines, etc.); (b) Incorporating proportions and vertical spacing of the registered heritage buildings' windows; and (c) Where new development in a heritage context is located at the ground level, maintaining the proportions and transparency of the registered heritage buildings' storefront and façade elements

Rationale:
N/A

Design Requirement: Awnings and Canopies	
<p>Section 151 (1) If proposed on a registered heritage building, awnings and canopies shall be:</p> <p>(a) Designed to fit within the dominant horizontal structural elements of the lower façade and not obscure significant architectural features; (b) Located between vertical columns or pilasters to accentuate and not to obscure these elements; (c) Designed to complement the fenestration pattern of the registered heritage building; and (d) Constructed using heavy canvas fabric or similar material in either a solid colour or striped. The use of retractable awnings is encouraged. Vinyl and high gloss fabrics and internally-illuminated awnings shall be prohibited.</p> <p>(2) Metal or glass awnings or canopies may be permitted on a registered heritage building, if designed to complement historic architectural elements.</p>	<p>Rationale:</p> <p>N/A</p>
Design Requirement: Lighting Hardware	
<p>Section 152 Lighting hardware shall be located so that it does not disfigure or conceal any significant architectural feature of the registered heritage building. Where it is not possible to hide lighting hardware, it shall be compatible with the building's architecture and materials.</p>	<p>Rationale:</p> <p>N/A</p>

Design Requirement: Directing Lighting to Accentuate or Emphasize Architectural Features or Signage	
<p>Section 153 Lighting shall be directed to accentuate or emphasize the architectural features of registered heritage buildings or their signage.</p>	<p>Rationale: N/A</p>
Part VI, Chapter 6: Other Design Requirements	
Design Requirement: General Lighting	
<p>Section 154 The following features shall be illuminated: (a) common building entrances; (b) walkways; (c) accessible at-grade private open space; (d) parking lots; and (e) off-street loading spaces.</p>	<p>Rationale: Led lighting (bollards, Sconces and Recessed Pot Lights) are provided at common building entrances on Young Street, walkways, and at grade private open spaces. Refer to drawing D4.</p>
Design Requirement: Emphasis of View Terminus Sites	
<p>Section 155 View terminus sites, as shown on Schedule 5, shall be emphasized perpendicular to and visible from a view line, by at least one of the following approaches: (a) subject to Subsection 93(5), extending the height of a portion of the streetwall (Diagram 16); (b) locating a clock tower, bell tower, rooftop cupola, spire, steeple, or minaret on the top of the building (Diagram 16); (c) providing an at-grade private open space (Diagram 17); or (d) locating a public art installation, a landmark element, or a cultural artifact on a portion of the streetwall, or in an at-grade private open space (Diagram 17).</p>	<p>Rationale: N/A</p>

Design Requirement: Parking Areas, Accessory Surface Parking Lots, Off-Street Loading Spaces, and Site Utilities on View Terminus Sites	
Section 156 Parking areas, accessory surface parking lots, off-street loading spaces, or site utilities shall not be visible within a view terminus as shown on Schedule 5.	Rationale: N/A