

2440 AGRICOLA STREET

Excavation and Construction

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Job No. 35288

CONSTRUCTION MANAGEMENT PLAN

0	AUG 2020	ISSUED FOR REVIEW
REVISION #	DATE	DESCRIPTION



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Section 1: Introduction

1.1: Project Description and Objectives

Whimsical Lake Developments are proposing to redevelop the consolidated lands of 2440 Agricola Street. Their development comprises of a 36-unit residential building made up of 4 residential levels with 3,743SF. of ground floor commercial and a small basement level for building services. The land previously housed three buildings situated on 3 lots which were consolidated post demolition. This CMP has been prepared to address excavation, services and building construction; demolition of the existing buildings was completed and addressed under separate CMP.

The construction site is located on Agricola Street, between Roberts Street and West Street on the southbound side of the street. Bordering the project to the south, west and north are residential buildings; the northern property also has a commercial area on the ground floor. Across the street is a mix of residential and commercial buildings housing businesses' such as Sattva Boutique clothing store, Amos Wood furniture and Pro-Dent Laboratory. Agricola Street has sidewalks on both sides which experiences regular traffic flow; there are marked crosswalks north of the project at the intersections of Charles and Agricola and a marked crosswalk south of the project at West and Agricola.

Where the building is planned to be set in close proximity the property line, for public safety during site excavation and construction, we are proposing to hoard off the sidewalk and five on-street parking spaces directly adjacent to the project. The centreline will be altered allowing space for a temporary on street pedestrian route around the hoarded area to maintain pedestrian access on both sides of Agricola Street. Unmetered on street parking spaces directly adjacent and across the street from the project will be temporarily closed to accommodate the altered street centerline.

This CMP document is intended to be an evolving document to help guide the project team to mitigate impacts to the adjacent community before they arise and to address unforeseen issues. SDMM, together with the developer, contractor, and traffic control company, have prepared this Construction Management Plan (CMP) following HRM's CMP (2020) guidelines and administrative order (2018-005-ADM) in an effort to reduce potential negative impacts on the surrounding community, due to construction activities for this project.

The most up-to-date version of this document will be kept on-site at all times during construction. Should ownership or contracting services change throughout the course of this project, HRM will be notified immediately and new parties will be required to comply with the approved CMP in writing.

1.2: Project Contact Information

The project team for the proposed development consists of:

Role	Name	Contact	Address	Phone
Developer	Whimsical Lake Developments	Fred Ghosn	36 Brookshire Court, Suite 15, Bedford, NS B3M 2T7	(902) 877-0054 24 Hr Emergency Contact
Site Contractor	S. Jollimore & Sons Excavation Limited	Jeff Jollimore	79 Burkes Road, Shad Bay, NS B3T 2B4	(902) 456-5124
Traffic Control Company	Frontline Traffic Services	Phil Pruneau	6 Belmont Avenue, P.O. Box 89 Eastern Passage, NS, B3G 1M7	(902) 818-5548
Rodent Control Company	Rentokil Pest Control		51 Duke Street, Bedford, NS B4A 2Z2	(902) 835-2304

Section 2: Project Schedule and Logistics

The following is a brief summary of anticipated major project milestones broken down by phase:

2.1: Schedule

Project Phase	Start Date		End Date	Time Period
Rodent Control Program	Jul 1, 2020	-	Oct 31, 2020	7 Months
Demolition	complete	-	complete	n/a
Excavation	Sept 1, 2020	-	Sept 30, 2020	1 Month
Substructure	Oct 1, 2020	-	Nov 30, 2020	2 Months
Superstructure	Nov 1, 2020	-	Oct 31, 2021	13 Months
Flat Works	Aug 1, 2021	-	Sept 1, 2021	1 Months
Service Install & Abandonments	July 1, 2021	-	July 31, 2021	1 Month

2.2: Key Dates

- Take-over of encroachment: September 1, 2020
- Finish encroachment: September 1, 2021

The encroachment area is shown in the appendix; and is planned to be closed for approximately 1 year.

2.3: Hours of Work

Work will generally take place during normal working hours as outlined in HRM's Noise By-Law and Traffic Control Manual Supplement; these are noted below.

- Monday to Friday: 7:00 a.m. – 9:30 p.m.
- Saturdays: 8:00 a.m. – 7:00 p.m.
- Sundays & Statutory Holidays: 9:00 a.m. – 7:00 p.m.
- Servicing Work: (Weekend days only)

Although work is not expected to be required outside of the times listed above, if, for any reason, work is anticipated to be required outside of these hours, the contractor will apply to HRM for approval 5 business days (minimum) in advance of such work and obtain approval prior to proceeding. It is noted that HRM's Noise By-Law cannot be altered without HRM council approval; work must adhere to the Noise By-Law.

Section 3 – Relevant Regulations & Guidelines

3.1: Occupational Health & Safety Regulations

This CMP shall be utilized in agreement with all applicable Provincial and Federal Occupational Health and Safety Regulations. At a minimum, construction activities must at all times meet the standards of:

- National Building Code of Canada, as adopted and modified under the Building Code Act and the Nova Scotia Building Code Regulations made under that Act;
- Nova Scotia Occupational Health and Safety Act, and the Nova Scotia Occupational Safety General Regulations made under that Act;
- The Transportation Association of Canada (TAC)'s Manual of Uniform Traffic Control Devices for Canada (MUTCDC); and
- Nova Scotia Temporary Workplace Traffic Control Manual (NSTCM).

3.2: Municipal Regulations & Guidelines

In addition to the Provincial and Federal standards referenced in Section 3.1, this CMP shall be utilized in agreement with and meet, at a minimum, the standards of all relevant municipal by-laws including, but not limited to, the following:

- e) S-300 Streets;
- f) E-200 Encroachments;
- g) B-201 Building;
- h) N-200 Noise;
- i) T-600 Trees;
- j) S-900 Controlled Access Streets;
- k) T-400 Truck Routes;
- l) W-101 Discharge into Public Sewers;
- m) B-600 Blasting; and
- n) HRM TCM Supplement.

Section 4: Vehicle Management

Prior to any construction activity, all temporary workplace traffic control devices and signage will be in place as per the Nova Scotia Temporary Workplace Traffic Control Manual (latest edition). The traffic control company will install the signage and ensure that they are maintained throughout the project. This project's Traffic Control Plans (TCPs) are listed in the Appendix.

4.1: Vehicular Traffic Control

A Traffic Control Plan (TCP) has been prepared by the traffic control company and is provided in the Appendix.

Throughout all phases of construction two-way vehicular traffic will be maintained. While services are installed, and service abandonments are addressed temporary lane closures will be required, with stop and go traffic controlled by on site personnel. These lane closures are anticipated to be short duration during pipe work installation while respecting peak hour traffic restrictions.

4.2: Haul Route and Staging Areas

The truck Haul Route Plan has been prepared by the traffic control company and is provided in the appendix. The selected route is intended to minimize traffic congestion and maximize pedestrian safety. During the excavation and construction vehicles will enter and exit the site at the gate locations which will be clearly marked for function.

Material and concrete deliveries shall be contained within the encroachment area. We anticipate delivery trucks either driving into the encroachment via north gate or backing with spotter from the south gate.

4.3: Vehicular Traffic Notifications

Should any traffic disruptions be required, notifications will be distributed to properties in the impacted area a minimum of five (5) days in advance of vehicular traffic closures.

4.4: Emergency Vehicles

In the event of unforeseen emergency situations, the site will remain accessible to emergency vehicles at all times.

4.5: Parking

Five (5) unmetered on street public parking spaces adjacent to the project on Agricola Street will be occupied by the encroachment and nine (9) unmetered on street parking spaces will be closed due to the altered centreline.

It is noted that passenger vehicles are not permitted to park within any encroachment areas.

To minimize parking requirements in adjacent neighbourhoods, on-site workers will rent parking spaces from the adjacent parkade structures and workers will be encouraged to carpool or rely on public transit. Once the project's underground parkade has been constructed, some on-site workers will park in the parkade.

4.6: Bus Stops

There is no bus service travels along Agricola street near the project site.

4.7: Hazard Assessment

A vehicular and pedestrian hazard assessment is provided in the appendix. Any additional site hazards identified or encountered after work has commenced will be added to this list. All personnel on-site will be required to review this list and encouraged to identify additional potential hazards and hazard mitigation methods.

Section 5: Pedestrian Management

A Pedestrian Management Plan (PMP) has been prepared by the traffic control company and is provided in the appendix.

Throughout excavation and construction, the project will close the sidewalk and on street parking adjacent to the development. This is to ensure that limits of excavation and building construction are a safe distance from pedestrians with an alternate on street sidewalk available around the hoarded area. This pedestrian route will have a temporary asphalt ramp installed near civic 2436 to allow pedestrians to transition from the street to the sidewalk. To maintain public safety traffic control workers will temporarily stop pedestrian traffic to the protected sidewalk lane while construction vehicles enter and exit through the project site gates. Construction barrels will be used to block project gates and cones will be placed to direct pedestrian traffic flow to the protected sidewalk.

5.1: Pedestrian Protection

Pedestrians will be protected by distancing them from the project, F-type concrete barriers with opaque rigid fencing mounted above shall delineate the encroachment area. F-type concrete jersey barriers will also be positioned on the street demarking the protected, on-street sidewalk separating the pedestrians from vehicle traffic. Construction barrels will be used to block project gates directing pedestrian traffic flow to the protected sidewalk.

5.2: Pedestrian Safety

Pedestrian safety will be maintained by implementing appropriate signage as shown on the PMP. All navigation and safety signage indicating alternative sidewalks and potential hazards will be inspected and maintained regularly.

5.3: Pedestrian Traffic Notifications

Notifications will be distributed to properties in the impacted area a minimum of five (5) days in advance of pedestrian traffic impacts.

5.4: Visually Impaired Persons

In keeping with Canadian National Institute for the Blind (CNIB) requirements and as outlined on their 'Clearing Our Path' website; various items will be incorporated into the pedestrian management signage and barriers. Such as, high visibility contrasting colours with appropriate font types (mix of upper and lower-case lettering), font sizes (between 16mm to 51mm) and sign colours (orange background with black lettering or white background with black lettering).

The contractor will use bright orange sawhorse barricades complete with bold-font signage to identify sidewalk termination points. Reflective tape will also be placed on the ends of fencing, hoarding, sawhorse barricades, and concrete barriers to help delineate pedestrian routes and disruptions. Signage and tape colours will vary but will comply with the colour/brightness contrast as outlined by the CNIB website; examples are black/white, orange/black or dark red/white combinations.

5.5: Accessibility

High visibility signage will be used to assist pedestrians to easily navigate through the pedestrian route.

5.6: Hazard Assessment

A vehicular and pedestrian hazard assessment is provided in the appendix. Any additional site hazards identified or encountered after work has commenced will be added to this list. All personnel on-site will be required to review this list and encouraged to identify additional potential hazards and hazard mitigation methods.

Section 6: Encroachments & Disruptions

For public safety during site excavation and building construction we are proposing that the project compound incorporate the public sidewalk and the un-metered on-street parking spaces. The closed sidewalk will move pedestrians to the 1.5m protected sidewalk around the hoarded area on Agricola street. Concrete barriers along either side of the protected sidewalk will delineate the project encroachment while separating pedestrians from vehicle traffic. These barriers are planned to be interlocking F-type concrete barriers, those next to the project will incorporate opaque fencing mounted on top.

Throughout the project, fencing will not obstruct vehicle sight lines.

Should any utility or traffic disruptions be required, the contractor will first apply to HRM for approval, a minimum of five (5) business days in advance of such work and will then notify neighbours of these disruptions in a timely fashion.

6.1: Demolition

The demolition phase is complete and described under separate CMP document.

6.2: Site Excavation

This includes the excavation and removal of common site material. If bedrock is found, the contractor will apply for a blasting permit and adhere to the HRM blasting by-law and conditions of the blasting permit. Alternatively, if a blasting permit can not be obtained the site's bedrock will be broken by a series of rock breakers to reach footing elevation.

6.3: Site Services Connection

This includes installation of new water and sewer laterals to their respective mains as well as decommissioning existing laterals which will be abandoned. The service installs will require modifications to the encroachment with temporary workplace signage incorporated (refer to the Service Installation Traffic Control Plans (TCP) in the appendix). The target dates for this work are provided in the "Key Dates" section above with time of installations adhering to the Noise By-Laws noted above. The intent will be to complete this servicing work and reinstate the street as quickly as possible in order to minimize disruptions to the public. HRM requires the service work be limited to a series of weekends only and must be completed during the month of July or August when traffic volumes are lighter. Please refer to the project schedule above.

Before scheduling site services connections, the contractor will notify all neighbouring properties, of the intended timeline for this work.

The contractor intends to reinstate the street cut during the season of work. It is noted that street cuts cannot be left gravel or open. HRM reinstatement specifications must be met and the travel way must be hard surfaced prior to reopening to the public. Asphalt, concrete curb and sidewalk reinstatement must be completed within 72 hours of disturbance and will be considered temporary if reinstated after October 31st or prior to May 1 in which case permanent reinstatement will be completed by June 15.

6.4: Construction Management Plan Element Inspection and Maintenance

Construction management plan elements will be inspected daily to ensure continued adherence to this CMP. Any deficiencies identified will be reinstated immediately. A CMP's TCP & PMP inspection report summary will be completed for the project, including information on what maintenance activities were conducted. This report must be kept on site at all times and be available to HRM upon request.

Refer to the TCP & PMP inspection report in the appendix.

6.5: Changes to the Construction Management Plan

Any required changes or modifications to the approved CMP will be submitted to HRM for review and approval prior to implementation.

Section 7: Environmental Factors

7.1: Damage to HRM Infrastructure

Existing sidewalks within the encroachment area will be completely replaced. It is anticipated that the sidewalks on both sides of the street will be impacted by service installation. However, while efforts will be made to avoid damage, it is anticipated that additional portions of existing curbs, gutters, and sidewalks may become damaged during the construction process which would require repairs or replacement. Pending HRM's review prior to and after construction and subject to damage due to construction activities, the developer acknowledges that items may require to be fully replaced rather than repaired. The developer also acknowledges that any costs incurred to repair or replace this public infrastructure are the responsibility of the owner. For reinstatement timeline requirements, please see the "Site Services Connection" section above.

7.2: Protection of Trees

There are not any existing street trees in the public right-of-way directly adjacent to the project site. HRM street trees are not proposed to be removed as part of this project. It is noted that HRM street trees shall not be touched prior to approval and/or compensation agreements between the developer and HRM Urban Forestry are in place. Adjacent street trees are to be protected during construction in accordance with the HRM Tree Bylaw (T-600). Refer to HRM tree protection detail in the appendix.

7.3: Line Painting and Temporary Crosswalks

An altered centreline is planned for this project. Refer to the line painting plan in the appendix.

7.4: Street and Right-of-Way Cleaning

The portion of public street adjacent to the project will be cleaned daily of any debris from trucks and silt, dirt, or rock that migrates beyond the encroachments. A sweeper truck will be utilized as required. Rock pads will be installed and maintained at all entrances to trap sediment.

7.5: Protection from Inclement Weather

To protect the public from construction debris during inclement weather, the project site will be enclosed by fencing complete with dust control covering, upper levels of the new building will be regularly cleaned, and loose items throughout the project site will be secured when not in use.

7.6: Storm Water Management

During construction, nearby catch basins will be fitted with filter fabric to prevent debris from entering the storm system. Storm water collected inside the project site will be directed into temporary sediment settling ponds to allow clean water to be pumped into the existing public storm water system in accordance with HRM By-law W-101 complete with appropriate fees to Halifax Water (HW). Sediment ponds will be positioned as desired by the site contractor however will generally be placed in localized low points within the building site excavation.

7.7: Noise, Dust and Emission Control

The contractor will at all time adhere to the HRM Noise Bylaw (N-200). No work will take place on the project site outside those hours identified in section 2 of this report.

Dust mitigation for this project will be achieved using rock pads for trucks exiting the site. A water truck and sweeper truck will also be utilized to help prevent dust from becoming airborne and, when required, calcium may need to be used to mitigate dust migration. Additionally, mesh on the inside of the fencing will help to contain any airborne dust inside the site.

Breaking of rock may occur for footing, foundation and to clean the surface of the rock face wall. Mesh will be used on the inside of all construction fencing to mitigate dust control.

All construction vehicles will be required to use the loading area for parking and idling to keep exhaust emissions within the construction zone. Vehicles will be staged so that idling will not occur for more than 3 minutes at a time, unless the motor vehicle motor is required to run to complete the work.

As indicated above, all work shall be completed in accordance with the HRM Noise By-Law.

7.8: Rodent Control

Rodent movement increases during construction activities. The owner has engaged a rodent control company, who has established a Rodent Control Plan (RCP) to help mitigate rodent movement prior to and during construction. The RCP applies to all project phases with the goal of preventing movement of rodents off-site to find safe refuge in adjacent areas. The RCP will consist of a baiting and monitoring program. Bait stations (traps) will be placed as outlined in the NPMA Pest Management Standards for Food Processing & Handling Facilities.

The RCP will be engaged 1 month prior to the commencement of the demolition phase to help to lower the number of active rodents in the project area. Bait stations will be secured in their locations using wooden stakes (for open sodded and dirt locations), weighted patio stones (behind walls and on paved areas), and zip-ties (fixed to fences) as per typical industry standards.

Refer to the appendix for a copy of the Rodent Control Plan.

Section 8: Site Protection & Hoarding

8.1: Barriers, Fences, and Gates

The encroachment hoarding will be delineated using concrete barriers with fencing mounted above (1.8m (6ft) total height of concrete barrier and fencing structure). These barriers will be positioned on the street separating the public from the construction site. This reach of fencing will be covered with a translucent dust control mesh of high quality which will extend a minimum 3m from the public right-of-way. This screening is described in the appendix and will block passersby or tourists view of the construction site. Construction traffic will utilize the proposed gates. F-type concrete jersey barriers will define the edge of the protected sidewalk which will be a 1.5m wide access route positioned on the street allowing safe passage around the site's encroachment.

Along the private sides where non-vehicular traffic is present, the hoarding will be delineated by rigid modular 1.5m (5ft) high fencing or existing fencing where at least 1.5m tall. Where vehicular traffic is present on private property adjacent to an excavation, the site will be delineated with 1.8m (6ft) tall rigid modular fencing complete with a row of concrete barriers behind fence. All fencing will have dust control mesh.

The F-type barriers and fencing that define the encroachment will adhere to the Encroachment Plan which is to scale includes dimensions and can be found in the appendix. These areas can be measured for the administering of applicable fees. Encroachment areas and fees will be based on the areas within the public right-of-way enclosed by the barriers and fencing.

Installation of F-Type concrete barriers, fencing and covering will take place during regular working hours as noted above. This work will be scheduled by the contractor after the HRM's pre-construction meeting has been held. HRM will coordinate this pre-construction meeting; the developer, contractor and traffic control company will attend this site meeting. During the process of erecting and tearing down the traffic barriers, fencing and opaque covering defining the encroachment, traffic control elements will be implemented as per the Barrier Installation Plan in the appendix. All work and any traffic interruptions will be coordinated by the contractor who will notify HRM a minimum of five (5) business days before work is scheduled to begin.

8.2: Snow Removal

It will be the contractor's responsibility throughout all construction phases to keep all temporary sidewalks clean and free of snow and ice. The contractor will not dump snow or ice onto adjacent property and will truck snow off site as required to prevent the unsafe build-up of snow piles.

The contractor will be responsible to remove snow and ice as required to ensure that emergency access is maintain to the project site, this includes fire hydrants, along with existing and proposed fire department connections (Siamese connections).

8.3: Emergency Access & Egress

The site will be accessible through gates. These gates are the only locations that will receive equipment/materials during construction and will be locked at all times after work hours. In cases of emergencies, on-site workers will exit the project site through these gates. These gates will remain unlocked at all times when workers are on site in case of emergency allowing unrestricted emergency response units access to the site.

Any existing fire hydrants located adjacent to the site will remain protected from construction activities. These fire hydrants, along with the existing and proposed fire department connections (Siamese connections) will be accessible to firefighters throughout all phases of the project.

8.4: Hoarding Aesthetics

The owner will place advertisements on the opaque hoarding and is interested to hear more regarding encroachment fee reduction.

8.5: Sight Lines

Rigid fencing and signage will be installed as per the CMP drawings such that vehicle sight lines are maintained around corners.

8.6: Project Information and Contacts

To encourage communication between the project team and the public, contact information will be provided on Project Information Boards; these will be posted prominently around the project site on the fencing; refer to the appendix for a copy of the Project Information Board and the Encroachment Plan for the planned locations.

Section 9: Lifting, Hoisting, and Crane Operations

9.1: Crane Use Overview

A tower crane will not be used for this project. Lifting and lowering of staging, shoring and materials are anticipated to utilize a mobile truck crane, refer to appendix for crane truck schematic. Concrete placement will be facilitated by a concrete pump truck, refer to appendix for concrete delivery schematic. Where lifting operations are required within the public realm the area will be closed to access in accordance. In all cases of lifting, extreme care will be used to ensure public and worker safety.

9.2: Transport Canada and Nav Canada Regulations

There are two registered aerodromes in the Halifax region; Halifax International Airport and Canadian Forces Base Shearwater Airfield. According to Transport Canada regulations, the project site is outside of the lands to which regulations for these two aerodromes apply.

Section 10: On-Site Safety and Security

10.1: Site Safety and Security Overview

The contractor will adhere to all Occupational Health & Safety requirements throughout the completion of this project. At a minimum, the following safety protocols will be utilized to further enhance site safety and security:

- a) All workers will be required to have proof of up-to-date safety training;
- a) Personal protective equipment (PPE) will be required for all personnel on site;
- b) Adequate signage will be placed outside the hoarding, which will warn of hazards that may exist;
- c) Gates will be locked and the perimeter fencing secured to provide security against public access during off work hours and will be monitored during operation;
- d) Hoarding will clearly state “No Trespassing – Construction Personnel Only” & PPE requirements will be clearly identified (e.g., “Hard Hats and Safety Footwear Must Be Worn Beyond This Point”);
- e) Regular safety inspections will be conducted to ensure suitability of hoarding and other safety devices;
- f) Emergency contact information to be prominently posted as per the Project Information Board.

10.2: Material Handling: Loading, Unloading, Delivery and Storage

The contractor will adhere to the procedures stipulated in the Haul Route Plan for delivery of materials. Delivery vehicles will use the designated gates for entry and exit. Timing of deliveries will be coordinated to have the least possible negative impact on regular traffic. The staging and delivery area will be housed on private property within the hoarding limits.

10.3: Emergency Access & Egress

The site will be accessible through gates to facilitate construction vehicle access. This gate is the only locations that will receive equipment/materials during construction. This gate will be clearly marked for function. In cases of emergencies, on-site workers will exit the project site through these gates. These gates will remain unlocked at all times when workers are on site in case of emergency allowing unrestricted emergency response units access to the site. Gates will be locked and secured after hours to provide security against public access during off work hour. Emergency contact information will be posted on project information boards surrounding the site, refer to the encroachment plan for details.

10.4: Security Site Lighting

Security site lighting is not required for this project.

10.5: Smoking Areas

On site smoking areas will not be provided as this will be a smoke-free site.

10.6: Fire Suppression Systems

Access to existing adjacent fire suppression systems will be maintained throughout construction. The adjacent existing fire hydrants will remain outside the encroachment area however will be protected from construction activities. These fire hydrants will be accessible to firefighters throughout all phases of the project.

There are no proposed fire department connections at this stage of the project. These are not available for fire department use until after the building's water supply lines have been installed, tested and commissioned by the water commission, similar with the fire suppression system. This system will not be active until after the building is near complete and the encroachment fencing has been removed.

Section 11: Pre-Construction Consultation & Meeting

11.1: Pre-CMP Community Consultation

Due to the current pandemic, the developer will forego the community consultation meeting. A construction notification letter will be delivered to the properties neighbouring the construction site, notifying them of the expected work with contact information for questions and feedback. A map indicating these properties has been included in the appendix.

11.2: Project Information and Contacts

To encourage communication between the project team and the public, contact information will be provided on Project Information Boards; these will be posted prominently around the project site on the fencing; refer to the appendix for a copy of the Project Information Board and the Encroachment Plan for the planned locations. Information on signage size and materials is outlined in the appendix.

11.3: Preconstruction Meeting

Prior to construction the developer, contractor and traffic control company will attend a pre-construction meeting with HRM staff to review the CMP document on site. HRM's engineering technician will confirm the date and time of this meeting after the initial encroachment fees are paid by the developer to HRM; and may advise to waive the requirement.

11.4: Construction Notification

Approximately five (5) business days prior to the encroachment, an additional notification will be circulated to the neighbouring properties, notifying them that work is starting on site.

Section 12: Summary

This construction management plan was prepared with the goal to minimize negative impacts to the community, pedestrians, and traffic throughout the scope of this project. This plan will be used as a minimum standard and any further safety protection required or methods to provide a more positive environment will be used throughout construction work as necessary.

Should you have any questions or comments related to this document, please contact SDMM. For all construction-related inquiries, please contact the developer, contractor, or traffic control service provider.

Regards,

Servant, Dunbrack, McKenzie & MacDonald Ltd.

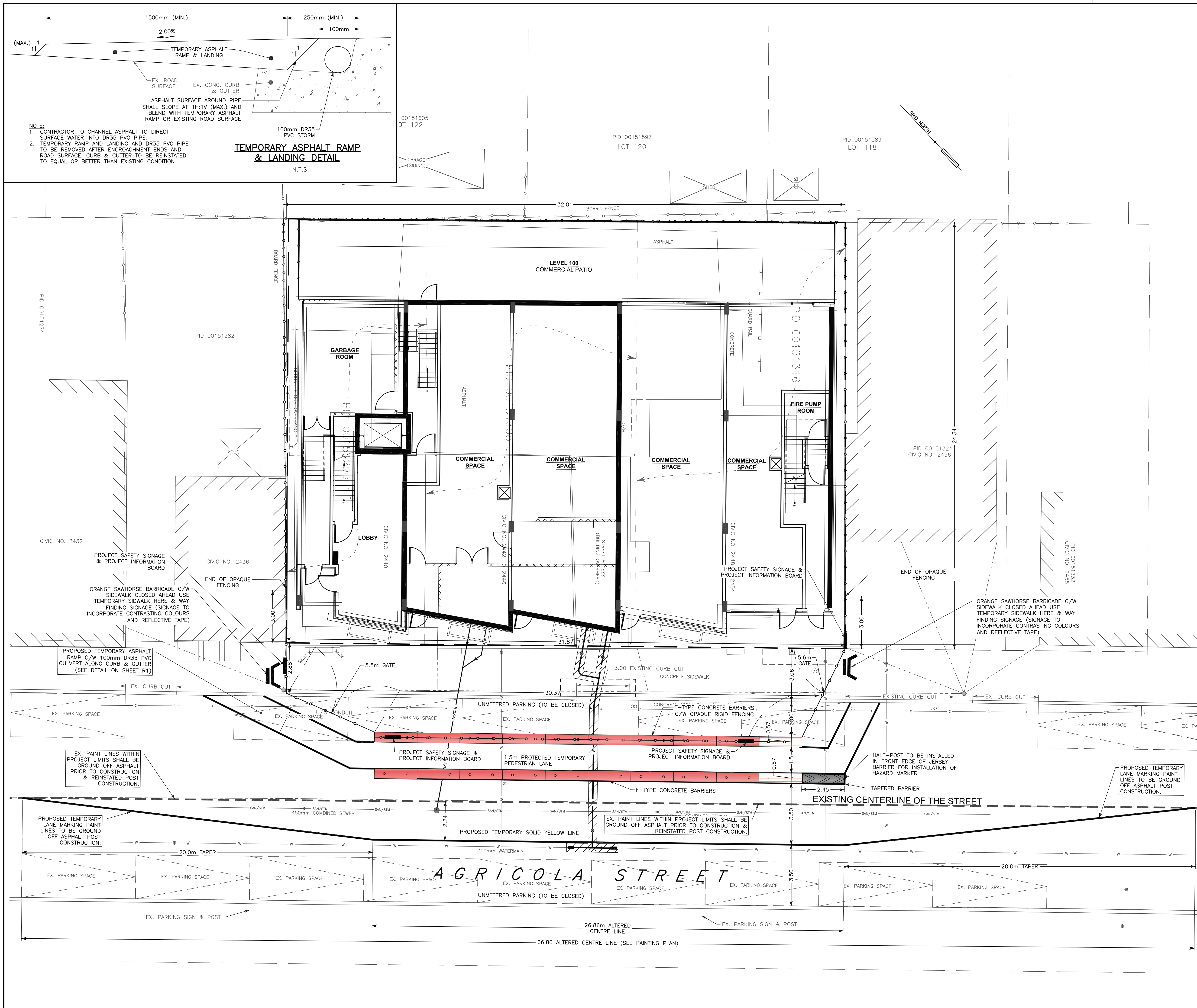
Geoff MacLean, P.Eng.

Project Engineer

Z:\SDMM\35000-35999\35250\35288\CMP\35288 CMP (IFR)\2440 Agricola Street - 35288 (IFR).docx

APPENDIX

Appendix A – Encroachment Plan



KEY PLAN

LEGEND		
EXISTING	CONTOUR LINE	PROPOSED
25.0 - - - - -	25.0	25.0
●/● BF	CURB STOP/GATE/BUTTERFLY VALVE	●/● BF
◆	FIRE HYDRANT	◆
□	CONCRETE THRUST BLOCK	□
—	SIAMESE CONNECTION	—
■/■/□	CATCH BASIN/PIT	■/■/□
—	CULVERT	—
—	ROCK LINING/DAM	—
—	ROCK WALL/RETAINING WALL	—
—	POWER POLE & ANCHOR/LIGHT STANDARD	—
—	TREE	—
—	STREET SIGN/PARKING METER	—
× 131.82	ELEVATION/GRADE	125.00 × / + 125.00
—	TEST PIT	—
—	DRAINAGE/SWALE FLOW DIRECTION	—
—	WATER MAIN/SERVICE	—
—	SANITARY MANHOLE & PIPE	—
—	STORM MANHOLE & PIPE	—
—	COMBINED PIPE	—
—	GAS LINE	—
—	100YR. FLOOD LIMIT	—
—	GUARD RAIL	—
—	UNDERGROUND CONDUIT	—
—	OVERHEAD WIRES	—
—	PROPERTY LINE/BOUNDARY	—
—	FENCE	—
—	BUILDING	—
—	TOP OF SLOPE	—
—	TOE OF SLOPE	—
—	TREELINE	—
—	LIMITS OF DISTURBANCE	—
—	TACTILE PEDESTRIAN PLATES	—
—	PROJECT SAFETY SIGNAGE	—
—	ORANGE SAWHORSE BARRICADE	—

NOTES

1. THIS PLAN IS IN METRIC.

0	20/08/12	ISSUED FOR REVIEW	
No.	YY/MM/DD	Revision Description	App'd

SDMM
Servant, Dunbrack, McKenzie & MacDonald Ltd.
NOVA SCOTIA LAND SURVEYORS & CONSULTING ENGINEERS
36 OLAND CRESCENT
BAYERS LAKE BUSINESS PARK
HALIFAX, NS B3S 1C6
PHONE: (902) 455-1537
FAX: (902) 455-8479
WEB: www.sdmm.ca

PROPOSED BUILDING
2440 AGRICOLA ST
HALIFAX, NOVA SCOTIA

ENCROACHMENT PLAN

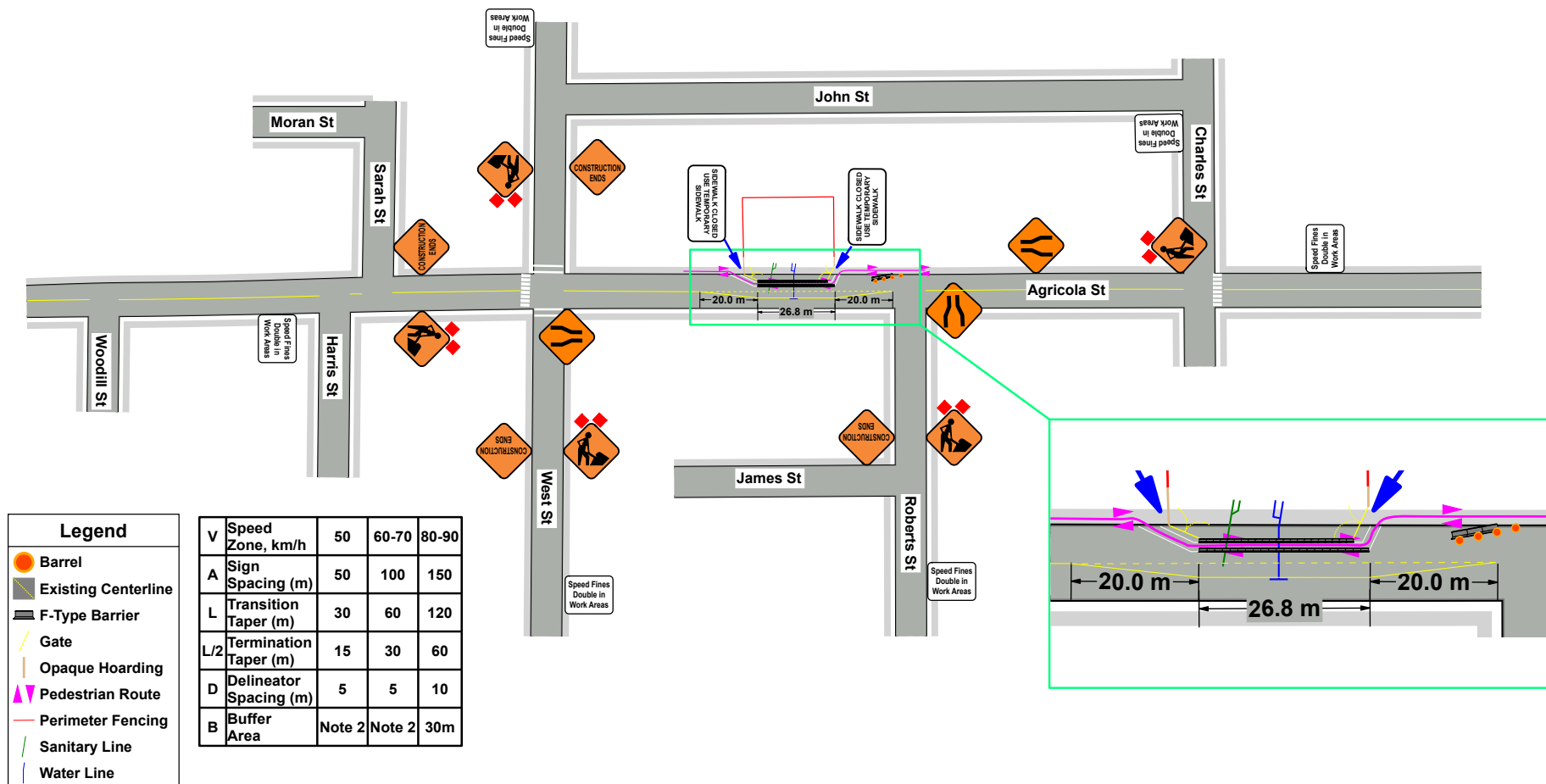
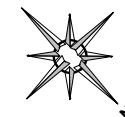
Date	Drawn	Project No.
JULY 24, 2020	I. TAMAYO	FILE NO. 1-1-467 (35288)
Scale	Engineer	Plan No.
1:100	G. MACLEAN	16-2274-0
Reference	Approved	Drawing Name
---	G. MACLEAN	R1
Surveyed	Sheet	
SDMM		

Encroachment Signage Plan

Date: 2020-08-17 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 2440 Agricola St
 Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:

Not to Scale
 Application Guide C22
 Encroachment Signage Plan
 Pedestrian Management As Shown



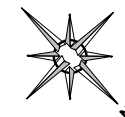
Appendix B – Barrier Installation TCP

Traffic Control Plan 1 Line Painting and Removal Plan

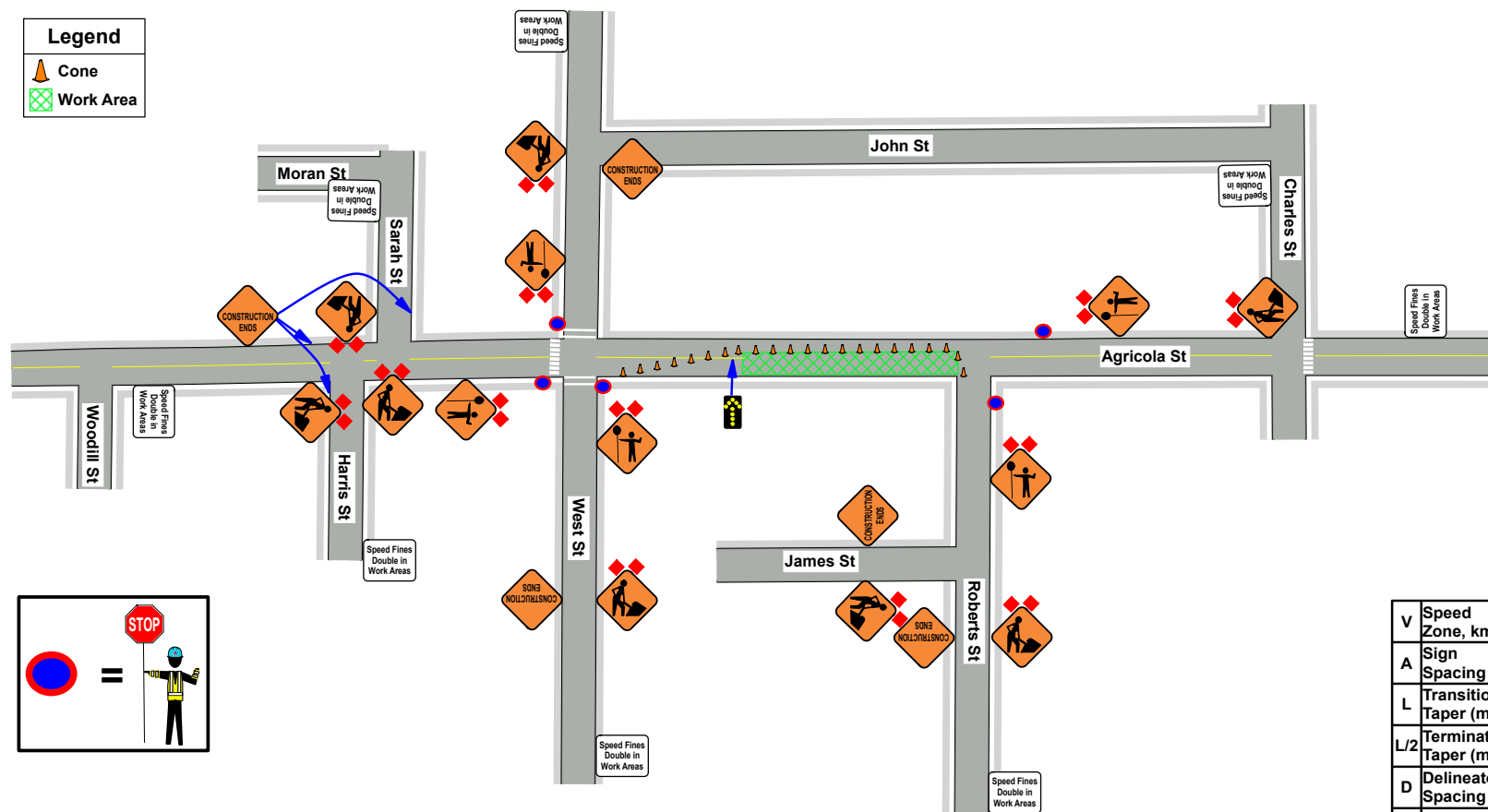
Date: 2020-08-17 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 2440 Agricola St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:

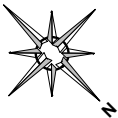
Not to Scale
Application Guide C112
Centerline removal and repainting Plan
No Pedestrian impact



Legend	
	Cone
	Work Area




V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m





Traffic Control Plan 2 Barrier Installation and Removal Plan

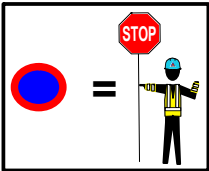
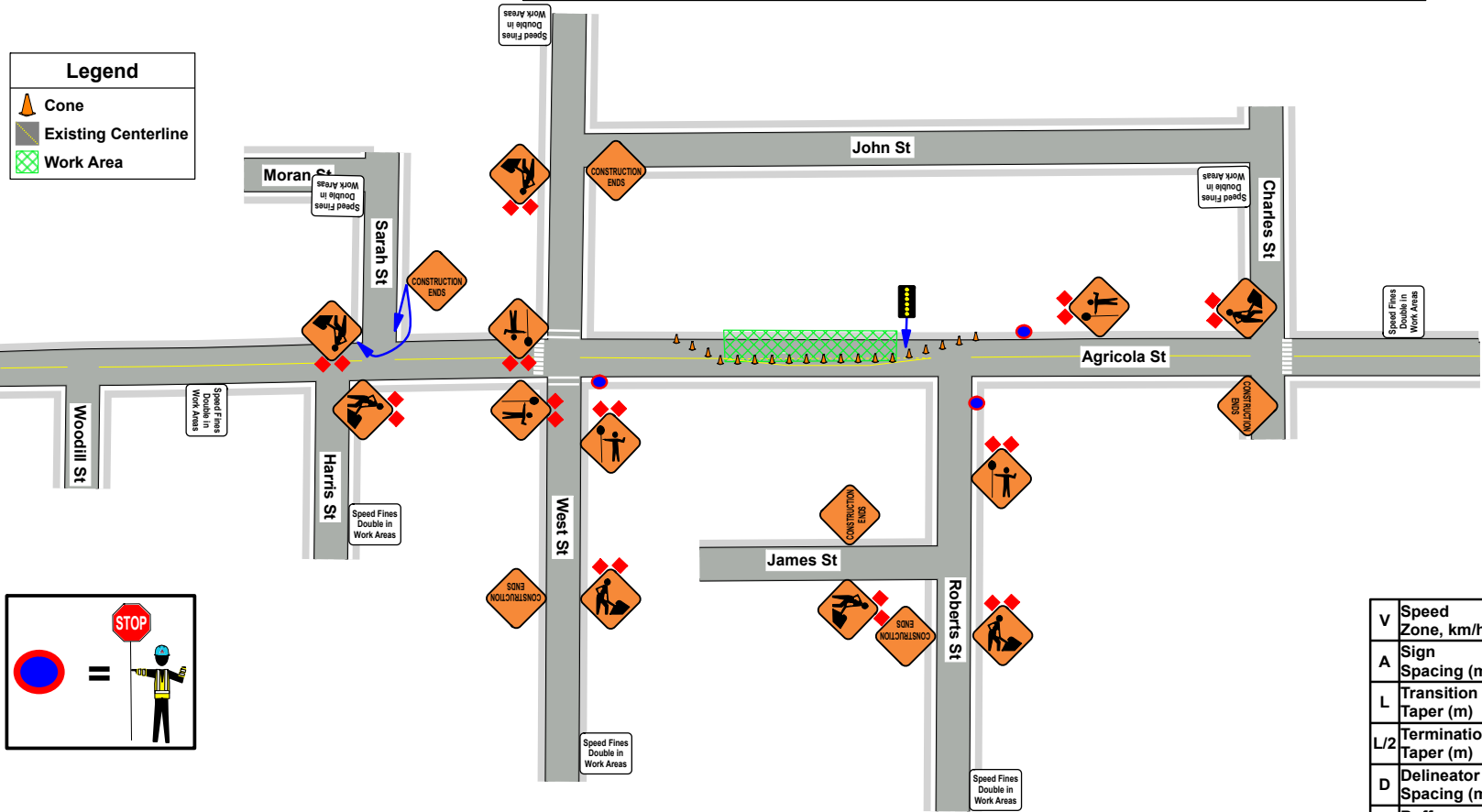
Date: 2020-08-17 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 2440 Agricola St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374
Comments:
Not to Scale
Application Guide C112
Barrier Installation and Removal Plan
See Pedestrian Management Plan for sidewalk closure details

Legend

Cone

Existing Centerline

Work Area



V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Appendix C – Haul Route Plan

Haul Route Plan

Date: 2020-08-17 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 2440 Agricola St
 Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:

Not to Scale

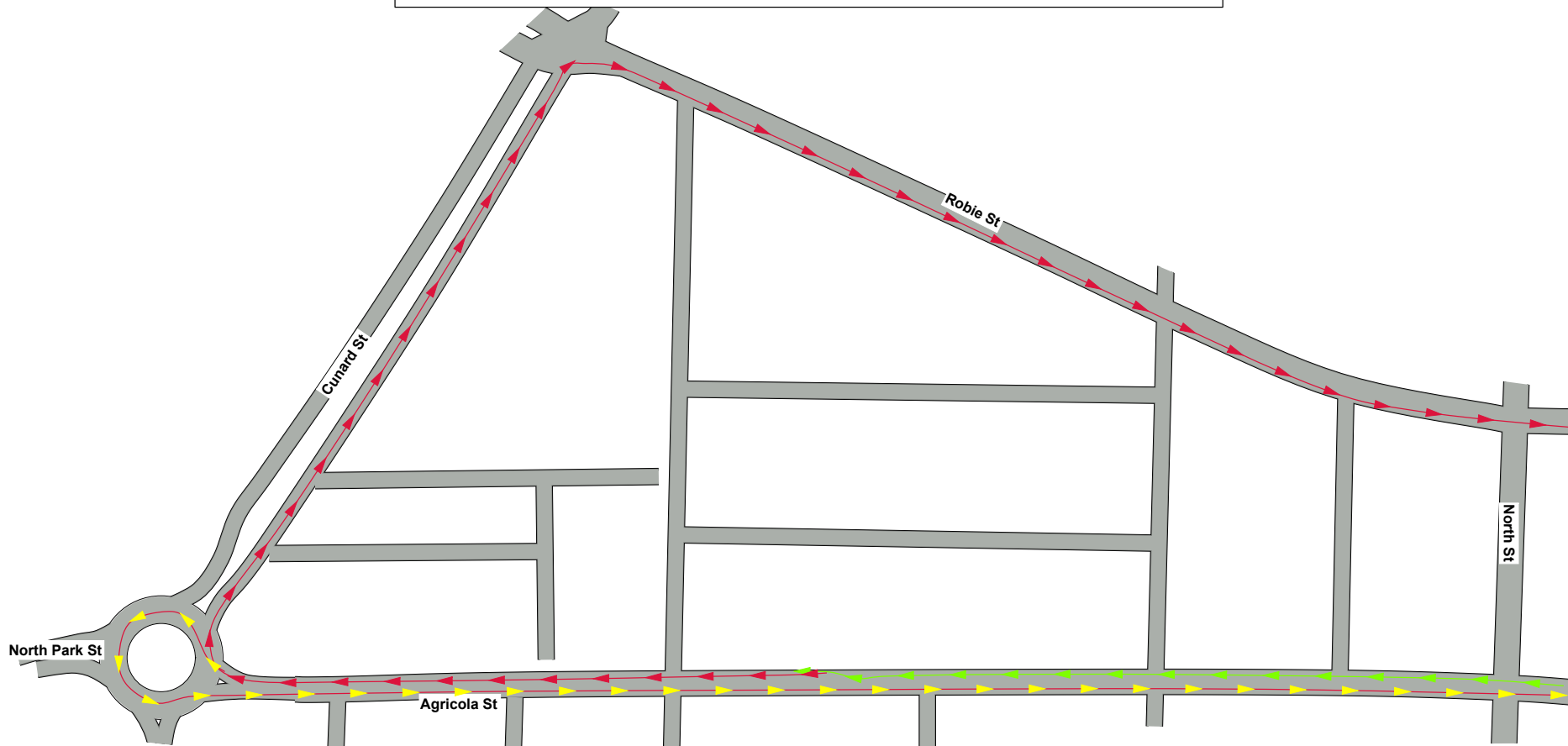
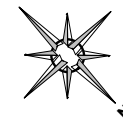
Haul Route Plan

Inbound via Agricola St (schedule A) day time truck route

Outbound via Agricola to North Park Rotary to Cunard to Robie St

Optional route via rotary to Agricola

Cunard St and Robie St are both (schedule B) full time truck routes

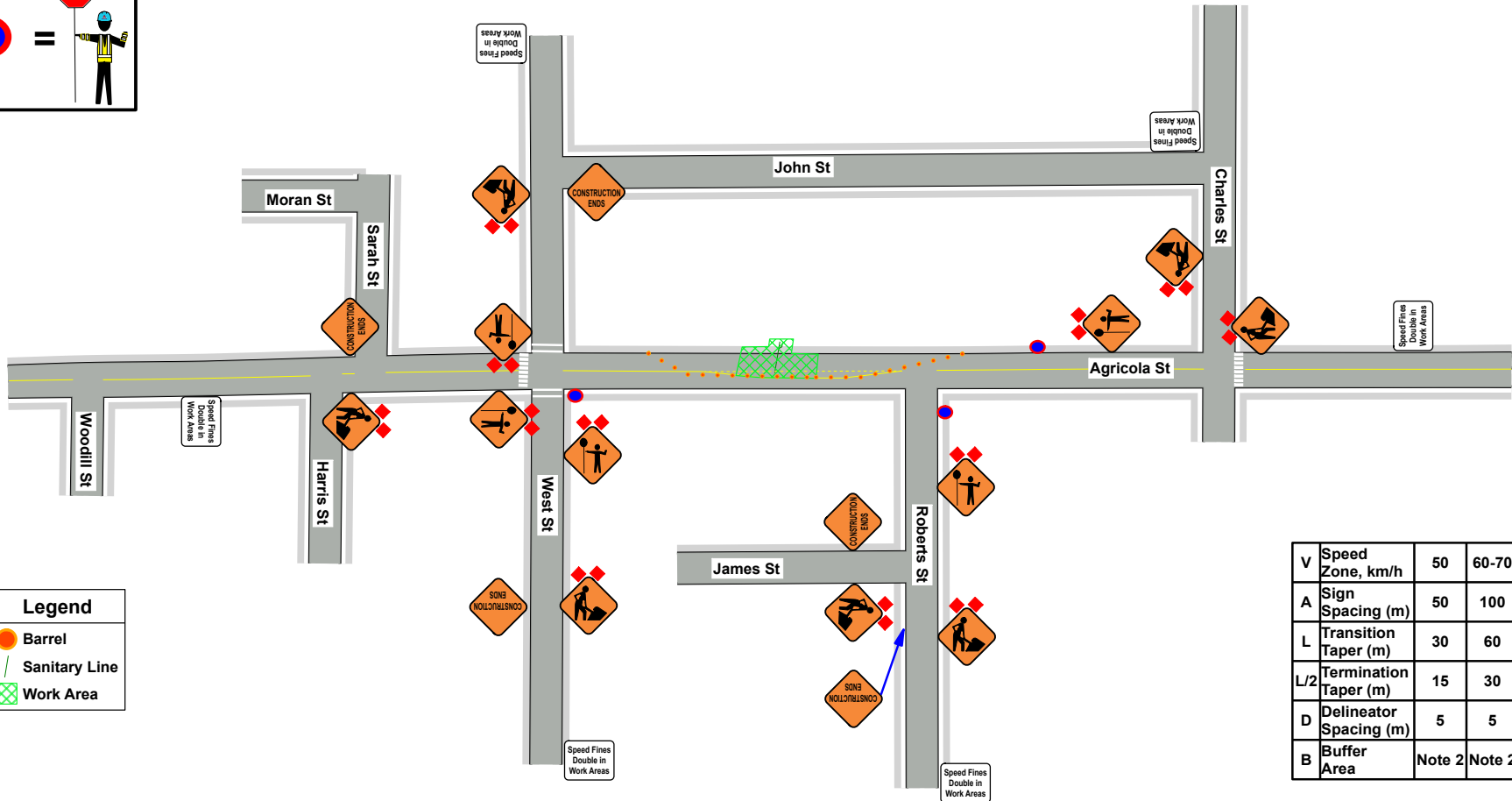
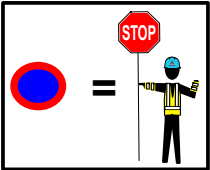
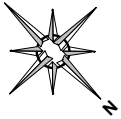


Appendix D – Traffic Control Plans (TCP)

Traffic Control Plan 3 Sanitary Service Installation Plan

Date: 2020-08-17 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 2440 Agricola St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Application Guide C112
Sanitary Lateral Installation Plan
See Pedestrian Management Plan for sidewalk closure details



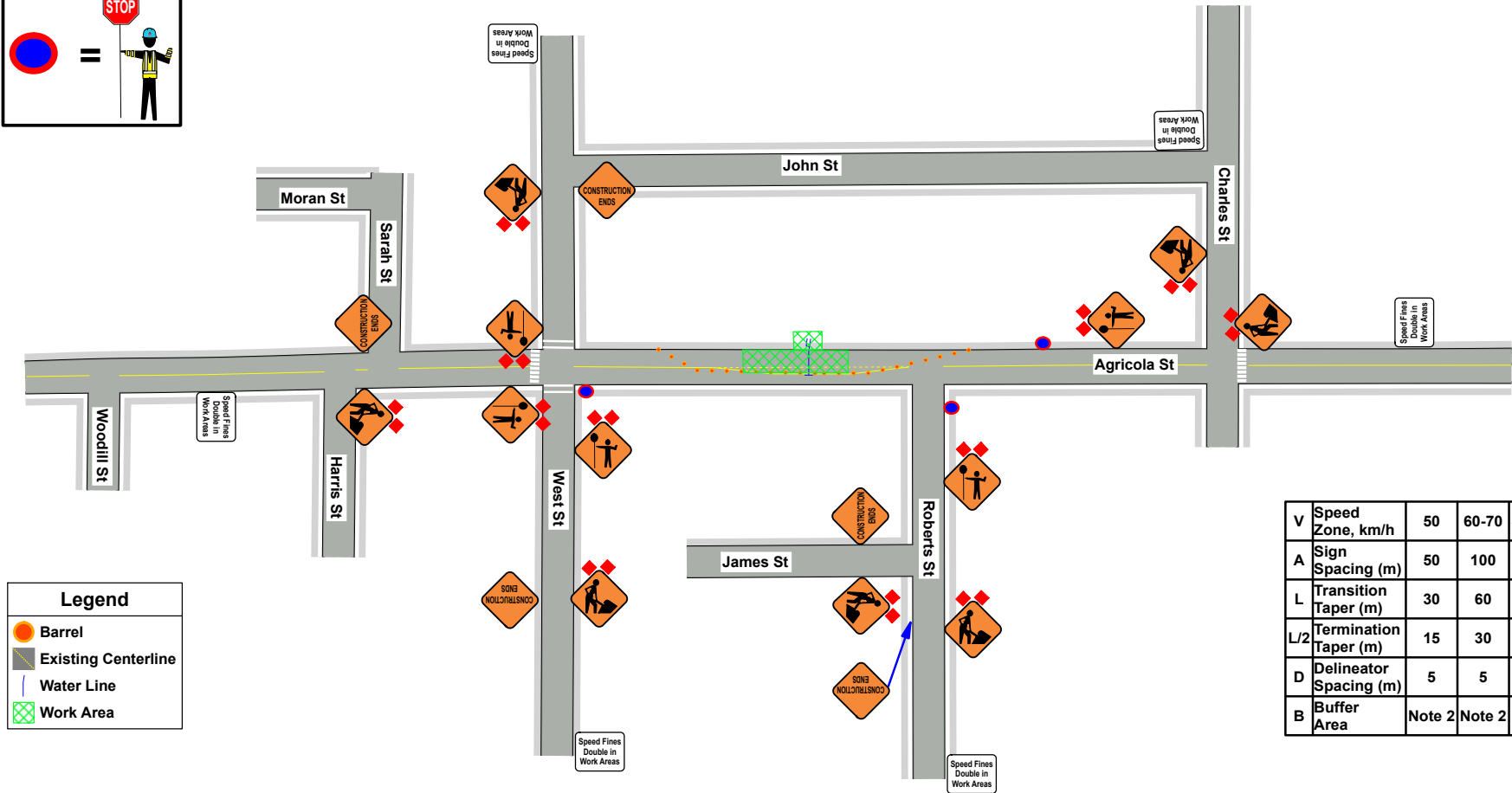
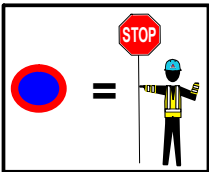
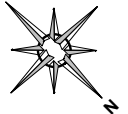
Legend	
	Barrel
	Sanitary Line
	Work Area

V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Traffic Control Plan 4 Water Service Installation Plan

Date: 2020-08-17 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 2440 Agricola St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:
Not to Scale
Application Guide C112
Water Lateral Installation Plan
See Pedestrian Management Plan for sidewalk closure details



Legend

Barrel

Existing Centerline

Water Line

Work Area

V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Traffic Control Plan 5 Water Service Installation Plan Continued

Date: 2020-08-17 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 2440 Agricola St
Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:

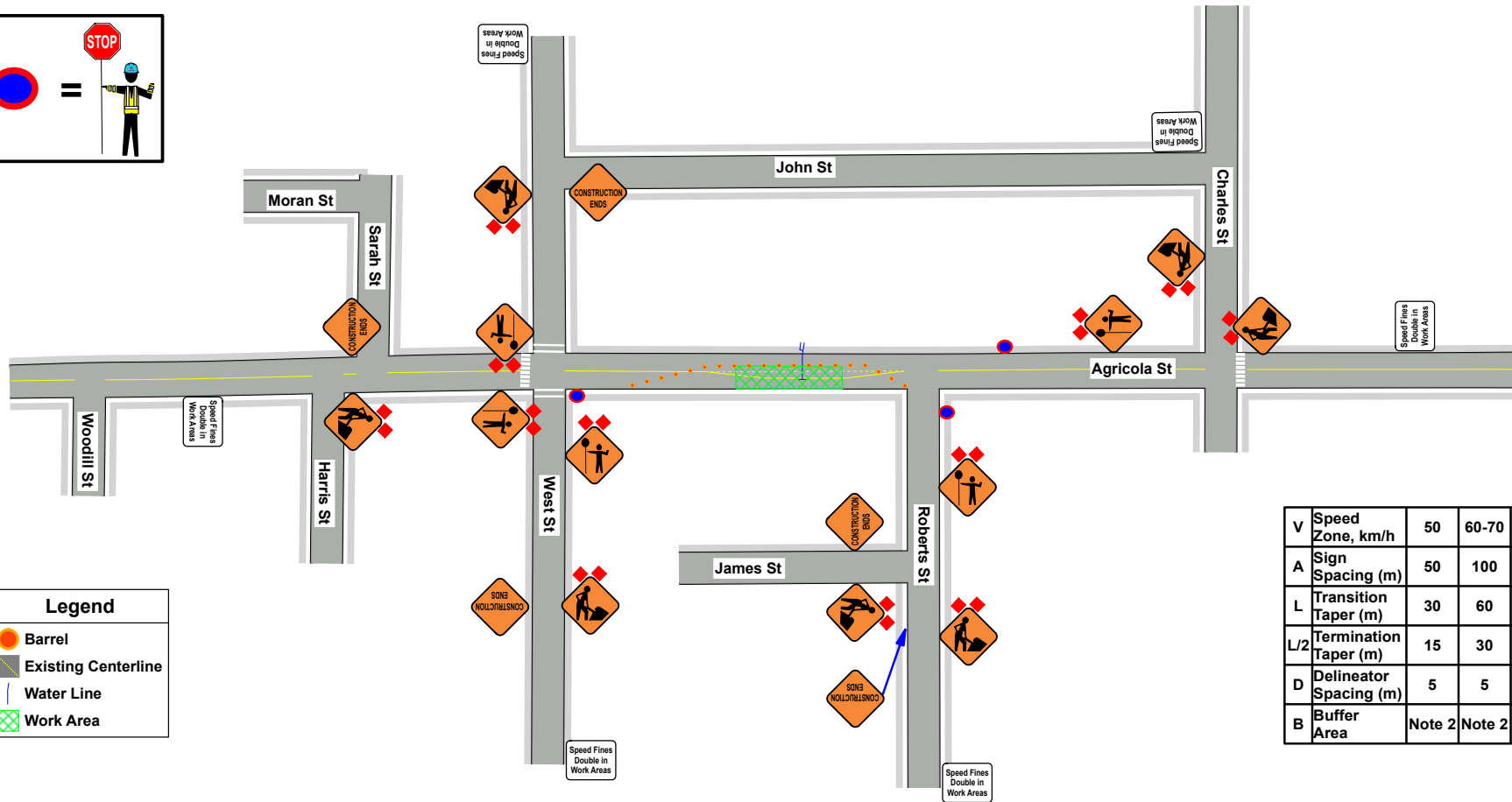
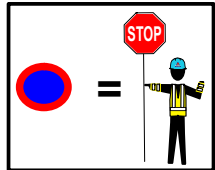
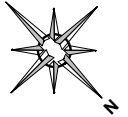
Not to Scale

Application Guide C112

Water Lateral Installation Plan

For Work on opposite side. If steel plating is used, city engineer approval must be obtained beforehand

No sidewalk encroachment required



Legend	
	Barrel
	Existing Centerline
	Water Line
	Work Area

V	Speed Zone, km/h	50	60-70	80-90
A	Sign Spacing (m)	50	100	150
L	Transition Taper (m)	30	60	120
L/2	Termination Taper (m)	15	30	60
D	Delineator Spacing (m)	5	5	10
B	Buffer Area	Note 2	Note 2	30m

Appendix E – Pedestrian Management Plan (PMP)

Pedestrian Management Plan

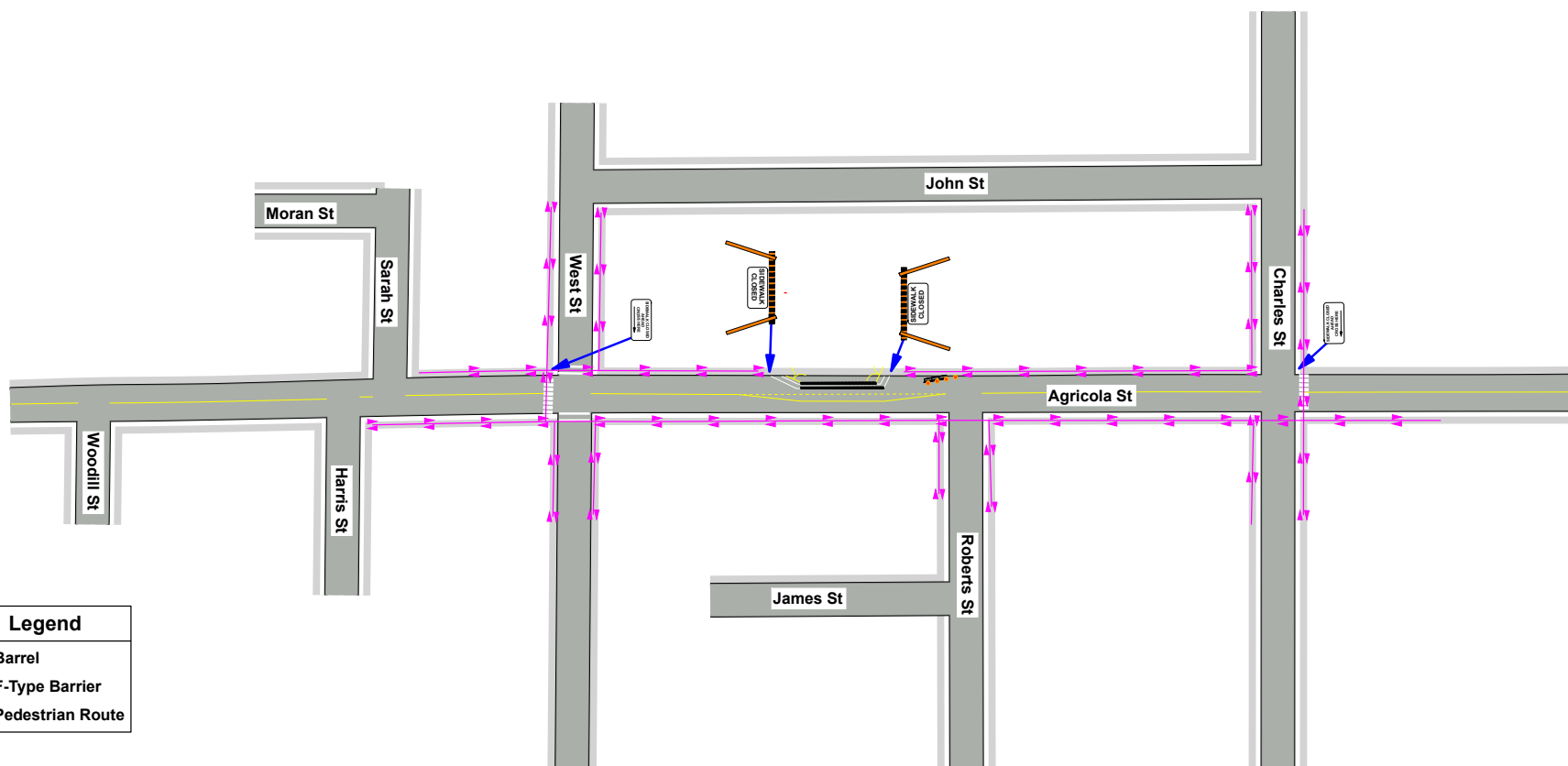
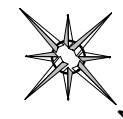
Date: 2020-08-17 Author: Norman Bussmann, TWS, Frontline Traffic Services, 902-817-3364 Project: 2440 Agricola St
 Contrator: SDMM Contact: Geoff MacLean, 902-789-6374

Comments:




Not to Scale

Pedestrian Management Plan

Use this sidewalk closure plan when construction activities require closure of temporary sidewalk

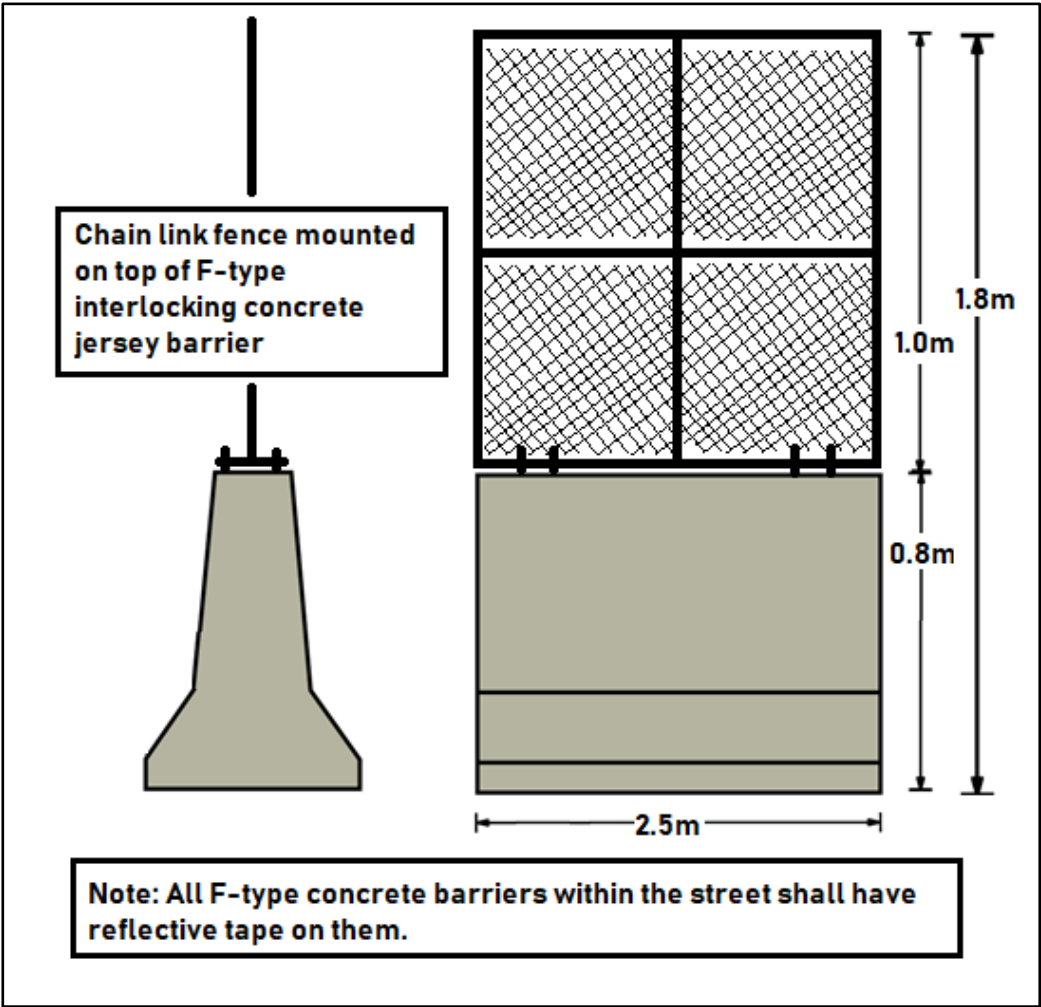
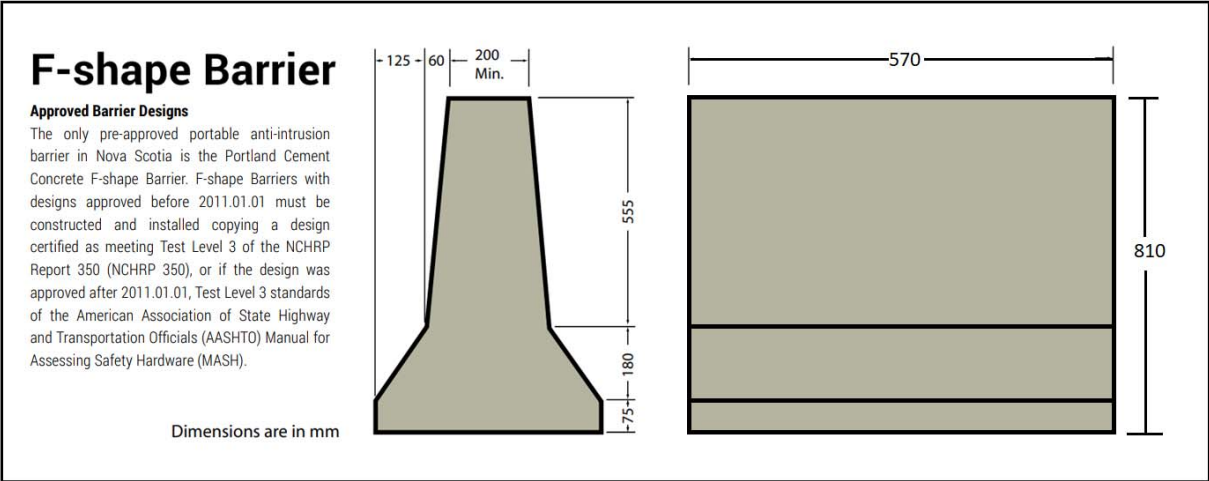


Legend

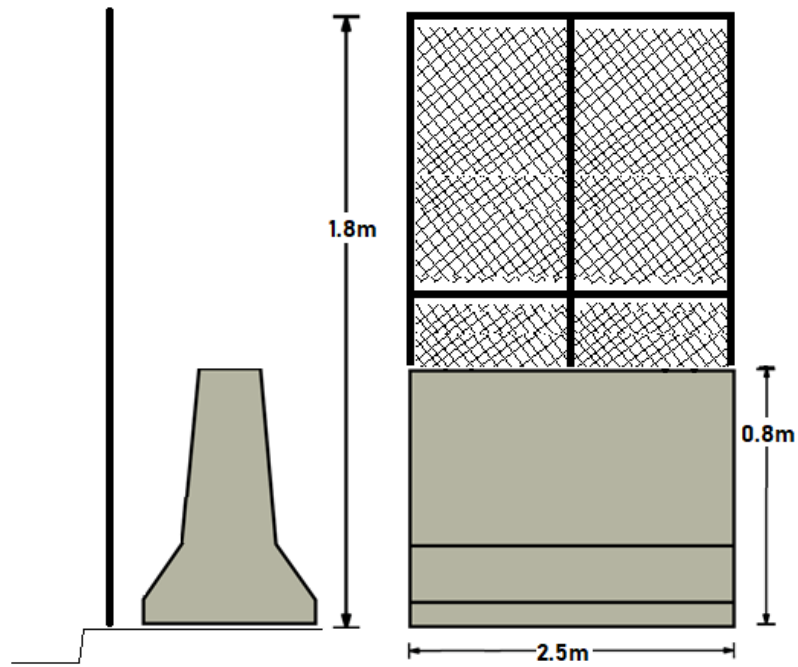
-  Barrel
-  F-Type Barrier
-  Pedestrian Route

Appendix F – Barrier, Fence & Gates Information

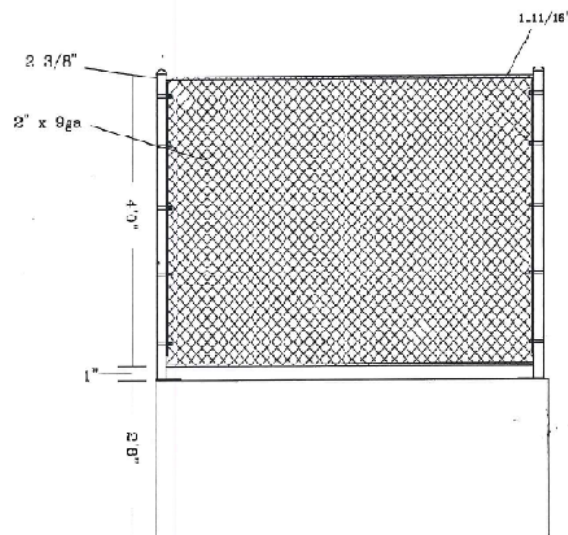
Sample Barrier & Fence Details



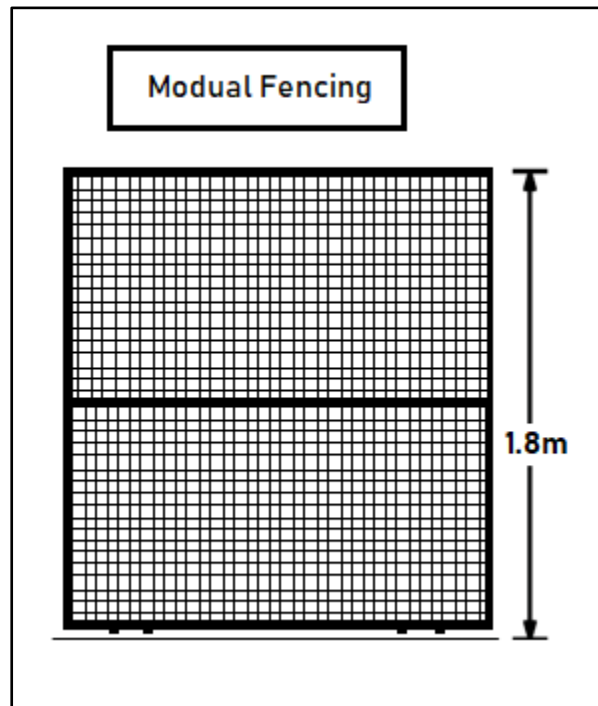
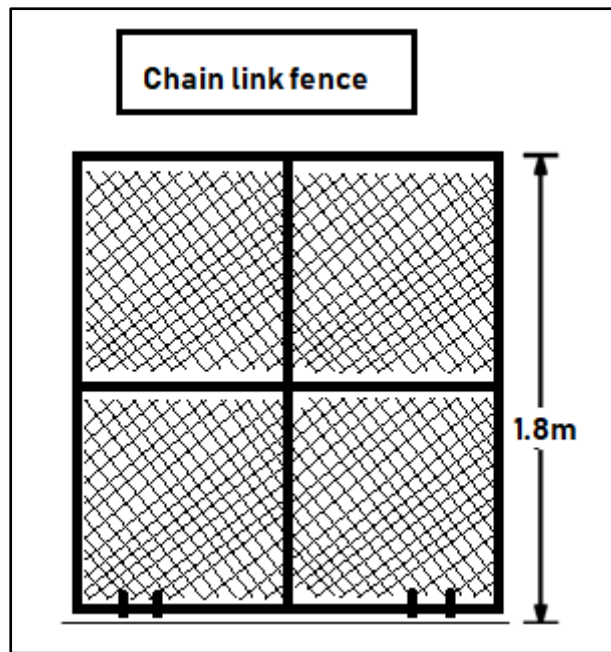
Fence mounted to curb with interlocking F-type concrete jersey barriers set beside

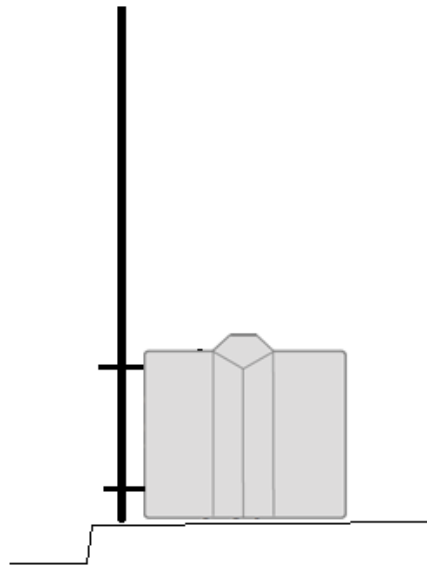


Note: All F-type concrete barriers within the street shall have reflective tape on them.



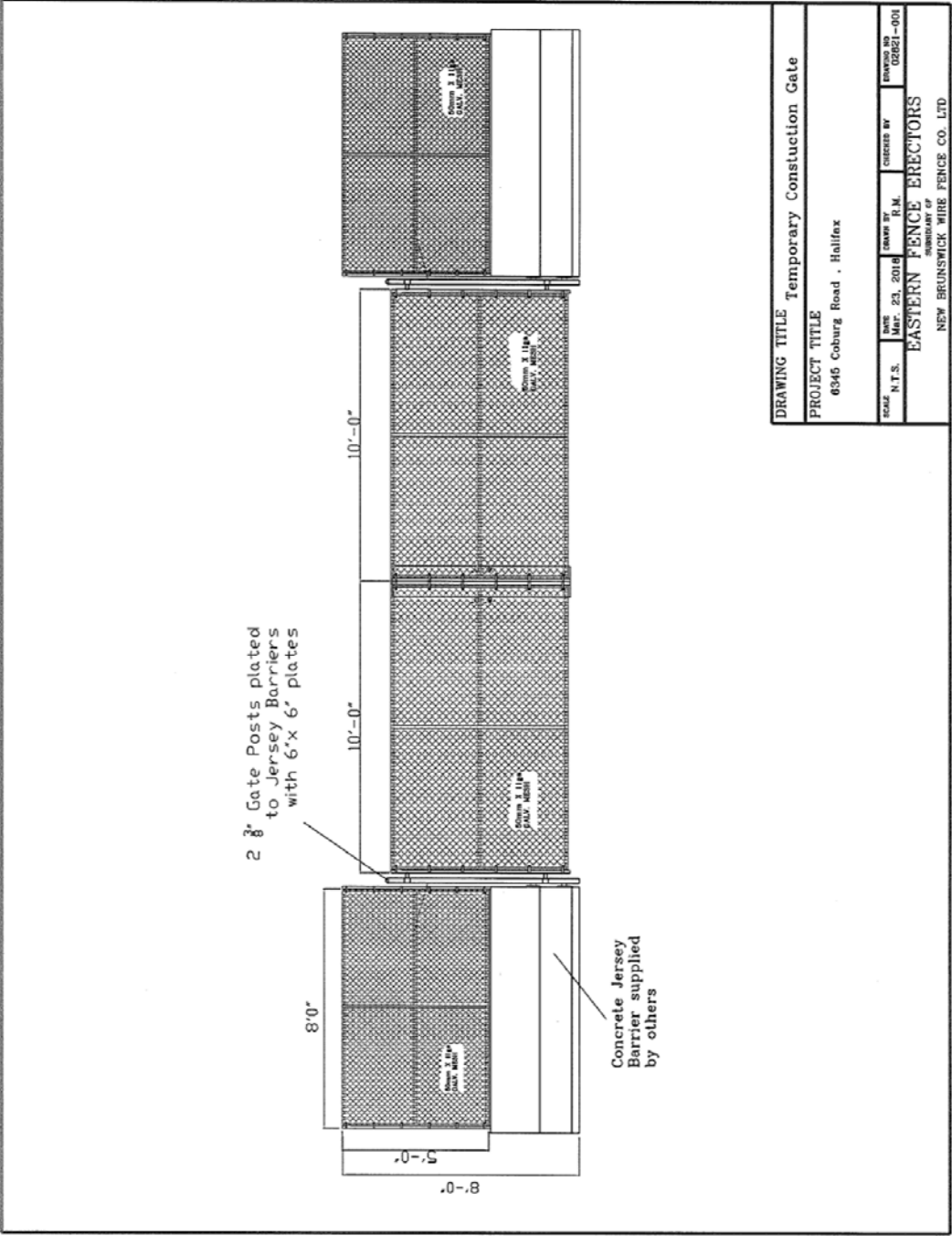
DRAWING				
SHOP DRAWING				
DRAWING TITLE				
PROJECT TITLE				
DATE	DATE	DATE	DATE	DATE
1/16	1/16	1/16	1/16	1/16
KASTERN FENCE				
NEW BRUNSWICK FENCE CO. LTD.				





Modular Fencing positioned at curb with concrete block or sand bags placed beside and secured to fencing, anchoring modular fencing to the ground.

Sample Gate Detail



Appendix G – Hoarding Information

Opaque construction hoarding material shall covering and be adequately secured to the rigid fencing that outlines the encroachment area. This covering shall be continuous such that it prevents passersby or tourist from seeing through the fencing and gates to the active construction site.

UltraMesh® Eclipse® if a 7.96 oz. which is a polyester, black-backed mesh that is used where complete opacity is required.

UltraMesh Eclipse is UV printable for project renderings and is typically used for building and fence graphic wraps. The product is available in widths of 126" and 196".

Product example is shown below with the technical data sheet on the following page.

Tarp Option



Print Banner Option



UltraMesh Eclipse is a 7.96 oz. polyester, black-backed mesh. The material is ideal for applications where complete opacity is required. UltraMesh Eclipse is UV printable and may be used for building wraps and fence graphics. Available in widths of 126 and 196 .

Material Details

CHARACTERISTICS	TEST METHOD	METRIC	ENGLISH
Base Fabric	100% PES	1000D×1000D	
Construction		12×12	
Total Weight	DIN53352 BS3424 Method5A	270 +/- 20 gsm/m²	7.96 oz/yd²
Width		Up to 500cm	
Tensile Strength	DIN53352 BS3424	Warp 1250 n/5cm Weft 1100 n/5cm	142.75 x 130.19 lb/in
Tear Strength	DIN53356 BS3424	Warp 235 N Weft 225 N	52.8 x 50.5 lbf
Air Permeability	GB/T 2410-2008	2649 mm/s	
Light Transmission	GB/T 5453-1997	37%	
Temperature Resistance	DIN53357 BS3425 Method 10	-20°C :70°C	

Applications

	Back-lit	Banner	Billboard	Block-out	Building Wrap	Fence Graphics	Truckside
Applications		■		■	■	■	

Ink Printability

Solvent	Eco Solvent	UV	Latex	Screen Printing	Dye Transfer	Dye Direct
		■				

Available Sizes

Metric (m)	English (inches)
3.20, 5.00	126 , 196

The information on physical and chemical characteristics is based upon tests believed to be reliable. The values are intended only as a source of information. A legally binding guarantee of specific properties is not to be inferred from our specifications. They are given without guaranty and do not constitute a warranty. A weight variance of +1/-2 is acceptable. The purchaser should independently determine, prior to use, the suitability of this material for his/her specific purpose. (Data represents averages and is not intended for use as a specification.)

Appendix H – Project Information Board



**PROPOSED
AGRICOLA**

2440 AGRICOLA STREET

**36 UNIT RESIDENTIAL BUILDING
WITH 3,743SF GROUND FLOOR
COMMERCAIL SPACE AND
UNDERGROUND PAKING**

September 2020 – October 2022

Owner:

Whimsical Lake Developments
36 Brookshire Court, Suite 15
Bedford, NS, B4A 4E2

Contact: Fred Ghosn – 902-877-0054

24 Hour Emergency contact

Contractor:

S. Jollimore & Sons Excavation Limited
79 Burkes Road, Shad Bay, NS, B3T 2B4
Contact: Jeff Jollimore – 902-456-5124

Traffic Control:

McLeod Safety
30 Upham Drive, Truro, NS
Contact: Doug Waller – 902-899-5082

Rodent Control Company:

Rentokil Pest Control
51 Duke Street, Bedford, NS, B4A 2Z2
Contact: 902-835-2304

Appendix I – Project Safety Signage

**NO
TRESPASSING**



A large warning sign with a brown top section, a yellow middle section, and a grey bottom section. The top section features a black exclamation mark icon and the word "WARNING" in large black letters. The middle section features the words "CONSTRUCTION SITE" in large black letters. The bottom section features two circular icons on the left: a hard hat and a safety shoe. To the right of these icons, the text reads: "To reduce risk of injury," followed by a bulleted list: "• Hard Hat" and "• Safety Shoes", and finally "MUST be worn on this site." in large, bold letters.

WARNING

CONSTRUCTION SITE

To reduce risk of injury,

- Hard Hat
- Safety Shoes

MUST be worn on this site.

RESTRICTED
— AREA —

**CONSTRUCTION
WORK IN
PROGRESS**

Appendix J – Project Signage Specifications

Signage Specifications: Project Signage shall;

- Be constructed of weatherproof material (corrugated plastic)
- Have high visibility contrasting colours (dark letters on white background)
- Incorporate appropriate font types (mix of upper and lower-case lettering)
- Incorporate appropriate font sizes (16mm – 51mm) such that the signage is readable from a distance (16-20m)
- Size of signage will be poster size (600mm x 900mm) or larger; to allow community members to see and read the information from a distance
- Signage may incorporate plastic grommets positioned every 300mm around the perimeter of the signage to ensure a secure signage installation
- Signage will be installed/anchored to project fencing using plastic zip-ties
- Signage will be positioned along the project site as per the encroachment plan
- Signage shall not impede traffic of pedestrian sight lines
- **Signage shall be placed on site 10 days prior to the start of the noted construction activity to ensure the passing public has had adequate time to review, adjust their travel patterns, usage of streets and or can be considered 'informed'.**

Samples



Appendix K – Sample Traffic Notification Letter



PROPOSED MULTI-UNIT RESIDENTIAL BUILDING

DRAFT NOTIFICATION LETTER

TO WHOM IT MAY CONCERN

Date

NOTIFICATION OF TRAFFIC DISRUPTION: STREET NAME, HALIFAX, NOVA SCOTIA

This is to inform you that the to facilitate operations in association with the Multi-Unit Residential Building construction work, traffic disruptions will occur on or about DATE with an anticipated duration of approximately TIME. The street will be reduced(?) to one lane of vehicular traffic during this time.

Should you have any questions or concerns please feel free to contact the below:

CONTACT INFORMATION

General Contractor:

S. Jollimore & Sons Excavation Limited

79 Burkes Road

Shad Bay, NS

B3T 2B4

Phone: (902) 456-5124

Should any questions arise, please feel free to contact the undersigned.

Yours Truly,

Jeff Jollimore

S. Jollimore & Sons Excavation Limited

Appendix L -Vehicular and Pedestrian Hazard Assessment

Project Name

Date: 1-May-20

Location: 205 Bedford Highway

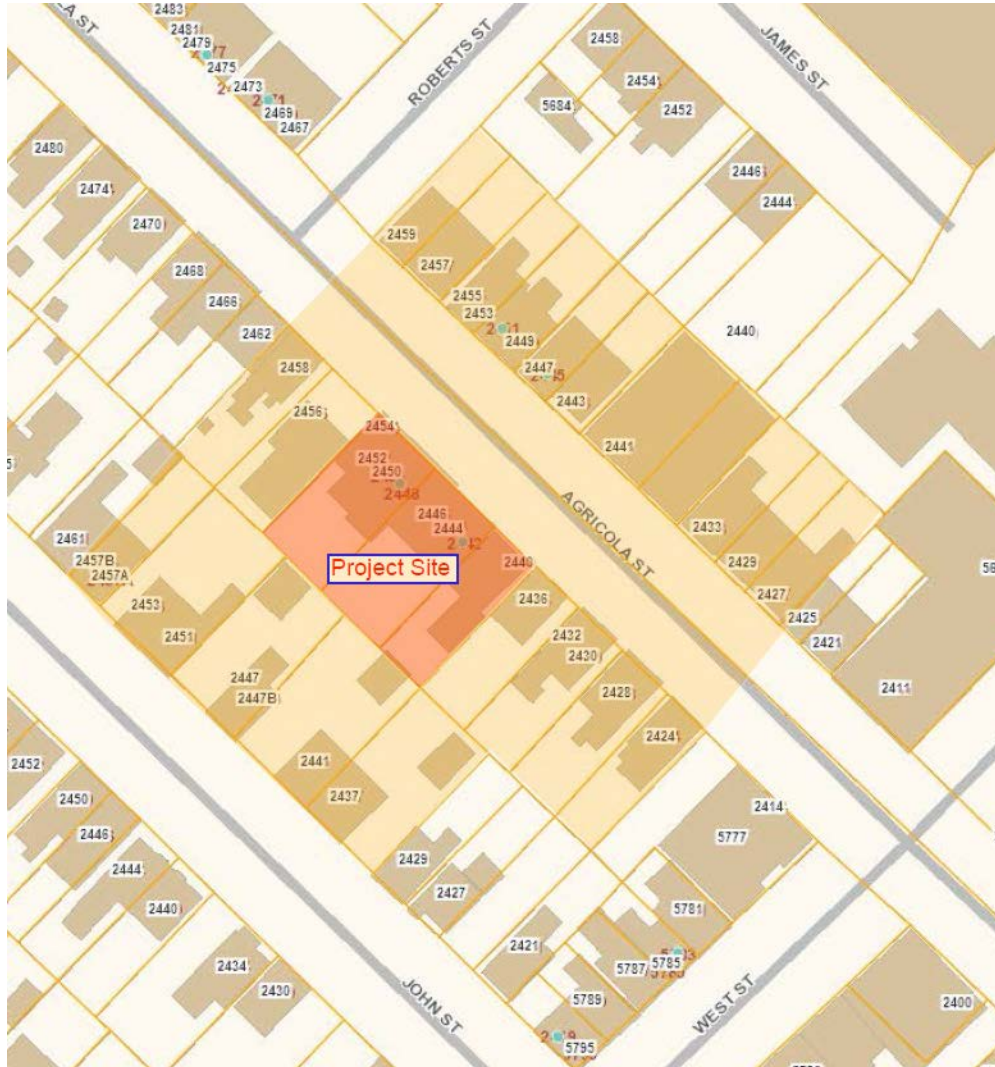
VEHICULAR & PEDESTRIAN HAZARD ASSESSMENT

No.	Hazard:	Project Phase:	Vehicular Impacts:	Mitigation Methods:	Pedestrian Impacts:	Mitigation Methods:
1	Excavation	Excavation	Vehicles may enter project site and fall down excavation. Vehicle weight may surcharge excavation, causing excavation wall failure.	Place concrete barriers along travel ways. Concrete barriers and existing curbs to prevent vehicle entry. Close sidewalks & driveways adjacent to project site, moving vehicles farther away from excavation.	Pedestrians may enter project site and fall down excavation.	Place concrete barriers/rigid fencing around entire project site. Signage will be posted to direct pedestrians to opposite side of street.
2	Rock Blasting	Excavation	Blasted rock projectiles may strike vehicles.	Close sidewalks & driveways adjacent to site, moving vehicles farther away from blasted rock.	Blasted rock projectiles may strike pedestrians.	Install solid plywood hoarding along rigid fence adjacent to blasting zone.
3	Construction Waste	All Phases	Vehicles may be struck by construction waste.	The contractor shall keep the project site and surrounding areas clean and free of construction debris.	Pedestrians may be struck by construction waste.	The contractor shall keep the project site and surrounding areas clean and free of construction debris.
4	Vehicular & Pedestrian Activities	All Phases	Drivers and pedestrians may become confused or impatient with construction activities. Pedestrians may walk in unmarked crosswalks or in vehicular travel areas. Drivers may fail to obey traffic signage.	Vehicular and pedestrian signage will be posted prominently around the project site to facilitate pedestrian movement. Notification will be sent prior to all traffic interruptions.	Drivers and pedestrians may become confused or impatient with construction activities. Pedestrians may walk in unmarked crosswalks or in vehicular travel areas. Drivers may fail to obey traffic signage.	Vehicular and pedestrian signage will be posted prominently around the project site to facilitate pedestrian movement. Notification will be sent prior to all traffic interruptions.
5	Heavy Machinery Operation	All Phases	Heavy machinery or vehicles may break down or overturn, damaging other vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site. Concrete barriers will be installed to separate construction vehicles from public traffic.	Heavy machinery or vehicles may break down or overturn, injuring pedestrians.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery. Rigid fences will be installed to separate construction vehicles from pedestrians. Signage will direct pedestrians to opposite side of street.
			Heavy machinery or vehicles may overturn due to uneven terrain, damaging other vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site and ensure travel routes are kept flat.	Heavy machinery or vehicles may overturn due to uneven terrain, injuring pedestrians. Pedestrians may walk on uneven terrain causing them to twist their ankles or fall.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery and ensure travel routes are kept flat.
6	Construction Signage	All Phases	Construction signage may strike vehicular traffic.	Construction signage will be securely fixed to existing poles, temporary concrete sign bases, or rigid fences.	Pedestrians may walk into construction signage, including traffic signage, wayfinding signs, etc. may. Construction signage may strike pedestrians.	Signage will be angled in line with pedestrian routes and/or be placed at heights such that they do not pose a risk to pedestrians. Construction signage will be securely fixed to existing poles, temporary concrete sign bases, or rigid fences.
7	Dangerous Materials	All Phases	Flammable, explosive, & hot materials may damage vehicles if not properly maintained & stored.	The contractor will use and store dangerous materials properly as per manufacturers' specifications.	Flammable, explosive, & hot materials may injure pedestrians if not properly maintained & stored.	The contractor will use and store dangerous materials properly as per manufacturers' specifications.
8	Hoisting Operations	Superstructure	Precast concrete panels and other items hoisted may fall from heights and damage vehicles.	Proper hoisting and lifting techniques will be used to ensure that materials do not fall from heights. F-Type concrete barriers will be installed such that loads are never suspended above the public realm.	Precast concrete panels and other items hoisted may fall from heights and injure pedestrians.	Proper hoisting and lifting techniques will be used to ensure that materials do not fall from heights. Loads are never suspended above the public realm.
9	Reinstatement of Public Infrastructure & Service Installation	Superstructure	Heavy equipment and hot concrete used during public infrastructure reinstatement and service installation may cause damage to vehicles.	The contractor shall maintain safe distances between vehicles and heavy machinery on-site. Concrete barriers will be installed to separate construction vehicles from public traffic during public infrastructure reinstatement and service installation.	Heavy equipment and hot concrete used during public infrastructure reinstatement may injure pedestrians.	The contractor shall maintain safe distances between pedestrians, vehicles, and heavy machinery.
10	Fallen debris	Superstructure	Debris may fall from upper stories of the new building causing damage to vehicles.	F-Type concrete barriers will be installed such that a safe distance is maintained between the building envelope and vehicular traffic.	Debris may fall from upper stories of the new building injuring pedestrians.	Construction of upper building levels will be set back from the property line/rigid fencing, this separating pedestrians from potential fallen debris. Pedestrians will be directed to opposite side of street.

Appendix M - Community Consultation Records

COMMUNITY CONSULTATION MAP OVERVIEW

Project – 2440 AGRICOLA STREET



Construction Management
Information Brochure

on

2440 Agricola Street
Halifax, NS

Introducing :

The Agricola Apartments

By Whimsical Lake Developments

Whimsical Lake Developments

PRESENTS:

Their Agricola Apartments



Project Overview



Agricola Apartments is a new development with ground floor commercial space & 4 levels of residential above

36 Residential (Rental) Apartment Suites with ground floor lobby entrance.

A mix of bachelor and 1-bedroom rental suites

Ground floor commercial space totalling 3,740 Sq.ft. split between three areas.



Project Overview

During Construction, Whimsical Lake Developments and its contractors are committed to minimizing negative impacts on the public and maximizing accessibility along Agricola Street.


Working with Halifax Regional Municipality, a construction management plan or CMP is being prepared to identify potential inconvenience due to construction and mitigate them.

This document is meant to convey information about the project to the general public to encourage thoughtful engagement between all parties and help ensure a safe and convenient construction project.

Keeping Pedestrian Routes on both sides of Agricola Street open



Screened construction site hoarding areas with renderings and advertisements



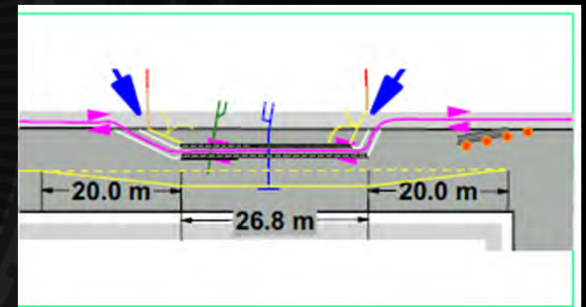
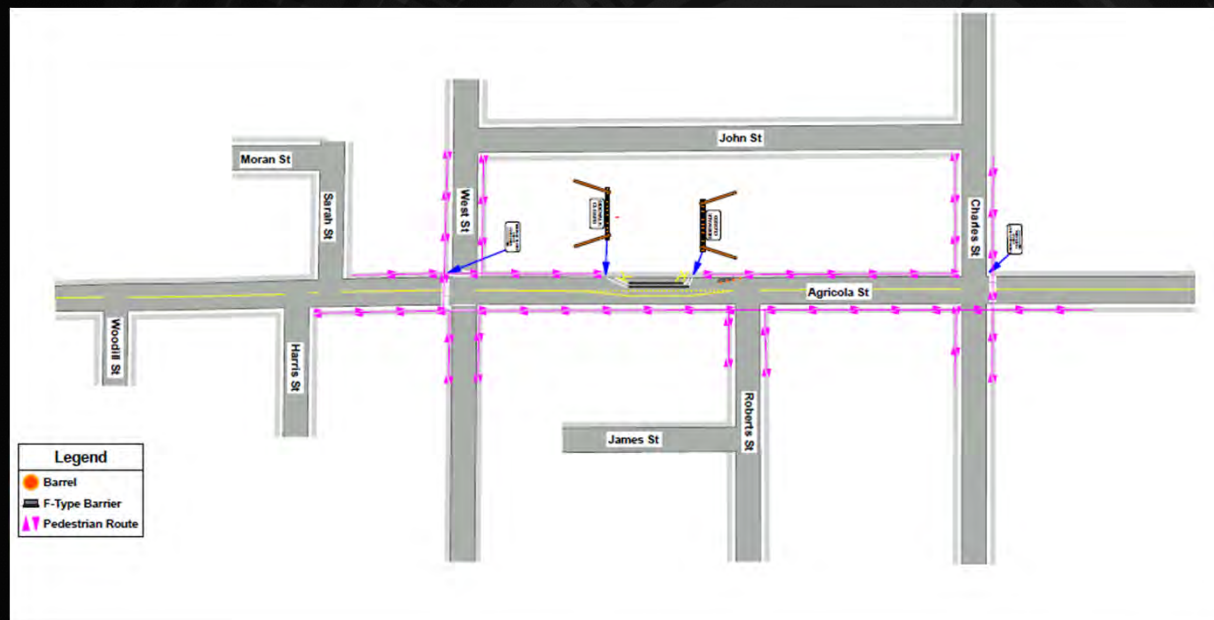
Minimizing traffic congestion with a dedicated truck lay-by



Altered road yellow line



Continued Pedestrian Access Around the Site



Construction Phases:

The construction of this project will include four phases. Excavation, Substructure, Superstructure and Flat Works. Each phase will pose its own challenges and, as such, require its own solutions.

Mass Earthwork Phase (September 2020)

Excavation for perimeter footings and centralized utility basement.

Substructure Phase (October 2020 to November 2020)

Building footings and foundations will be placed and backfilled.

Superstructure Phase (November 2020 to October 2021)

Building walls and upper floor will be built for occupancy.

Flat Works Phase (August 2021 to September 2021)

Street curb & sidewalk with bike racks installed along building frontage



Project Schedule.

Excavation: Setup Rodent control system, place fencing and barriers along street, install signage, prepare grounds for footings.

Substructure: Pour concrete footings and foundation. Install services in the street.

Superstructure: Pour concrete floors, frame for the upper levels. Construct exterior elements and cladding. Install interior elements for occupancy.

Flat Works: Pour concrete curbs, sidewalks, install bike racks & landscaping.



Additional Information:

Whimsical Lake Developments encourages the public to reach out with questions and comments related to all aspects of this project. If you would like additional information, please feel free to contact Fred to discuss. If you would like to receive regular monthly updates, please call Fred at 902-877-0054

Safety Concerns?

If you have any immediate safety concerns related to this project, please call Fred at 902-877-0054 or by email at fredghosn@gmail.com



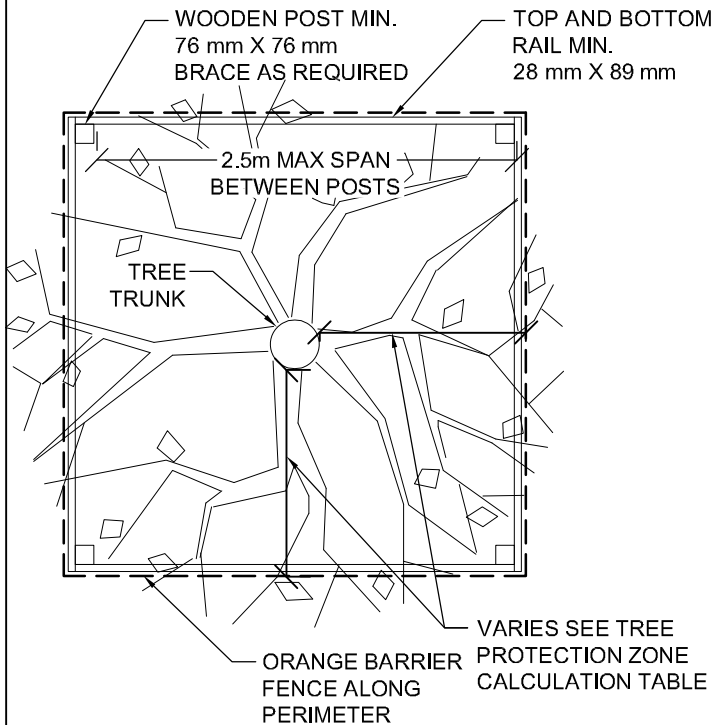
Appendix N – Project Advertisements & Renderings

Appendix Project Renderings

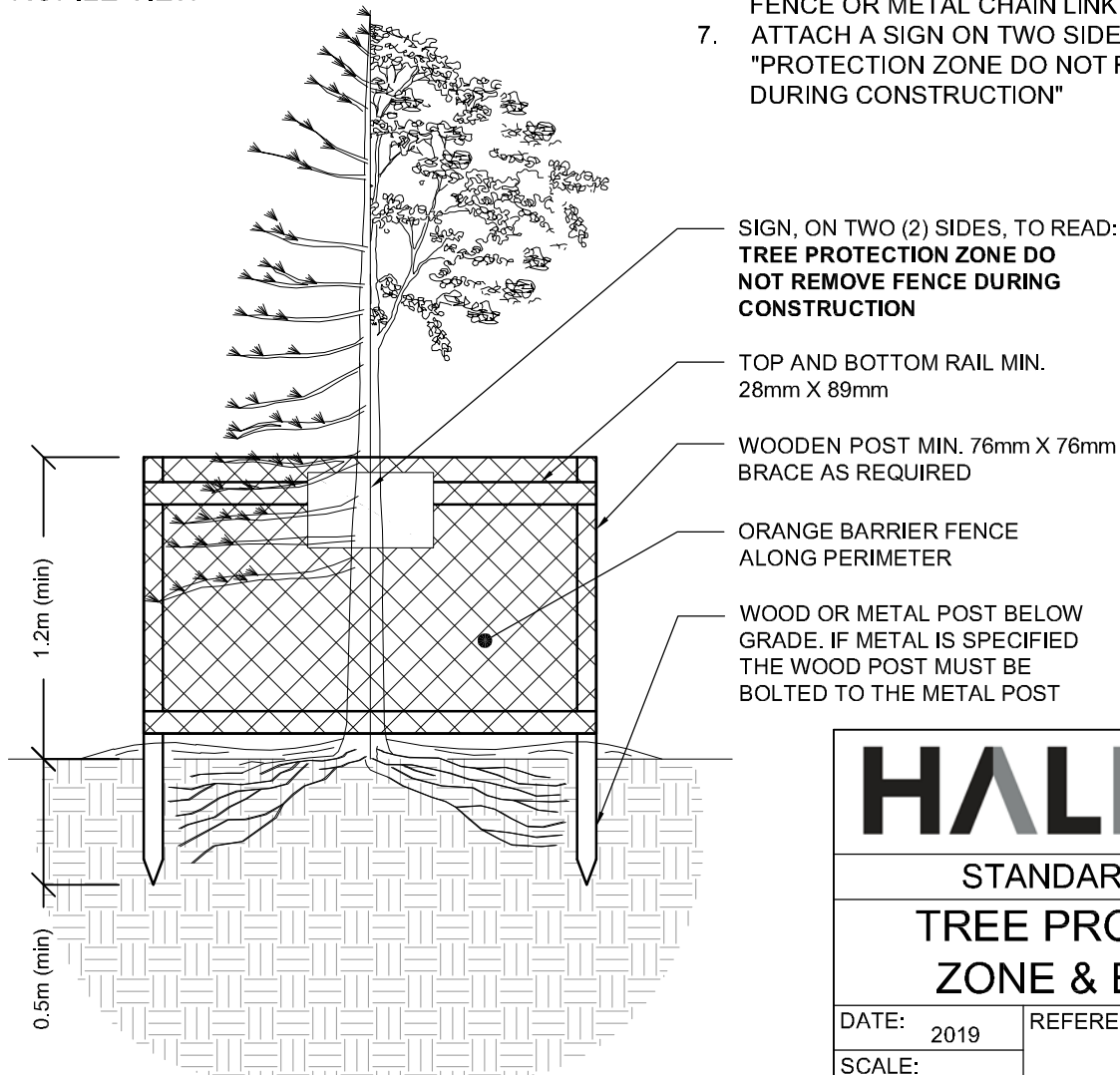


Appendix O - HRM Tree Detail

PLAN VIEW



PROFILE VIEW



TREE PROTECTION ZONE CALCULATION TABLE

TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCE REQUIRED (MEASURE FROM THE OUTSIDE EDGE OF TREE TRUNK)
10 CM & UNDER	1.2 METERS
11 - 30 CM	2.0 METERS
31 - 40 CM	3.4 METERS
41 - 50 CM	4.6 METERS
51 - 60 CM	6.0 METERS
61 - 70 CM	7.0 METERS
71 - 80 CM	8.0 METERS
>80 CM	9.0 METERS

NOTES:

1. WOOD POST: (MIN. 76mm WIDTH) INSTALLED TO A DEPTH OF 500mm (UNDERGROUND LOCATES REQUIRED)
2. TOP AND BOTTOM RAIL: (MIN. 38 X 89mm CONSTRUCTION, MAX. SPAN 2.5m), CROSS BRACING AS REQUIRED.
3. HEIGHT OF THE FENCE: MIN.1.2 METERS
4. NO GROUND DISTURBANCE WITHIN 1.2 METER OF THE TREE TRUNK (I.E. POST INSTALLATION)
5. POSTS SET BACK FROM SIDEWALK AND CURB: MIN 300mm
6. FENCE MATERIAL: MINIMUM ORANGE BARRIER FENCE OR METAL CHAIN LINK FENCE
7. ATTACH A SIGN ON TWO SIDES OF THE TREE "PROTECTION ZONE DO NOT REMOVE FENCE DURING CONSTRUCTION"

HALIFAX

STANDARD DETAIL

**TREE PROTECTION
ZONE & BARRIER**

DATE: 2019

REFERENCE:

APPROVED

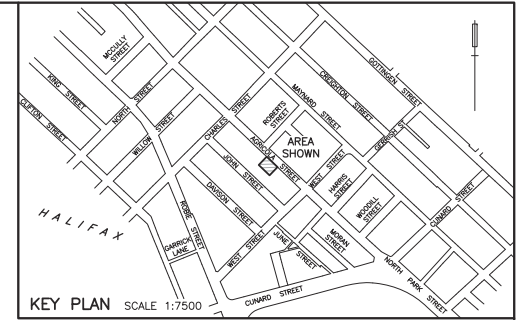
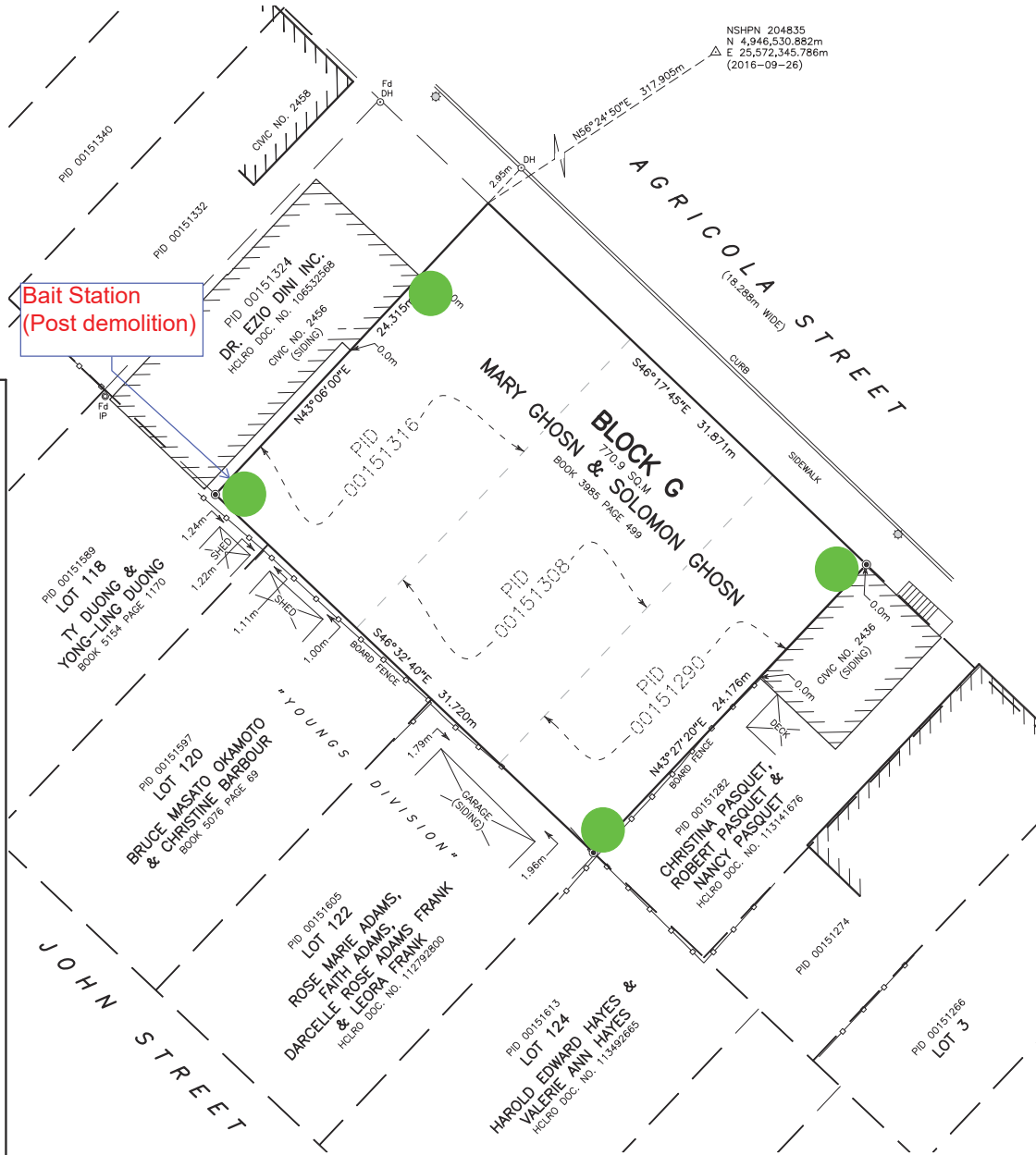
SCALE:

NTS

FIG NO:

Appendix P – Rodent Control Plan

GRID NORTH



LEGEND

PERIMETER OF LANDS SURVEYED
NOVA SCOTIA HIGH PRECISION NETWORK MONUMENT	△ NSHPN
SURVEY MARKER SET	⊙
DRILL HOLE	⊙ DH
IRON PIPE	⊙ IP
UTILITY POLE & ANCHOR	⊙
HALIFAX COUNTY LAND REGISTRATION OFFICE	HCLRO
PARCEL IDENTIFICATION NUMBER	PID
FOUND	Fd
OVERHANG	O/H
SQUARE METERS	SQ.M

BEARINGS AND COORDINATES REFER TO ZONE 5, CENTRAL MERIDIAN 64°30' WEST, OF THE NOVA SCOTIA TRANS PROJECTION OF THE NAD83(CRCS) 2011.0 HORIZONTAL DATUM.

Bait Station Legend Post Demo

-
Rodent Control Plan
-
Prepared by
Rentokil Pest Control
-
902 835 2304
-
51 Duke Street
Bedford, N.S
B4A 2Z2

Protecta® EVO **AMBUSH**™

PATENT PENDING



THE MOST ADVANCED LOW-PROFILE BAIT STATION

PRODUCT FEATURES:

- ▶ Single locking mechanism for quick servicing
- ▶ Removable tray for easy cleaning
- ▶ Locking bait rods won't fall out during cleaning
- ▶ Dog & child tamper-resistant
- ▶ Can hold:
 - 4 - 1 oz. bait BLOX on 4 vertical rods
 - or -
 - T-Rex™ rat trap or Mini-Rex™ mouse trap
- ▶ Compatible with Sidekick® Load-N-Lock™ system



PRODUCT

Protecta Evo Ambush

CODE

EA2000

DIMENSIONS (in)

8 1/2 x 10 1/4 x 4 1/4

CASE QTY

6 Stations



More Than Meets The Eye

Madison, Wisconsin 53704 USA | Ph: (608) 241-0202 | Fax: (608) 241-9631

www.belllabs.com

ALL-WEATHER
BLOX™



CONTRAC®
ALL-WEATHER BLOX™

KILLS RATS, MICE & MEADOW VOLES*

Kills Warfarin Resistant Norway Rats

KEEP OUT OF REACH OF CHILDREN

CAUTION

See back panels for First Aid and additional precautionary statements.

ACTIVE INGREDIENT:

Bromadiolone (CAS #28772-56-7): 0.005%

OTHER INGREDIENTS: 99.995%

[†]Contains Denatonium Benzoate TOTAL 100.000%

*Not permitted for use against the following species in California: Cotton rat, Eastern harvest mouse, Golden mouse, Polynesian rat, Meadow vole, White-throated woodrat, Southern plains woodrat, and Mexican woodrat.

NET WT:
18 lbs (8.2 kg)



DETEX[®] BLOX with LUMITRACK

SAFETY DATA SHEET

ACCORDING TO REGULATION: OSHA
Hazard Communication Standard 29 CFR 1910.1200

DATE OF ISSUE:
January 2016

PREPARED BY:
CAR

SECTION 1. PRODUCT AND COMPANY IDENTIFICATION

Product Identifier: DETEX[®] BLOX with LUMITRACK

EPA Registration Number: NA

Relevant identified uses of the substance or mixture and uses advised against

Relevant identified uses: Activity Monitoring - Ready to use

Uses advised against: Use only for the purpose described above

MANUFACTURER/SUPPLIER:

Bell Laboratories, Inc.

3699 Kinsman Blvd.

Madison, WI 53704, USA

Email: sds@belllabs.com

Phone: 608-241-0202

Medical or Vet Emergency: 877-854-2494 or 952-852-4636

Spill or Transportation Emergency: 800-424-9300 (CHEMTREC)

SECTION 2. HAZARDS IDENTIFICATION

Classification according to Regulation OSHA 1910.1200(d): Not classified

Signal Word: None

See Section 15 for information on FIFRA applicable safety, health, and environmental classifications.

SECTION 3. COMPOSITION/INFORMATION ON INGREDIENTS

Component	CAS No.	% By weight
Inert and Non-Hazardous Ingredients (Unlisted components are non-hazardous)	Proprietary	100.00%

SECTION 4. FIRST AID MEASURES

Description of first aid measures

Ingestion: Non-Toxic

Inhalation: Not applicable.

Eye contact: Non-Toxic

Skin contact: Non-Toxic

Most important symptoms and effects, both acute and delayed

Non-Toxic

Advice to physician: Non-Toxic

Advice to Veterinarian: Non-Toxic

SECTION 5. FIRE-FIGHTING MEASURES

Extinguishing media

Suitable Extinguishing Media: water, foam or inert gas.

Unsuitable Extinguishing Media: None known.

Special hazards arising from the mixture: High temperature decomposition or burning in air can result in the formation of toxic gases, which may include carbon monoxide.

Advice for firefighters: Wear protective clothing and self-contained breathing apparatus.

SECTION 6. ACCIDENTAL RELEASE MEASURES

Personal precautions, protective equipment and emergency procedures: None. Non-Toxic

Environmental precautions: None. Non-Toxic

Methods and materials for containment and cleaning up

For Containment: None. Non-Toxic

For Cleaning Up: None. Non-Toxic

Reference to other sections: Refer to Sections 7, 8 & 13 for further details of personal precautions, personal protective equipment and disposal considerations.

SECTION 7. HANDLING AND STORAGE

Precautions for safe handling: Do not use near heat sources, open flame, or hot surfaces. Non-Toxic.

Conditions for safe storage, including any incompatibilities: None. Non-Toxic

SECTION 8. EXPOSURE CONTROLS/PERSONAL PROTECTION

Established Limits

Component	OSHA	ACGIH	Other Limits
None	Not Established	Not Established	Not Established

Appropriate Engineering Controls: None. Non-Toxic

Occupational exposure limits: None. Non-Toxic

Personal Protective Equipment:

Respiratory protection: Not required

Eye protection: Not required

Skin protection: None. Non-Toxic

Hygiene recommendations: None. Non-Toxic

SECTION 9. PHYSICAL AND CHEMICAL PROPERTIES

Information on basic physical and chemical properties

Appearance/Color:	Tan wax block
Odor:	Sweet grain-like
Odor Threshold:	Not applicable, odor not associated with a hazardous material.
pH:	Not applicable, is not dispersible with water.
Melting point:	Not applicable
Boiling point:	Not applicable
Flash point:	Not applicable, does not contain components classified as flammable.
Evaporation rate:	Not applicable, is a solid.
Flammability:	Not applicable, is a solid.
Upper/lower flammability or explosive limits:	Not applicable, does not contain components classified as flammable or explosive.
Vapor Pressure:	Not applicable
Vapor Density:	Not applicable, is a solid
Relative Density:	1.13 g/mL @ 20°C
Solubility (water):	Not water soluble
Solubility (solvents):	Not applicable
Partition coefficient: n-octanol/water:	Not applicable
Auto-ignition temperature:	Not applicable, does not contain components classified as flammable.
Decomposition temperature:	Not applicable
Viscosity:	Not applicable, is not a liquid.

SECTION 10. STABILITY AND REACTIVITY

Reactivity: Not Applicable

Chemical stability: Not Applicable

Possibility of hazardous reactions: Refer to Hazardous decomposition products

Conditions to avoid: Avoid extreme temperatures (below 0°C or above 40°C).

Incompatible materials: Not Applicable

Hazardous decomposition products: Not Applicable

SECTION 11. TOXICOLOGICAL INFORMATION

Information on toxicological effects

Acute Toxicity

LD50, oral (ingestion): Not Toxic

LD50, dermal (skin contact): Not Toxic

LC50, inhalation: Not Toxic

Skin corrosion/irritation: Not Toxic

Serious eye damage/Irritation: Not Toxic.

Respiratory or skin sensitization: Not Toxic

Germ cell mutagenicity: Not Toxic

Carcinogenicity: Not Toxic

Components	NTP	IARC	OSHA
None	NA	NA	NA

Reproductive Toxicity: Not Toxic
Aspiration Hazard: Not Toxic
Target Organ Effects: Not Toxic

SECTION 12. ECOLOGICAL INFORMATION

Ecotoxicity Effects: Not Toxic
Persistence and degradability: Not Toxic
Bioaccumulative potential: Not Toxic
Mobility in Soil: Not Toxic.
Other adverse effects: None.

SECTION 13. DISPOSAL CONSIDERATIONS

Disposal: Wastes resulting from the use of this product may be placed in trash, on-site, or at an approved waste disposal facility. Dispose of all wastes in accordance with all Federal, state and local regulations.

SECTION 14. TRANSPORT INFORMATION

UN number: Not regulated
UN proper shipping name: Not regulated
Transport hazard class(es): Not regulated
Packing group : Not regulated
Environmental Hazards
DOT Road/Rail: Not considered hazardous for transportation via road/rail.
DOT Maritime: Not considered hazardous for transportation by vessel.
DOT Air: Not considered hazardous for transportation by air.
Freight Classification: LTL Class 60
Transport in bulk according to Annex II of MARPOL 73/78 and the IBC code: Not applicable
Special precautions for user: None

SECTION 15. REGULATORY INFORMATION

Safety, health and environmental regulations/legislation specific for the substance or mixture: Not applicable
Signal Word: None
Precautionary Statements: None
Potential Health Effects:
Eye Contact: May cause irritation
Skin Contact: Non-irritating to the skin
Ingestion: Not harmful if swallowed

TSCA: All components are listed on the TSCA Inventory or are not subject to TSCA requirements
CERCLA/SARA 313: Not Toxic
CERCLA/SARA 302: Not Toxic

SECTION 16. OTHER INFORMATION

For additional information, please contact the manufacturer noted in Section 1.

NFPA	Health: 0 (Not Toxic)	Flammability: 1 (slight)	Reactivity: 0 (stable)	Specific Hazard: None
HMIS	Health: 0 (Not Toxic)	Flammability: 1 (slight)	Reactivity: 0 (minimal)	Protective Equipment: None

Disclaimer: The information provided in this Safety Data Sheet has been obtained from sources believed to be reliable. Bell Laboratories, Inc. provides no warranties; either expressed or implied, and assumes no responsibility for the accuracy or completeness of the data contained herein. This information is offered for your consideration and investigation. The user is responsible to ensure that they have all current data, including the approved product label, relevant to their particular use.

Rentokil

Ehrlich | Western | Presto-X
Your Local Pest Control Experts

PestNetOnline

The complete online
pest management
and reporting solution

Randy Hobbs
Account Executive



What is PestNetOnline?

Online reporting and analysis of all pest activity

- Intuitive and easy to use
- Complete visibility to minimize risks
- Increased efficiency with information at your fingertips
- Minimize exposure with all your pest control records and data in one place
- Stay in control with a smartphone app

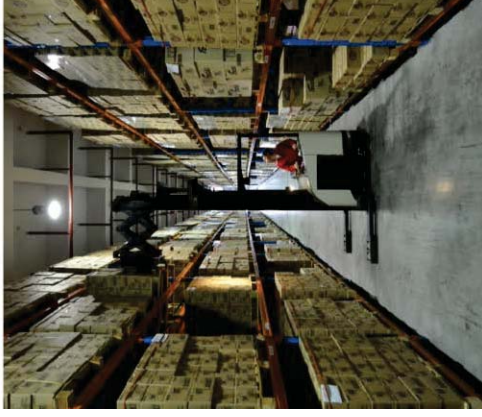


Who is PestNetOnline for?

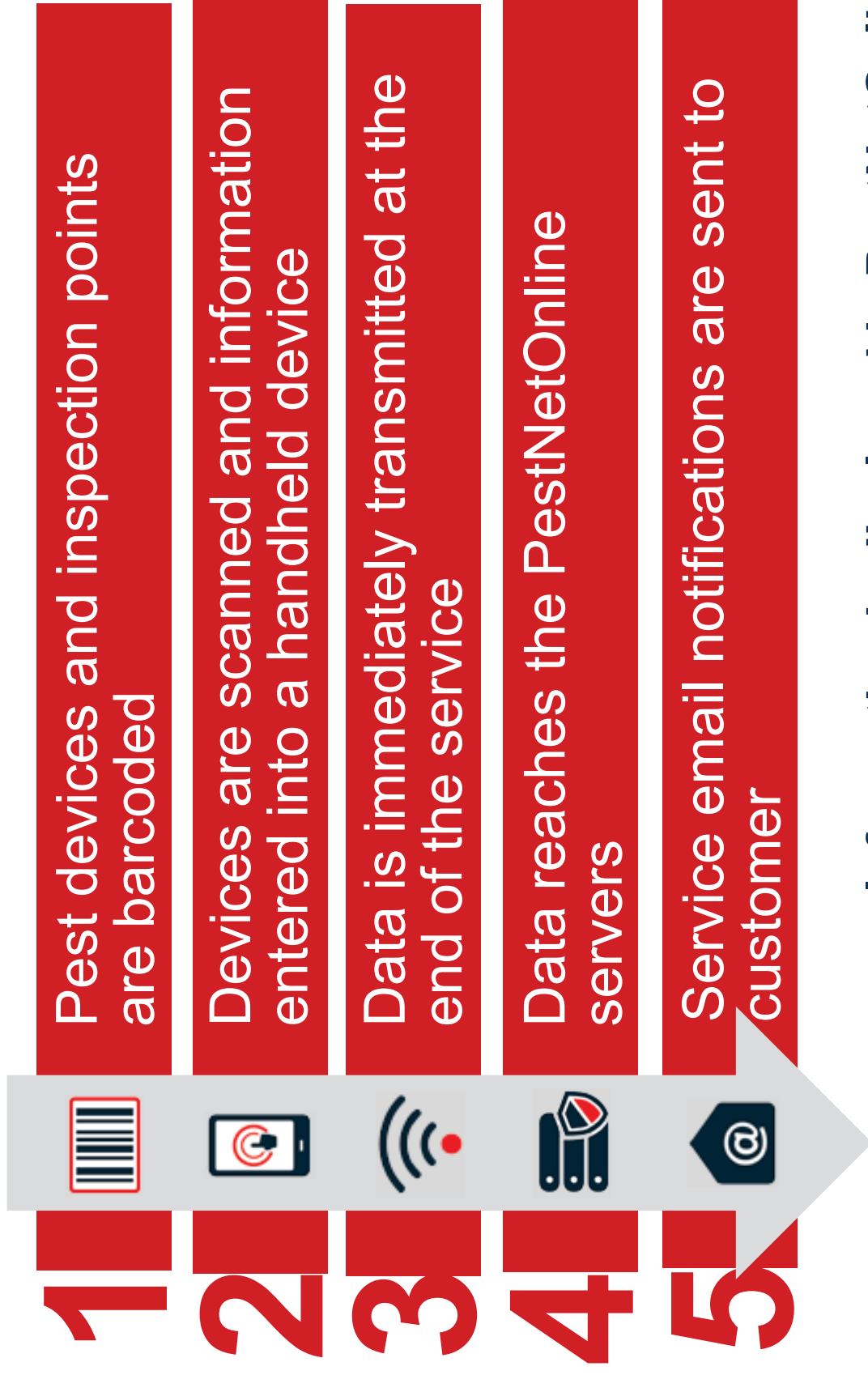
For Food and Beverage, Pharmaceutical, Logistics, Healthcare, Commercial/Residential Property, and Retail... any business that needs online pest management and reporting

Offering:

- Personalized Dashboard
- Multiple and Single Site Locations
- Trend Analysis
- Detailed Service Reports
- Recommendation System
- Interactive Site Maps
- Documentation Availability
- Material Usage Reports
- Proof of Service



How PestNetOnline works...



PestNetOnline

**Information is displayed in PestNetOnline
and mobile applications**

PestNetOnline

Single site locations

- Provides a comprehensive review of all visit details
- Pest Activity and Recommendation charts summarizing at a high level all issues
- Visit Filters allowing you to quickly locate series of visit and types of visits
- Review and reprint any Proof of Service
- Navigation tabs take you directly to Tasks, Recommendations, Pest Activity and Material Usage detail screen – quickly and easily

Home

Dashboard

Reporting

Service History

Audit Compliance

Documents

Contact Us

Welcome Client Name

Logout

Site Name

Site Overview

Recommendations outstanding

Recommendations chart by age

Recommendations outstanding

Site Overview

export data

Number of Recommendations

15

10

5

0

7

14

21

28

35

42

49

56

63

70

77

84

91

98

105

NEW

PENDING

Recommendations by Age

12

Pending recommendations

0

Un-actioned recommendations

Contact us about your recommendations

Site summary

Pest activity alerts

Manage recommendations

5701 Park Ave

Last Visit Date

11/04/2014

Filler Result By:

Zones With Activity

Building

Floor

Zone

Activity

Recommendations

BUILDING

FLOOR

Exterior

Yes

0

BUILDING

FLOOR

Interior

Yes

1

Previous

1

Next

Show 100

Rentokil Visits

(over the last 12 calendar months)

Rentokil visits breakdown

ROUTINE-71.4%

CALLOUT-28.6%

more

My Contract

Contract Number:
05003654,20013654,20021706

Start Date:
22/07/2013

Number of routine visits per year:
0

Number of inspections per year:
0

ISO 9001:
No

Services Provided:
Special Arrangement:
Site Risk Assessment

PestNetOnline

For multi site locations

- A dashboard that summarizes all activity
- My Sites allows you to see an overview of your locations
- Navigation shortcuts allowing you to quickly and effortlessly research visit activity
- Link to all related information
- Export data for custom analysis

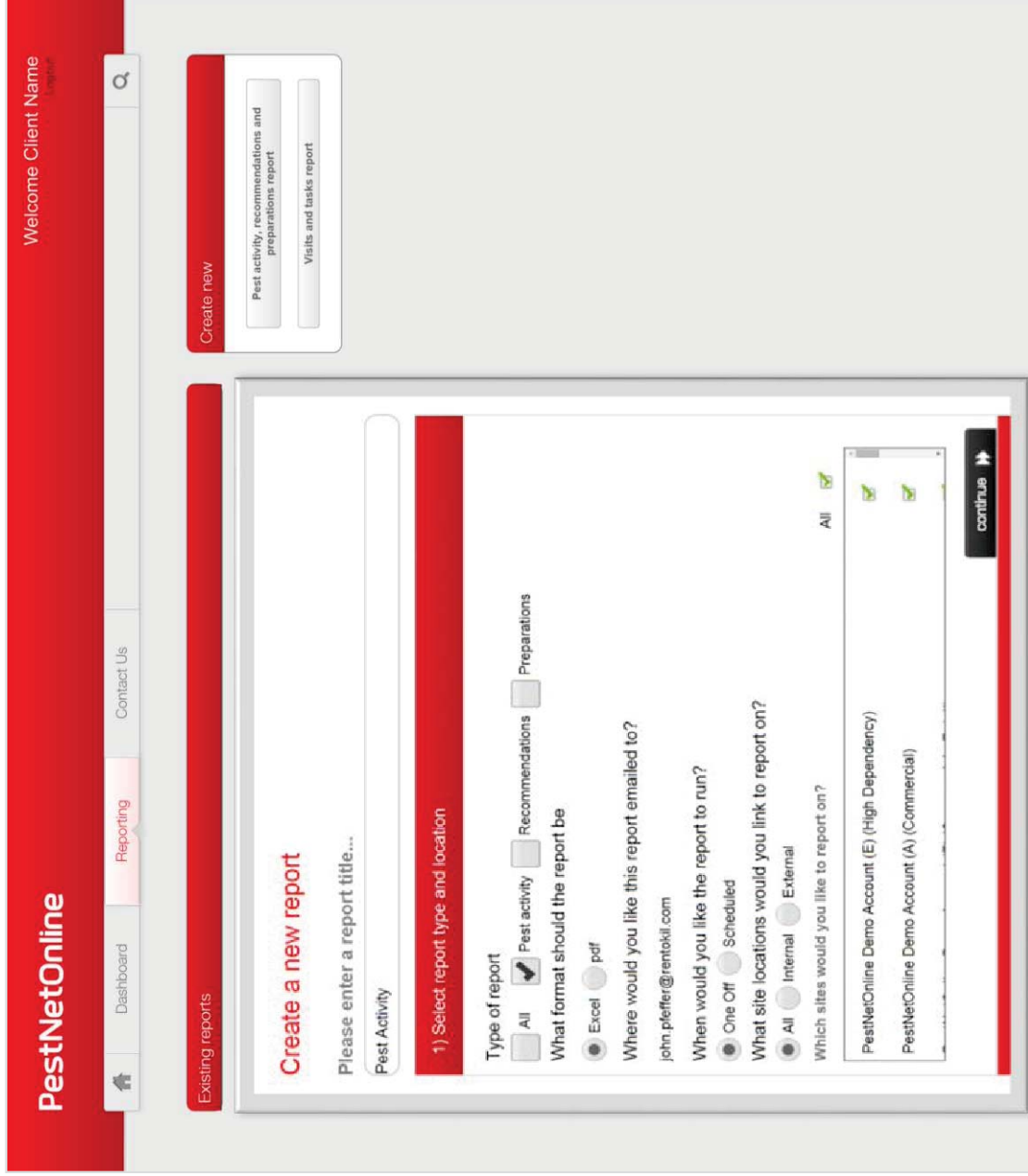
The screenshot displays the PestNetOnline dashboard for user John Smith. The top navigation bar includes links for Dashboard, Reporting, and Contact Us. The main content area is divided into several sections:

- My Sites Overview:** A summary of site activity with a pie chart showing 30.0% for sites with pest activity, 6.7% for sites with open recommendations, and 63.3% for sites with no pest activity.
- Recommendations by Age:** A bar chart showing the number of sites with open recommendations across different age ranges (0-7 days, 8-14 days, 15-21 days, 22-40 days, 41-60 days, 61-90 days, 91 days after).
- Reporting:** Links to generate reports for sites with activity in the last 30 days, sites with open recommendations, and a report for a site or multiple sites.
- Summary:** Across 27 sites you have: 30 Pending recommendations, 24 Un-actioned recommendations, and 5 Recommendations (older than 90 days).
- Breakdown of your sites:** A table showing detailed site information, including site name, date of last visit, pest activity, and recommendation status.

Site name	Date of Last Visit	Pest activity	Un-actioned Recommendations	Pending Recommendations	Recommendations (older than 90 days)
101 ENTERPRISE	23/09/2013	House mice	0	2	2
200 DISTRIBUTION DR. BLDG #934	23/01/2012	No	0	0	0
200 DISTRIBUTION DR. BLDG #496	21/04/2014	No	0	0	0
200 DISTRIBUTION DR. BLDG #796	16/04/2014	No	0	0	0
301 DISTRIBUTION DR. BLDG #359	16/04/2014	Miscellaneous-light flying, Fruit flies	3	2	5

The dashboard also includes a 'Modify Alert' button and a 'Filter Results by' dropdown menu set to 'All'. Navigation buttons for 'Previous', '1', '2', '3', '4', and 'Next' are located at the bottom right.

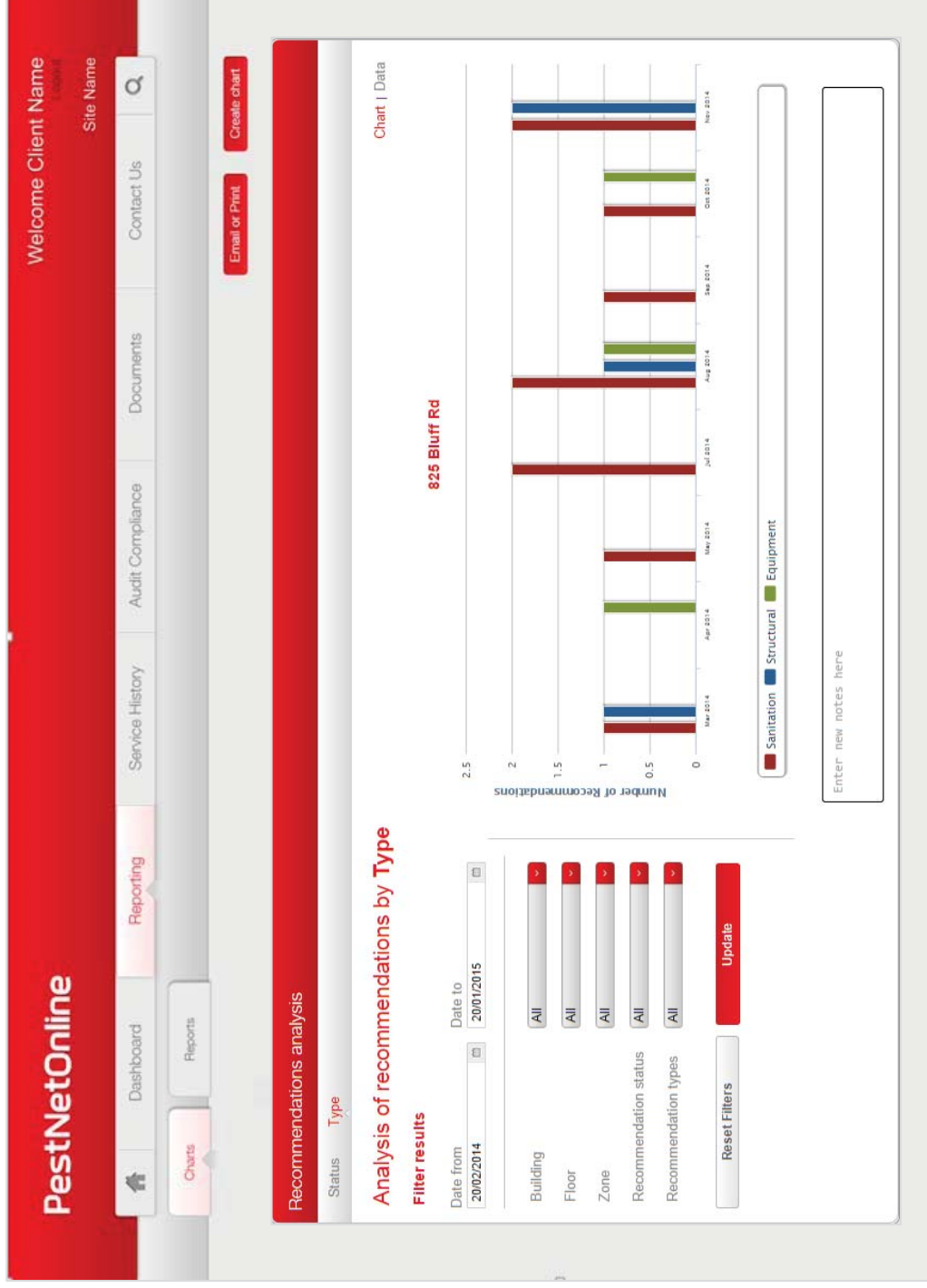
PestNetOnline



Analysis and reports

- Provides quick, ad-hoc snapshot analysis reporting on all pest and device type activity
- Reports can be created to document Pest Activity, Recommendations, Visit Performance, Task Performance and Material Usage
- Reports are distributed to you via email
- Can be created and ran once, or proactively scheduled on a Daily, Week, Monthly or Quarterly based upon your needs
- Many options available to customize a snapshot view of Pest Activity

PestNetOnline

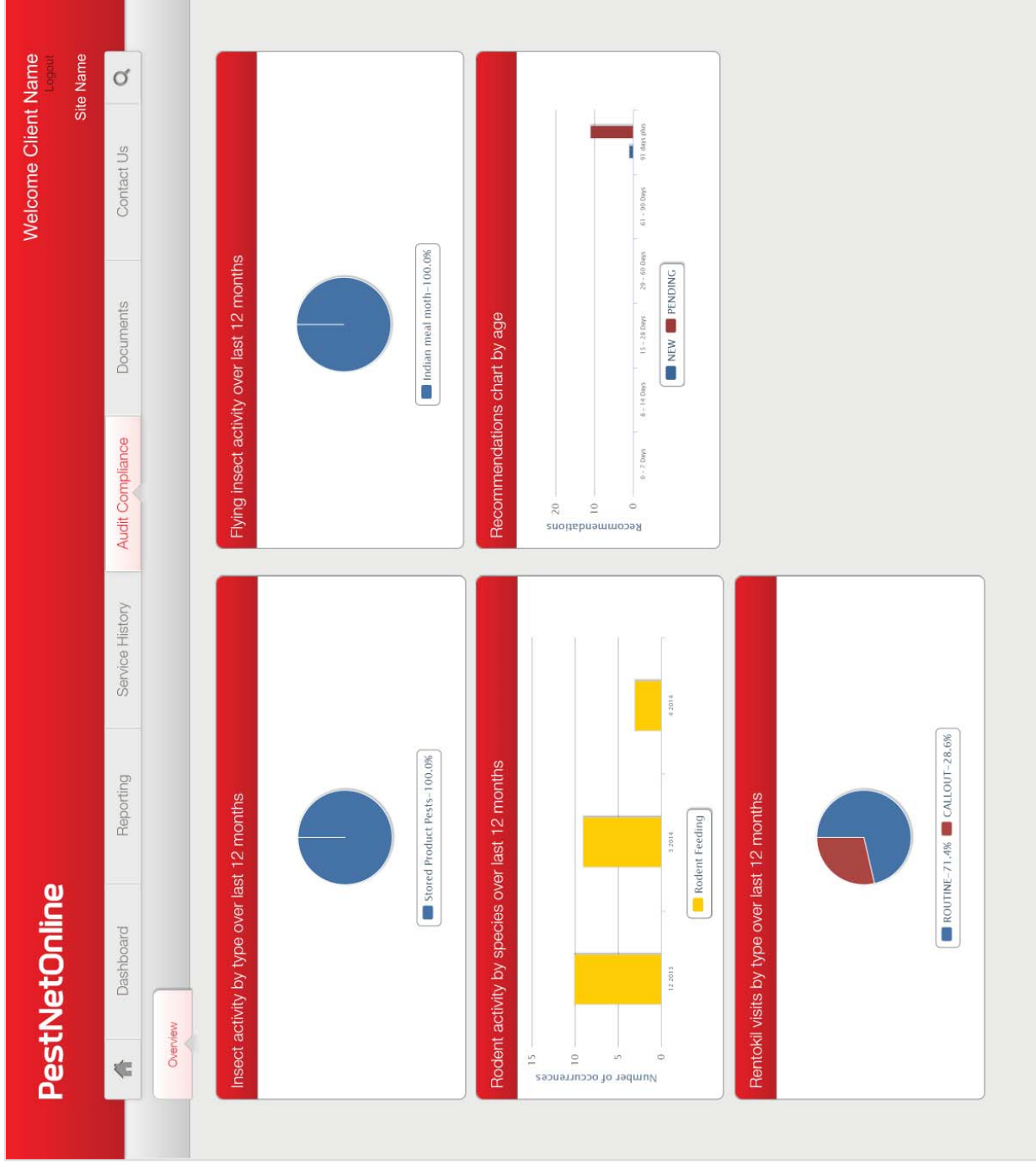


- Options to review an entire worksite, or specific Buildings / Floor / Zones within your worksite
- Feature rich with multiple date range options
- Provides quick, ad-hoc snapshot analysis on all pest activity
- Add commentary to charts

PestNetOnline

For high dependency customers

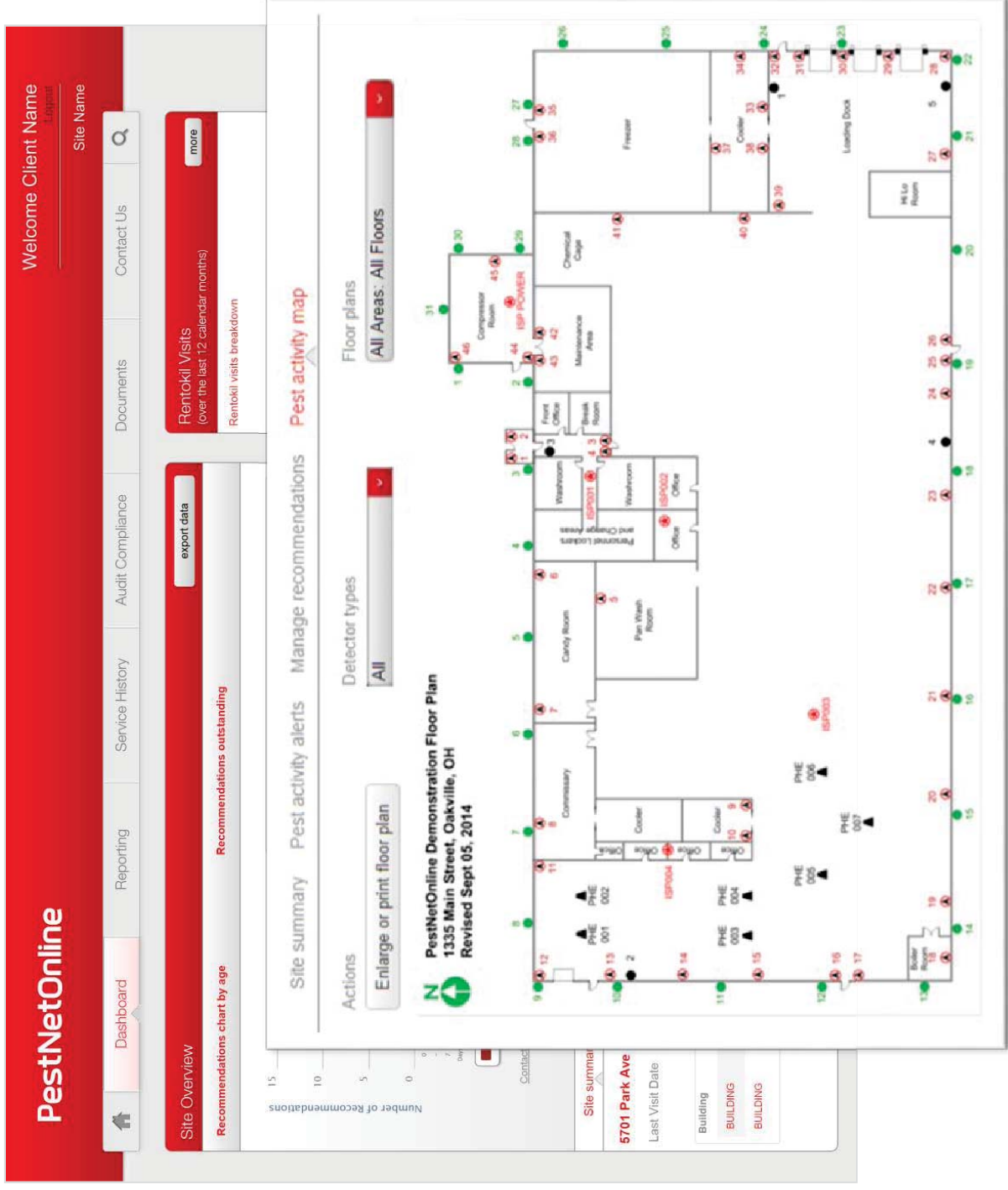
- A dedicated Audit Checklist page
- For AIB, BRC, and other 3rd Party Auditors, a single page that brings together all necessary visit details and links to related information



PestNetOnline

Site plans for high dependency and commercial customers

- Provide a interactive, graphic representation of device location
- Filters allow you to locate specific types (Mechanical Rodent Traps, Pheromone, etc.) quickly and easily
- Site Maps may also be printed if desired



PestNetOnline

Site Documents,
available to all users of
PestNetOnline
complements all printed
log book information
electronically

Site Documents

Site Plan

Dashboard

Reporting

Service History

Audit Compliance

Documents

Contact Us

Home

Logout

Site Name

Welcome Client Name

Logout

Site Name

Q

Documents list

TECH LICENSES, BUSINESS LICENSES, TRAINING CERTIFICATES

Rentokil Background Check policy

Created by : 04/04/2014 | Version : 1 | Expired by :

Technician License - John Doe

Created by : 03/10/2014 | Version : 1 | Expired by : 06/30/2016

GMP Training Certificate - John Doe

Created by : 01/01/2014 | Version : 1 | Expired by :

INSURANCE CERTIFICATES

Insurance Certificate

Created by : 01/01/2014 | Version : 1 | Expired by : 31/12/2014

FACILITY ASSESSEMENTS

IPM Facility Assessment 2014

Created by : 03/01/2014 | Version : 1 | Expired by :

IPM Facility Assessment 2013

Created by : 14/01/2013 | Version : 1 | Expired by :

PestNetOnline Smartphone App

- **Home Screen**
 - Open recommendations
 - Instances of activity (last 90 days)
- **Recommendations**
 - Open recommendations total and by site
 - Open recommendations within a single site
 - Individual recommendation detail
 - Update the recommendation on the spot!
- **Activity**
 - Overall activity and activity instances by site
 - Last 90 days activity within a single site
 - Activity details and materials used
- **Site list and recommendation and activity indicators**
- **Email alerts creation**



PestNetOnline Flexibility

PestNetOnline offers three levels of functionality

- Whether you are a homeowner, local retailer, business with multiple branches or manufacturer, PestNetOnline will meet all of your business needs

Level	Residential	Commercial	High Dependency
Functionality	Privately owned residences, condos, and townhouses	Commercial organizations that do not require third party audit support	Businesses and organizations who utilize any third party audit group
Barcode Structure	One barcode is required	✓	✓
Materials Usage	Only through reporting	✓	✓
Pest Activity	✓	✓	✓
Updating Recommendations	✓	✓	✓
Visit Details	✓	✓	✓
Single Site Reporting	✓	✓	✓
Documents	✓	✓	✓
Reports	✓	✓	✓
Smartphone app (lite version)	✓	✓	✓
Alerts	X	✓	✓
Multi-Site Reporting	X	✓	✓
Detector History	X	✓	✓
Trends Analysis	X	✓	✓
Tasks	X	✓	✓
Site Plans	X	X	✓
Audit Compliance	X	X	✓

PestNetOnline

For more information visit pnol.rentokilna.com

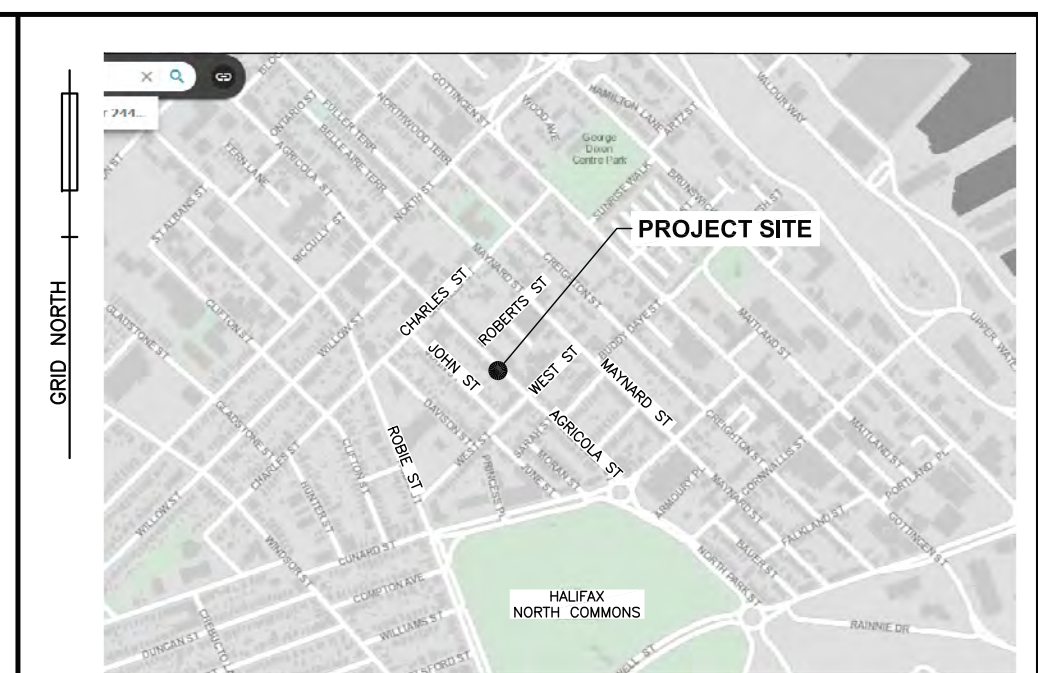
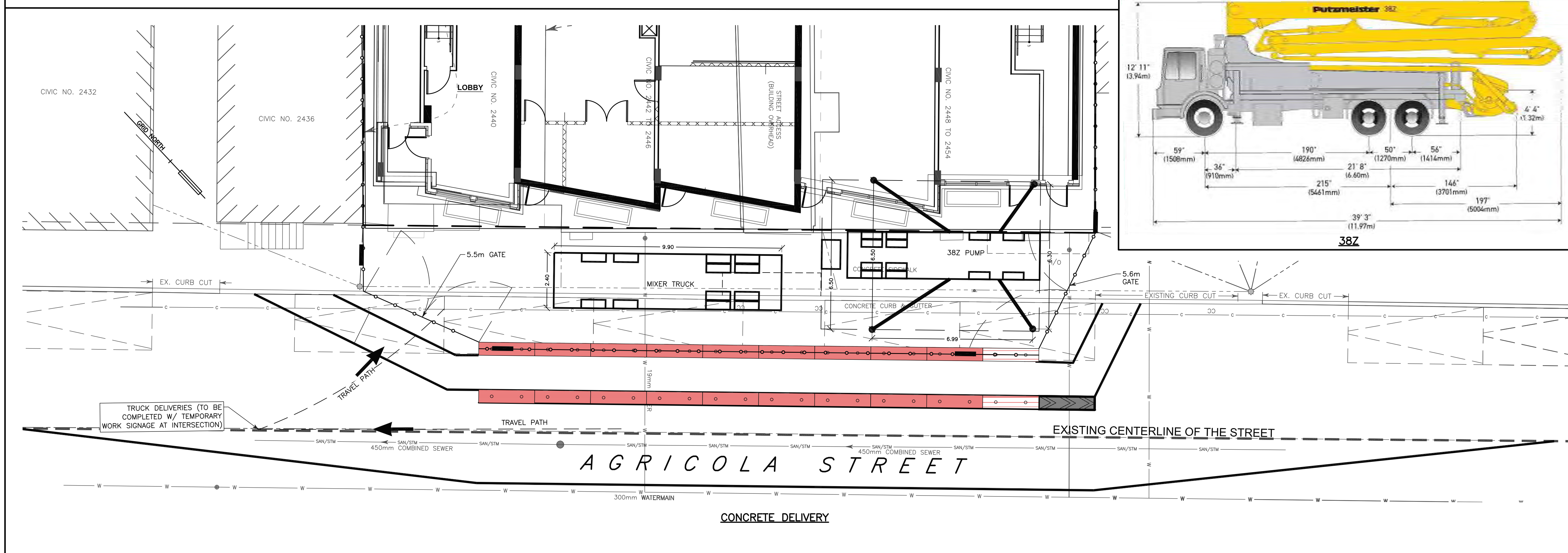
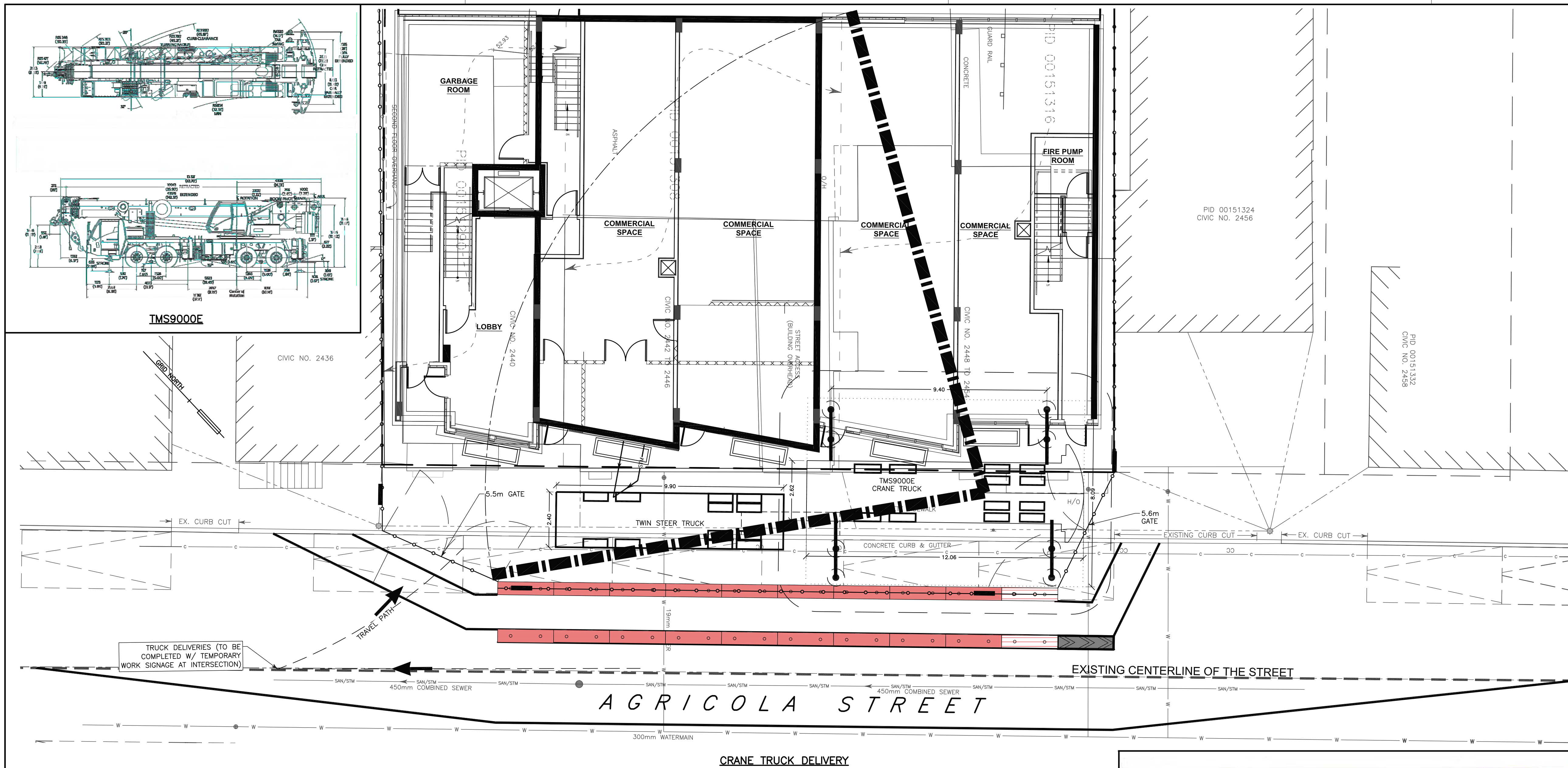
Appendix Q – CMP's TCP & PMP Inspection Records

Project: _____ Location: _____ Phase: _____ Date: _____ Inspector: _____

CONSTRUCTION MANAGEMENT PLAN - INSPECTION CHECKLIST

[illegible]

Appendix R – Delivery Schematic



LEGEND		
EXISTING	CONTOUR LINE	PROPOSED
25.0	CONTOUR LINE	25.0
●/● BF	CURB STOP/GATE/BUTTERFLY VALVE	●/● BF
◆	FIRE HYDRANT	◆
◆	CONCRETE THRUST BLOCK	◆
◆	SIAMESE CONNECTION	◆
■/■/■	CATCH BASIN/PIT	■/■/■
—	CULVERT	—
—	ROCK LINING/DAM	—
—	ROCK WALL/RETAINING WALL	—
—	POWER POLE & ANCHOR/LIGHT STANDARD	—
—	TREE	—
—	STREET SIGN/PARKING METER	—
× 131.82	ELEVATION/GRADE	125.00 × 125.00
—	TEST PIT	—
—	DRAINAGE/SWALE FLOW DIRECTION	—
W	WATER MAIN/SERVICE	W
SAN	SANITARY MANHOLE & PIPE	SAN
STM	STORM MANHOLE & PIPE	STM
SAN/STM	COMBINED PIPE	SAN/STM
GAS	GAS LINE	GAS
FL	100YR. FLOOD LIMIT	FL
—	GUARD RAIL	—
—	UNDERGROUND CONDUIT	—
—	OVERHEAD WIRES	—
—	PROPERTY LINE/BOUNDARY	—
—	FENCE	—
—	BUILDING	—
—	TOP OF SLOPE	—
—	TOE OF SLOPE	—
—	TREELINE	—
—	LIMITS OF DISTURBANCE	—
—	TACTILE PEDESTRIAN PLATES	—
—	PROJECT SAFETY SIGNAGE	—
—	ORANGE SAWHORSE BARRICADE	—

NOTES

1. THIS PLAN IS IN METRIC.

0	20/08/17	ISSUED FOR REVIEW	
No.	YY/MM/DD	Revision Description	App'd

PROPOSED BUILDING
2440 AGRICOLA ST
HALIFAX, NOVA SCOTIA

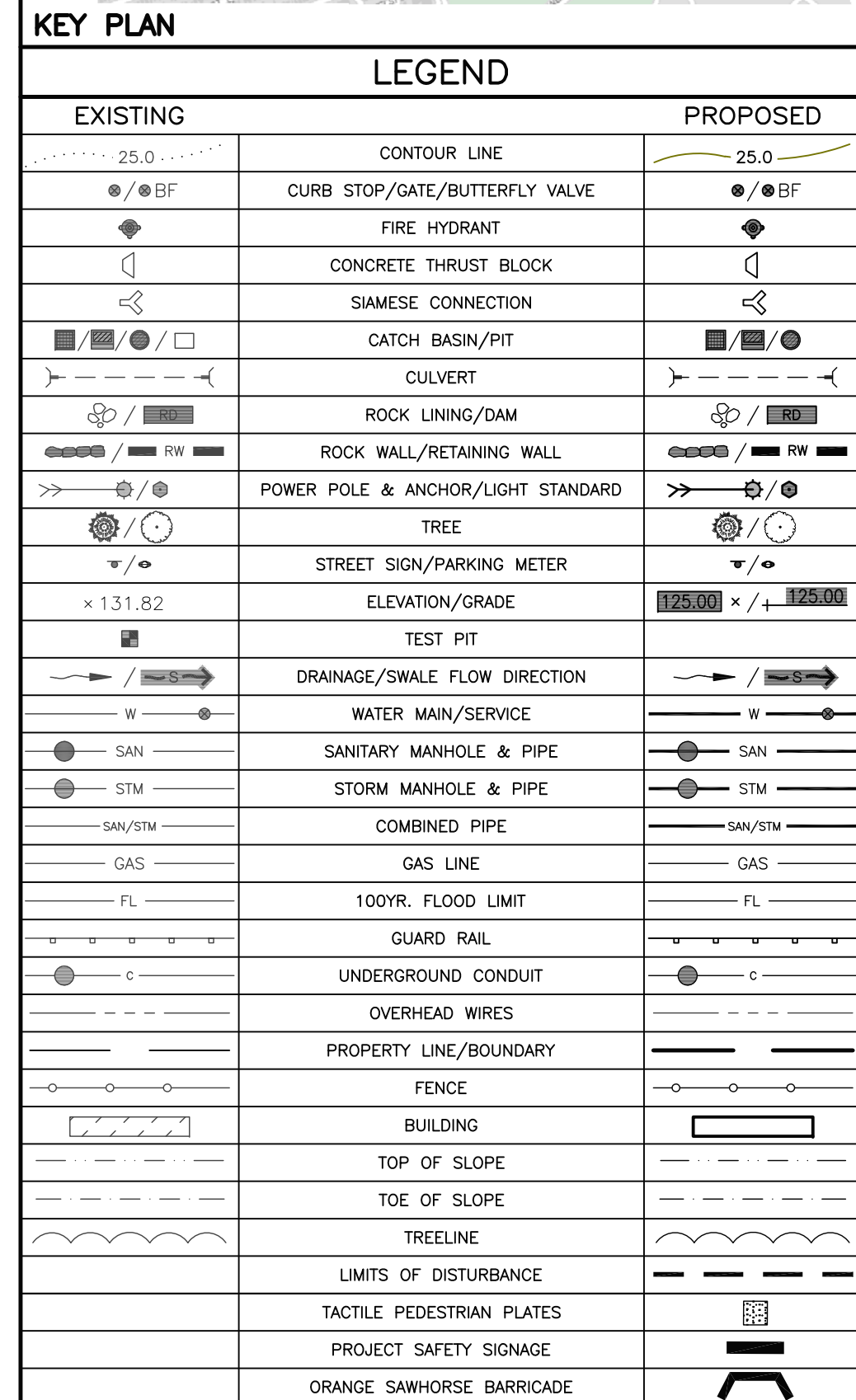
CRANE TRUCK AND CONCRETE
DELIVERY SCHEMATIC

Date	August 17, 2020	Drawn	D. ANDERSON	Project No.	FILE NO. 1-1-467 (35288)
Scale	1:100	Engineer	G. MACLEAN	Plan No.	16-2295-0
Reference	---	Approved	G. MACLEAN	Drawing Name	
Surveyed	SDMM	Sheet			R2

0m 1 2 4 6 8 10m

Appendix S – Line Painting Plan


The diagram is a detailed architectural site plan for the Level 100 Commercial Patio. It shows the building's footprint with various rooms including a Garbage Room, Lobby, Commercial Space, Fire Pump Room, and a Street Access (Building Overhead). The building is situated on a lot with adjacent lots 120 and 118. The plan includes a 5.5m gate and a 5.6m gate. The street frontage on Agrícola Street features a 1.5m protected temporary pedestrian lane, F-type concrete barriers, and a tapered barrier. The existing centerline of the street is marked, and the proposed temporary solid yellow line is shown. The plan also indicates the location of unmetered parking (to be closed) and the 20.0m taper. The overall dimensions of the altered center line are 66.86m, and the altered center line is 26.86m. The plan includes a note about the ground off asphalt prior to construction and reinstatement post construction.



APPROVED BY _____

TRAFFIC AUTHORITY _____ DATE _____

FOR THE APPROVAL OF A ALTERED CENTRE LINE ONLY. ALL OTHER ASPECTS OF THIS TEMPORARY TRAFFIC CONTROL PLAN MUST FOLLOW THE TEMPORARY CONTROL MANUAL, LATEST EDITION.




REGISTERED PROFESSIONAL ENGINEER
NOVA SCOTIA

DATE _____

G.K. MacLean

8978



SDMM

Servant, Dunbrack, McKenzie & MacDonald Ltd.

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PROPOSED BUILDING
2440 AGRICOLA STREET
HALIFAX, NOVA SCOTIA

LINE PAINTING SCHEMATIC

Date JULY 31, 2020	Drawn D. ANDERSON	Project No. FILE NO. 1-4-467(35288)
Scale 1:100	Engineer G. MACLEAN	Plan No. 16-2284-0
Reference --	Approved G. MACLEAN	Drawing Name
Surveyed SDMM	Sheet	R3