



P.O. Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

Item No. 11.4.1
Halifax Regional Council
March 9, 2021

TO: Mayor Savage and Members of Halifax Regional Council

SUBMITTED BY: Original Signed

For Jenny Lugar, Chair, Heritage Advisory Committee

DATE: February 25, 2021

SUBJECT: **Case H00482: Substantial Alteration to a municipally registered heritage property at 2438 Gottingen Street, Halifax**

ORIGIN

February 24, 2021 special meeting of the Heritage Advisory Committee, Item 9.1.1.

LEGISLATIVE AUTHORITY

Heritage Property Act, R.S.N.S. 1989, c. 199

- 17 (1) Municipal heritage property shall not be substantially altered in exterior or public-building interior appearance or demolished without the approval of the municipality.
- (2) An application for permission to substantially alter the exterior or public-building interior appearance of or demolish municipal heritage property shall be made in writing to the municipality.
- (3) Upon receipt of the application, the municipality shall refer the application to the heritage advisory committee for its recommendation.
- (4) Within thirty days after the application is referred by the municipality, the heritage advisory committee shall submit a written report and recommendation to the municipality respecting the municipal heritage property.
- (5) The municipality may grant the application either with or without conditions or may refuse it.
- (6) The municipality shall advise the applicant of its determination.

RECOMMENDATION

The Heritage Advisory Committee recommends that Halifax Regional Council approve the substantial alteration of 2438 Gottingen Street, Halifax, known as Victoria Hall, as proposed in the February 10, 2021 report and its attachments.

BACKGROUND

The Heritage Advisory Committee received a staff recommendation report dated February 10, 2021, at a February 24, 2021 special meeting of the Committee respecting Case H00482.

For further information on the background of this item, refer to the staff report dated February 10, 2021.

DISCUSSION

The Heritage Advisory Committee reviewed the February 10, 2021 staff report and received a staff presentation at a February 24, 2021 special meeting.

Following a discussion of the item, the Committee approved the recommendation as outlined in the "Recommendation" portion of this report. The Heritage Advisory Committee approved the staff recommendation outlined above.

For further discussion on this item, refer to the staff report dated February 10, 2021 (Attachment 1) and draft minutes from the February 24, 2021 special meeting of the Committee respecting Case H00482 (Attachment 2).

FINANCIAL IMPLICATIONS

Refer to the staff report dated February 10, 2021.

RISK CONSIDERATION

Refer to the staff report dated February 10, 2021.

COMMUNITY ENGAGEMENT

Members of the public are permitted to submit correspondence and petitions to be circulated to the Committee. The agenda, reports, and minutes of the Heritage Advisory Committee are posted on Halifax.ca. For further information on Community Engagement as it relates to this item, refer to the staff report dated February 10, 2021.

ENVIRONMENTAL IMPLICATIONS

Refer to the staff report dated February 10, 2021.

ALTERNATIVES

The Committee did not discuss alternatives. Refer to the staff report dated February 10, 2021.

ATTACHMENTS

Attachment 1 – Staff Recommendation Report dated February 10, 2021

Attachment 2 – Extract from the draft minutes from the February 24, 2021 special meeting of the Committee respecting Case H00482.

If the report is released to the public, a copy can be obtained by contacting the Office of the Municipal Clerk at 902.490.4210, or Fax 902.490.4208.

Report Prepared by: Simon Ross-Siegel, Legislative Assistant, Office of the Municipal Clerk, 902.490.6519



P.O. Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

Attachment 1
Heritage Advisory Committee
Special Meeting
February 24, 2021

TO: Chair and members of the Heritage Advisory Committee

-Original Signed-

SUBMITTED BY:

Kelly Denty, Executive Director of Planning and Development

-Original Signed-

Jacques Dubé, Chief Administrative Officer

DATE: February 10, 2021

SUBJECT: **Case H00482: Substantial Alteration to a municipally registered heritage property at 2438 Gottingen Street, Halifax**

SUPPLEMENTARY REPORT

ORIGIN

On July 21, 2020 Regional Council considered an application to substantially alter 2438 Gottingen Street, Halifax, a registered municipal heritage property, to allow the construction of a 16-storey addition and passed the following motion:

“THAT Halifax Regional Council defer the decision on Case H00482 – Substantial Alteration to 2438 Gottingen Street, Halifax and direct staff to explore design revisions with the applicant that would address the concerns related to Standard 11 of the Standards and Guidelines, and return to Heritage Advisory Committee and Halifax Regional Council with a supplementary report no later than six (6) months.”

LEGISLATIVE AUTHORITY

Heritage Property Act, R.S.N.S. 1989, c. 199 – see June 5, 2020 staff report for H00482

By-law H-200, the Heritage Property By-Law – see June 5, 2020 staff report for H00482

RECOMMENDATION

The Heritage Advisory Committee recommends that Regional Council approve the substantial alteration of 2438 Gottingen Street, Halifax, known as Victoria Hall, as proposed in this report and its attachments.

BACKGROUND

Fathom Studios, on behalf of the property owner Joseph Arab, have applied for a development agreement (HRM Planning Case # 22115) at 2438 Gottingen Street in Halifax (shown on Map 1). The property contains Victoria Hall, a municipally registered heritage property that is proposed to be substantially altered as part of a redevelopment of the property (Attachment A).

The original proposal included the construction of a 16 storey multi-unit residential building, as well as the removal of an addition at the rear of Victoria Hall which dates to 1904. Staff provided a negative recommendation to HAC in a report¹ dated June 5, 2020 due to the scale and design of the new building conflicting with the *Standards and Guidelines*. HAC subsequently agreed with the staff assessment and recommended against the proposal in a Committee meeting held on June 25, 2020.

At their meeting on July 21, 2020 Regional Council deferred a decision on the proposal and directed staff to work with the applicant to revise their design with the objective of achieving conformity with Standard 11, and to return to HAC for its recommendation.

DISCUSSION

Under the *Heritage Property Act*, a “substantial alteration” means any action that affects or alters the character-defining elements of a property. Applications to substantially alter a heritage property are evaluated by staff and the Heritage Advisory Committee under the *Standards and Guidelines*. Applications that propose a substantial alteration, such as a new addition, must specifically comply with Standard 11, which requires new construction to be “physically and visually compatible with, subordinate to and distinguishable from the historic place”.

Substantial Alterations

The proposed substantial alterations to Victoria Hall are necessary to permit construction of a proposed residential development (HRM Planning Case # 22115) at the rear of the property. While the original proposal included the construction of a 16-storey residential building directly behind Victoria Hall (Attachment C), the applicant has considered the comments provided by Regional Council, HAC, and staff and have revised their application and design rationale (Attachment B) to include the following substantial alterations:

- Removal of a portion (90%) of the 1904 rear addition of the building as previously proposed; and
- Construction of a 13-storey apartment tower at the rear of Victoria Hall (Attachment D).

Staff advise that the proposed removal of the rear wing is acceptable, as the wing is not visible from the public right-of-way along Gottingen Street, contains few character defining elements relating to the overall structure, and will not diminish the heritage value of the property.

Staff also advise that the revisions made to the design of the multi-unit building are acceptable and bring the design into conformity with Standard 11. This was achieved by:

- Reducing the overall height of the new construction from 16 to 13 storeys;
- Stepping-back the top three storeys of the new building to minimize their appearance from Gottingen Street;
- Introducing a simplified selection of colours and materials meant to accentuate the existing heritage building; and
- Reducing the articulation in the façade of the new building to further reduce its visual impact.

¹ <https://www.halifax.ca/sites/default/files/documents/city-hall/regional-council/200721rc1131.pdf>

In completing an evaluation of the proposal, staff have considered the unique context of the existing heritage building. Victoria Hall is a very large, decorative institutional building set-back from and elevated above the public right-of-way. These factors help to mitigate the visual impact of a large addition at the rear of the property.

Staff have completed an updated evaluation of the proposal using the *Standards and Guidelines* which is summarized in Attachment E.

Non-Substantial Alterations

The proposed non-substantial alterations to the property include repair and rehabilitation of nearly all character defining elements of the existing heritage building, including all trim, siding, windows and masonry landscape features, as well as structural upgrades. This work constitutes conservation of existing character defining elements and is consistent with the original application.

Conclusion

Staff advise that the proposed removal for the rear wing of the property is acceptable as this will not diminish the heritage value of the property. Staff also note that the revised proposal for the new building has incorporated changes that make it physically and visually compatible with, subordinate to, and distinguishable from Victoria Hall, mainly due to its smaller scale and simplified design.

FINANCIAL IMPLICATIONS

The HRM costs associated with processing Case H00482 can be accommodated within the approved 2020/21 operating budget for Cost Centre C340, Social and Heritage Policy. HRM is not responsible for construction and renovation costs.

COMMUNITY ENGAGEMENT

The community engagement process for heritage applications is consistent with the intent of the HRM Community Engagement Strategy. The level of community engagement was information sharing achieved through public access to the required Heritage Advisory Committee meeting.

ENVIRONMENTAL IMPLICATIONS

No environmental implications are identified.

ALTERNATIVES

1. The Heritage Advisory Committee may recommend that Regional Council deny the proposed substantial alterations to 2438 Gottingen Street, Halifax.
2. The Heritage Advisory Committee may recommend that Regional Council approve the proposed substantial alteration of 2438 Gottingen Street, Halifax as proposed in this report and its attachments with conditions based on applicable conservation standards.

ATTACHMENTS

Map 1 – Location Map

Attachment A – Proposed Alterations

Attachment B – Revised Design Rationale

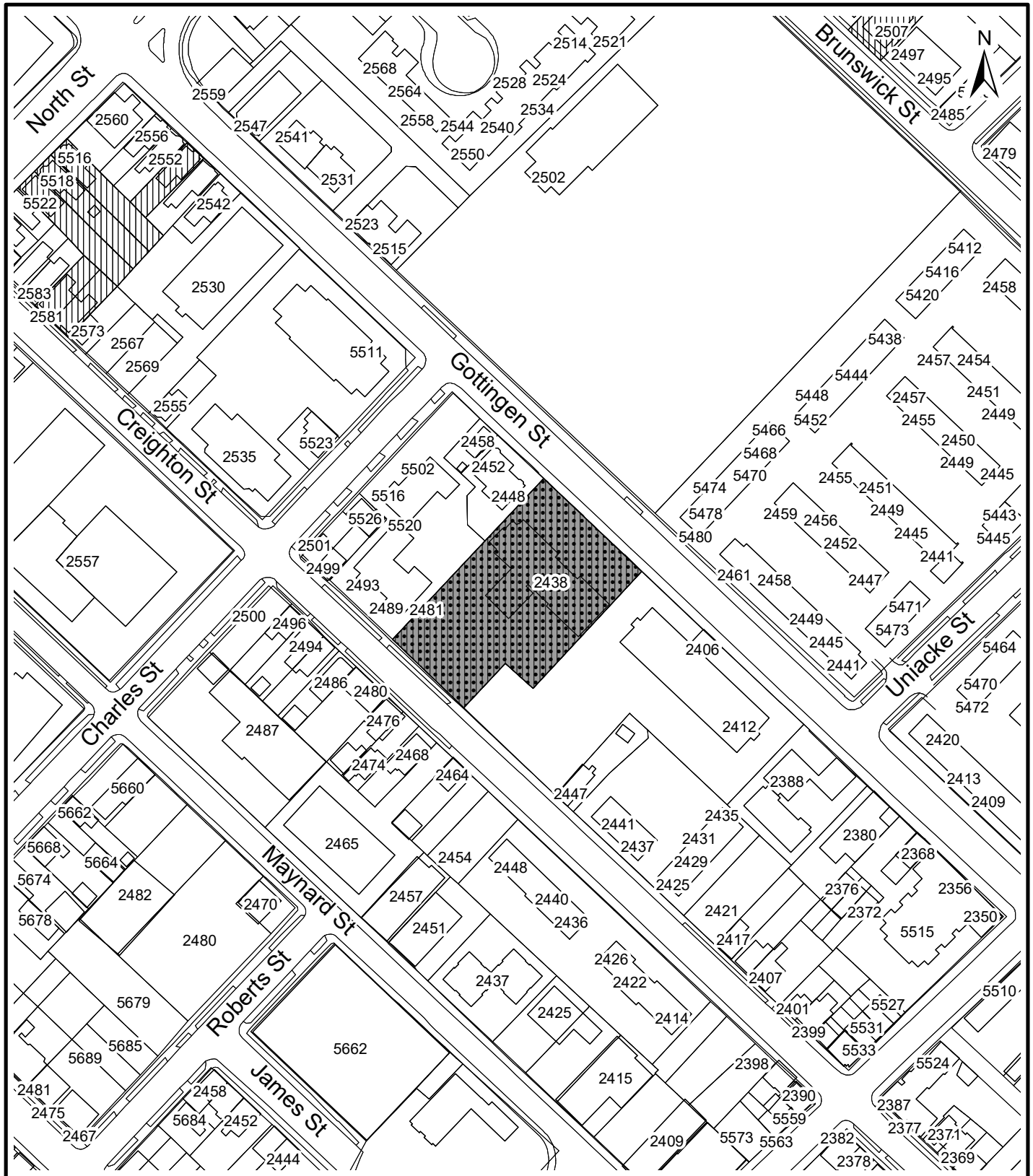
Attachment C – Original Building Drawings

Attachment D – Revised Building Drawings

Attachment E – Updated Standards and Guidelines Evaluation



A copy of this report can be obtained online at halifax.ca or by contacting the Office of the Municipal Clerk at 902.490.4210.

Report Prepared by: Aaron Murnaghan, Principal Planner, Heritage (902) 292.2470

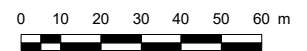


Map 1 - Location Map

2438 Gottingen Street,
Dartmouth

-  Registered Heritage Property
-  Subject Property

HALIFAX



HRM does not guarantee the accuracy of any representation on this plan.

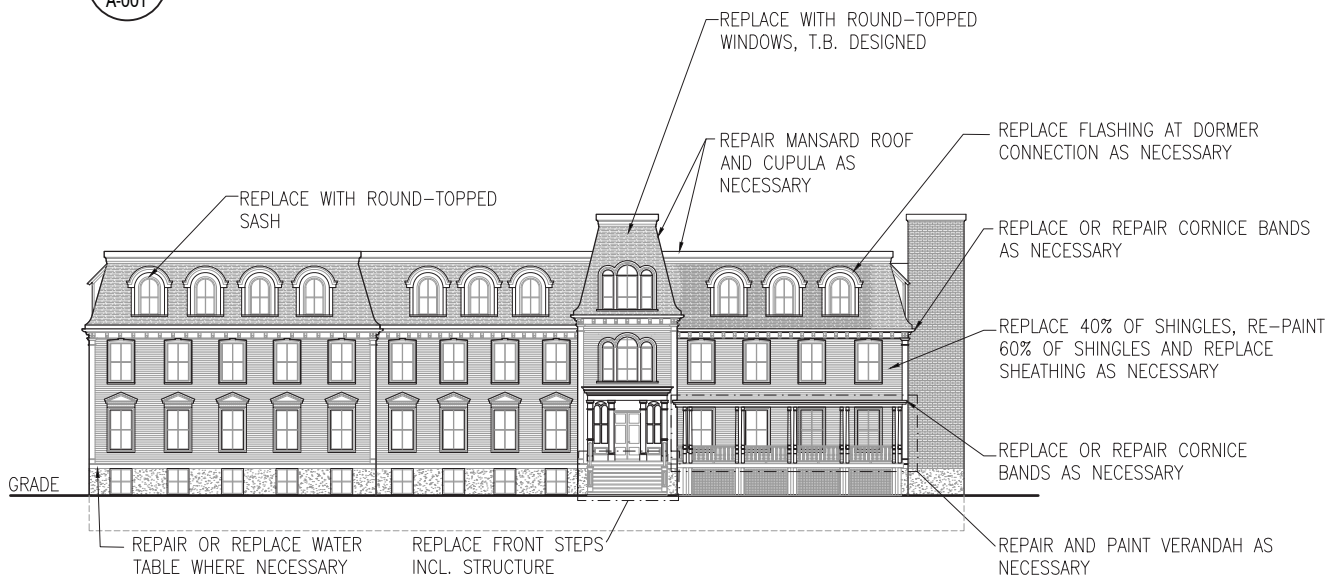
Attachment A - Proposed Alterations

NOTES

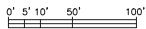
- *REPLACE OR REPAIR GOTTINGEN ST. WALL; WROUGHT IRON ADDED TO GRANITE AND BRICK WALL TO BE REPARGED
- *REPLACE IN-KIND ALL ALUMINUM EAVES TROUGH AND GUTTERS
- *REPLACE VINYL INSERTS AND ONE-OVER-ONE WINDOWS WITH SOLID WOOD TWO-OVER-TWO TDL WINDOWS AND RESTORE ALL OTHER TWO-OVER-TWO WINDOWS
- *ALL ALUMINUM STORM WINDOWS TO BE RECONDITIONED
- *INSTALL METAL OR COPPER WORK AROUND WINDOWS AS NECESSARY
- *REPLACE OR REPAIR DORMER WINDOW TRIM AS NECESSARY
- *ADD WOOD STORM WINDOWS WHERE STORM WINDOWS NOT PRESENT
- *ADD OPERABLE C/W INSERT INSIDE EACH WINDOW (NOT VISIBLE FROM EXT.)



1/16" = 1'-0" **1**
VICTORIA HALL FRONT ELEVATION AS BUILT DRAWING
 A-001



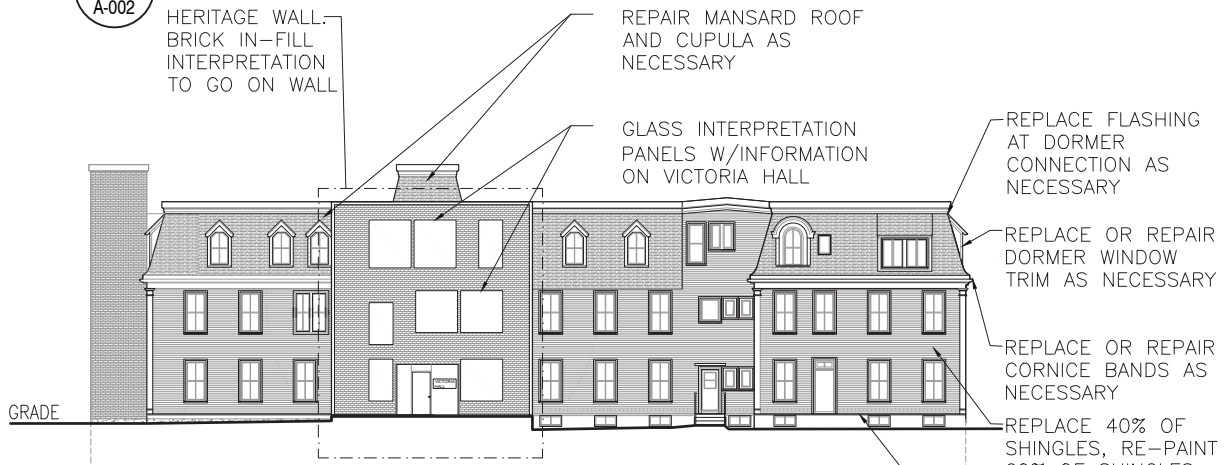
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VICTORIA HALL FRONT ELEVATION PROPOSED CHANGES
 A-001



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| Ekistics Planning & Design fathomstudio.ca 1 Starr Lane Dartmouth, NS B2Y 4V7 fathom | | | PROJECT 2438 GOTTINGEN STREET DEVELOPMENT AGREEMENT APPLICATION | | | SEAL <h2 style="margin: 0;">NOT FOR CONSTRUCTION</h2> |
| | | | CLIENT JOSEPH ARAB | | | |
| | | | DRAWN BY | CHECKED | REVIEWED | DRAWING <h2 style="margin: 0;">FRONT ELEVATION</h2> |
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1/16" = 1'-0"
1
 A-002
VICTORIA HALL REAR ELEVATION AS BUILT DRAWINGS



1/16" = 1'-0"
2
 A-002
VICTORIA HALL REAR ELEVATION PROPOSED CHANGES

0' 5' 10' 50' 100'

HERITAGE WALL - BRICK IN-FILL INTERPRETATION TO GO ON WALL

REPAIR MANSARD ROOF AND CUPULA AS NECESSARY

GLASS INTERPRETATION PANELS W/INFORMATION ON VICTORIA HALL

REPLACE FLASHING AT DORMER CONNECTION AS NECESSARY

REPLACE OR REPAIR DORMER WINDOW TRIM AS NECESSARY

REPLACE OR REPAIR CORNICE BANDS AS NECESSARY

REPLACE 40% OF SHINGLES, RE-PAINT 60% OF SHINGLES AND REPLACE SHEATHING AS NECESSARY

REPAIR OR REPLACE WATER TABLE WHERE NECESSARY

Ekistics Planning & Design
fathomstudio.ca
 1 Starr Lane
 Dartmouth, NS
 B2Y 4V7

fathom

| | | |
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PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT APPLICATION

CLIENT
 JOSEPH ARAB

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NOT FOR CONSTRUCTION

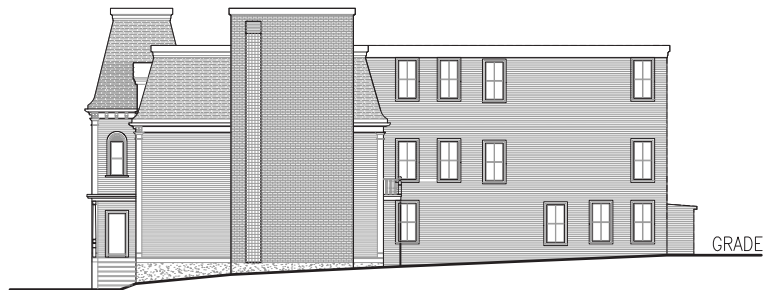
DRAWING

REAR ELEVATION

DRAWING NO. **A-002**

NOTES

- *REPLACE OR REPAIR GOTTINGEN ST. WALL; WROUGHT IRON ADDED TO GRANITE AND BRICK WALL TO BE REPAIRED
- *REPLACE IN-KIND ALL ALUMINUM EAVES TROUGH AND GUTTERS
- *REPLACE VINYL INSERTS AND ONE-OVER-ONE WINDOWS WITH SOLID WOOD TWO-OVER-TWO TDL WINDOWS AND RESTORE ALL OTHER TWO-OVER-TWO WINDOWS
- *ALL ALUMINUM STORM WINDOWS TO BE RECONDITIONED
- *INSTALL METAL OR COPPER WORK AROUND WINDOWS AS NECESSARY
- *REPLACE OR REPAIR DORMER WINDOW TRIM AS NECESSARY
- *ADD WOOD STORM WINDOWS WHERE STORM WINDOWS NOT PRESENT
- *ADD OPERABLE C/W INSERT INSIDE EACH WINDOW (NOT VISIBLE FROM EXT.)



1/16"=1'-0" **1** VICTORIA HALL RIGHT ELEVATION AS BUILT DRAWINGS A-003

REPAIR MANSARD ROOF AND CUPULA AS NECESSARY

REPLACE OR REPAIR CORNICE BANDS AS NECESSARY

REPLACE 40% OF SHINGLES, RE-PAIN 60% OF SHINGLES AND REPLACE SHEATHING AS NECESSARY

REPAIR AND PAINT VERANDAH AS NECESSARY

REPAIR OR REPLACE WATER TABLE WHERE NECESSARY

REPLACE FLASHING AT DORMER CONNECTION AS NECESSARY

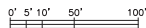
REPLACE OR REPAIR DORMER WINDOW TRIM AS NECESSARY

REMOVE 90% OF 1904 ADDITION

REMOVE BALCONY

1/16"=1'-0" **2** VICTORIA HALL RIGHT ELEVATION PROPOSED DRAWINGS A-003

APPLY PARGET, INSTALL DRAIN FIELD, APPLY INSUL. AND DIMPLE BOARD TO EXT. BELOW GRADE FOUNDATION PERIMETER



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NOTES

- *REPLACE OR REPAIR GOTTINGEN ST. WALL; WROUGHT IRON ADDED TO GRANITE AND BRICK WALL TO BE REPARGED
- *REPLACE IN-KIND ALL ALUMINUM EAVES TROUGH AND GUTTERS
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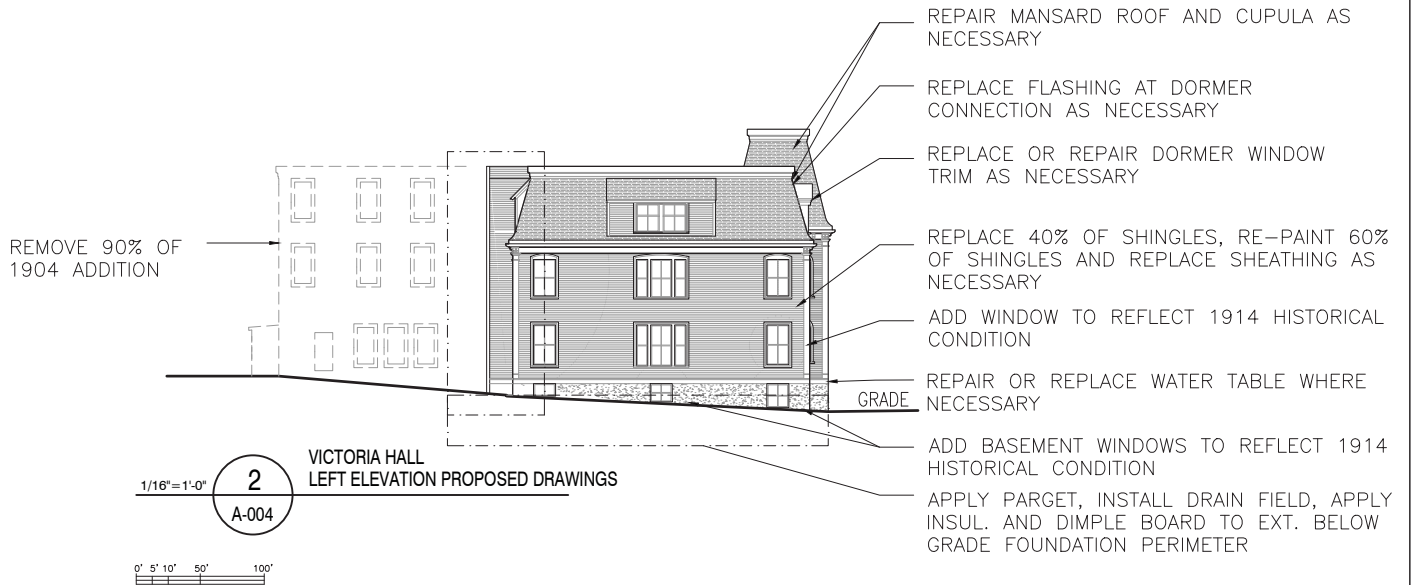


VICTORIA HALL LEFT ELEVATION
AS BUILT DRAWINGS

1/16"=1'-0"

1

A-004

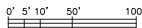


VICTORIA HALL
LEFT ELEVATION PROPOSED DRAWINGS

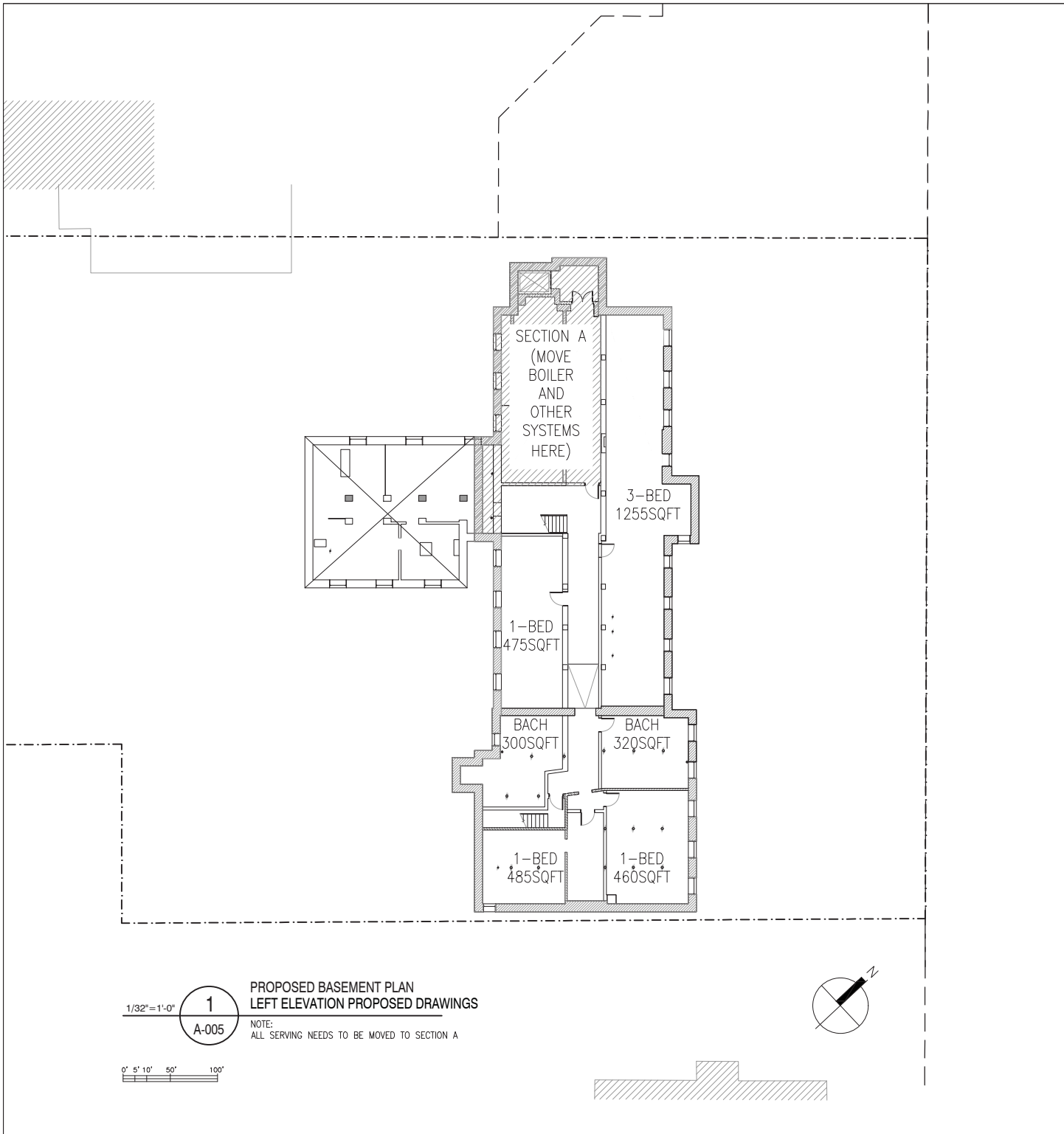
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A-004



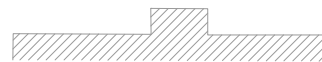
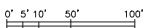
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| | | | CLIENT JOSEPH ARAB | | DATE 2020.02.28 | | |
| | | | SCALE 1/16" - 1'-0" | | DRAWN BY | | DRAWING LEFT ELEVATION |
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| 1 ISSUE FOR HERITAGE IMPACT STATEMENT SUBMISSION 2020.02.28 | | | APPROVED | | | | |
| REVISIONS | | | DATE | | | | |



1/32"=1'-0" **1**
A-005

PROPOSED BASEMENT PLAN
LEFT ELEVATION PROPOSED DRAWINGS

NOTE:
ALL SERVING NEEDS TO BE MOVED TO SECTION A



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6.3 Compliance with Standard 11

Standard 11 of the Standards and Guidelines for the Conservation of Historic Places in Canada requires that one

(a) Conserve the heritage value and character-defining elements when creating any new additions to a historic place or any related new construction.

(b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.” (Page 34)

6.4 Conservation of Heritage Value

The majority of Victoria Hall’s CDEs are located on its Gottingen St Facade and on Dumaresq’s 1914 addition. The proposed mid-rise building is located behind Victoria Hall from Gottingen St, and does not attach to the building at any point to ensure that the above mentioned CDEs retain the same visibility as in their current state. The remainder CDE’s located on Finlay’s back addition will be remembered on the proposed heritage wall.

The building’s history shows consistency in the way it has kept up with changing needs. The mid-rise, the latest iteration of this cycle, is appropriate for 2-reasons:

- A need to increase the site density. The lot is currently located in an HR-1 zone under the new center plan and was located in an R-3, schedule A zone under the former by-law (the by-law that this Development Agreement is being processed under). These 2 zonings highlight the potential of this site to contribute to increased density on the HRM peninsular.
- The proposed yield is necessary to make the proposed conservation work financially viable.



Victoria Hall CDE’s on the Gottingen St Facade and the 1914 addition

6.5 Compatible, Subordinate and Distinguishable

Compatible:

All additions to heritage buildings are required to be compatible in terms of construction, materials and assembly. Part of this criteria does not directly apply to this project as the new build is a separate, non-combustible building. However given the proximity of Victoria Hall to the building, it will be key to create a safe and robust demolition and construction plan to ensure the structural integrity of Victoria Hall (especially the ironstone foundation).

Subordinate and Distinguishable:

The Standards and Guidelines for the Conservation of Historic Places in Canada defines subordination as not causing a distraction from the historic place or an impairment of heritage value. It goes on to state that “Subordination is not a question of size; a small, ill-conceived addition could adversely affect an historic place more than a large, well-designed addition.” (page 34) The proposed design has been carefully designed to fulfill these requirements in the following ways:

Simplified Facade on the Gottingen Facing Elevation:

The proposed design subtly picks up design cues from Victoria Hall while simultaneously acting as a quiet backdrop that allows the colorful, ornate heritage building to stand out. The Gottingen facade is driven by the regular fenestration pattern on Victoria Hall as well as the proportions of the windows on Victoria Hall. A strategically located glazing strip is used to both break up the scale of the facade as well as to frame and thus celebrate the beautiful front entrance and frontispiece of Victoria Hall.

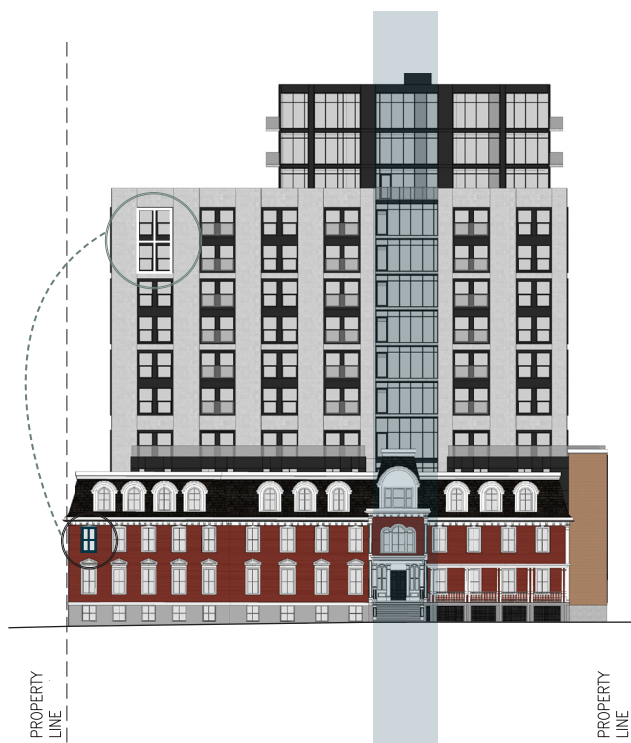


Fig. 26 Fenestration and glazing on the East facade of the new building intentionally draws the eye to Victoria Hall's frontispiece

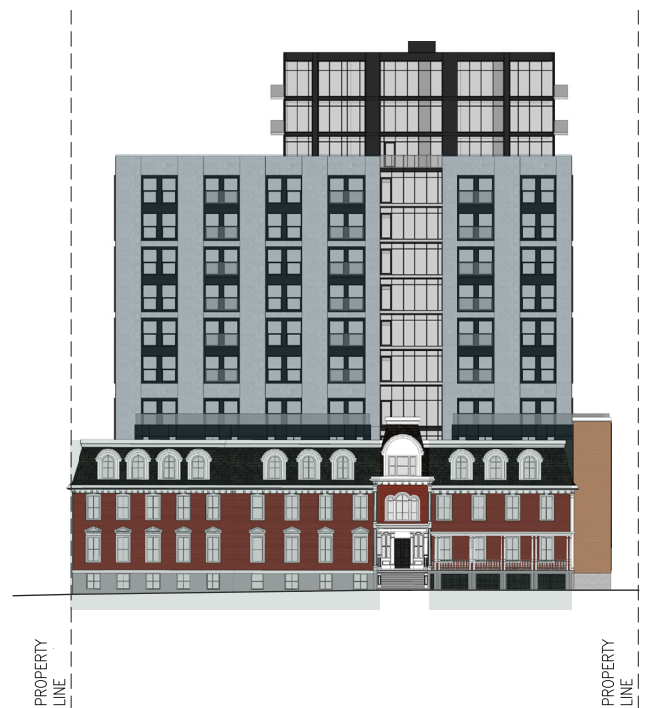
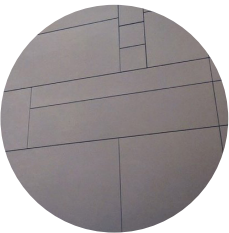


Fig. 27 Rhythm of bays along Victoria Hall and the new building

Material and Color Palette:

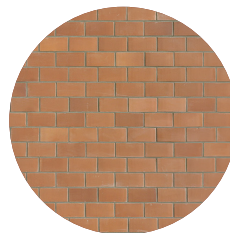
The materials selected for the new design have been carefully chosen to help the building remain distinct from and subordinate to Victoria Hall while also fitting into the scale of the surrounding context, especially on Creighton St. It was important to create a building that was of its time yet also physically and visually compatible with the heritage building. The 3-storey podium on Creighton St is clad with red-clay brick and a dark standing seam metal mansard roof which picks up on the red shingles of Victoria Hall, the black mansard roof and the human scale of materials at grade. This brick-clad podium and Victoria hall are separated by the main part of the mid-rise tower thus preventing the podium from detracting from Victoria Hall's presence on Gottingen St. The mid-rise tower is clad in dark high-density fiber cement and light grey cut-stone masonry with dark windows. The location of materials is carefully thought out to minimize the presence of the new building on Gottingen St as well as to break up the scale of the mid-rise building so that it relates well within its context. The interplay of color on the Gottingen St facade is a quiet inversion derived from Victoria Hall which has a dark mansard roof with white windows. The new design picks up on this but inverts the colors so as to silence the facade. The interaction between the dark windows and the light grey cut-stone further helps to break up the facade thus giving the building a befitting scale to its surroundings.



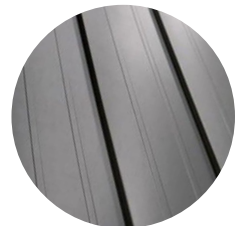
Black fiber cement panels or similar



Grey cut-stone or similar



Red clay brick



Grey standing seam metal

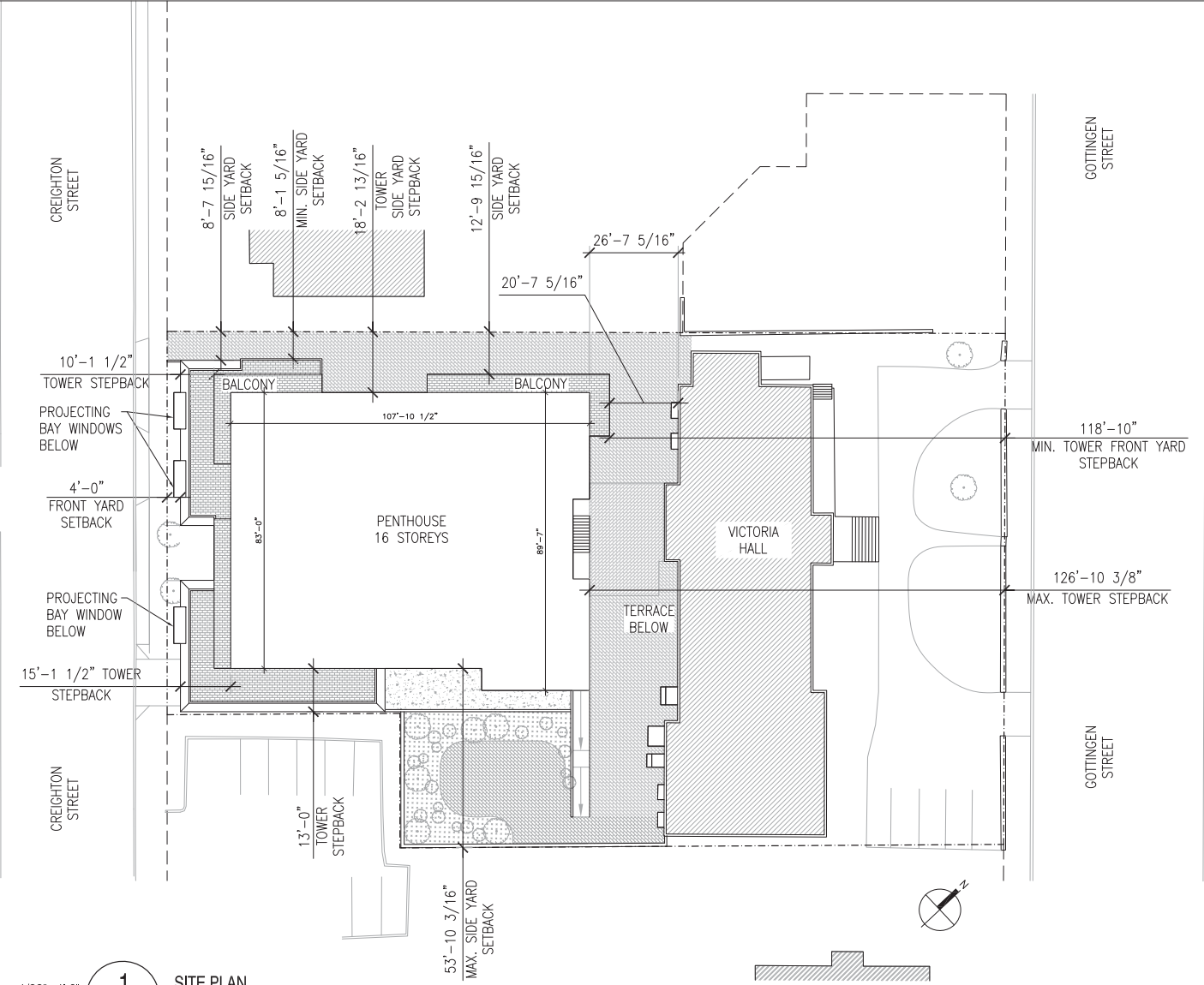
Fig. 29 Color palette is derived from Victoria Hall

Location on Site and Massing:

The mid-rise is subordinate to Victoria Hall in its location to the west of the building. This allows Victoria Hall to maintain its current street presence on Gottingen St. The mid-rise portion of the building is set back 125'-10 1/2" from Gottingen St, with the three storey penthouse stepped back an additional 25'-0" to reduce the perceived presence of the building from the street.

Attachment C - Original Building Drawings

Ekistics Planning & Design
fathomstudio.ca
 1 Starr Lane
 Dartmouth, NS
 B2Y 4V7



1/32"=1'-0"

1
A-100

SITE PLAN

NOTE:
 LANDSCAPE PLAN NOT UPDATED TO
 CURRENT SITE DESIGN

| REVISIONS | DATE |
|-----------|---|
| 4 | ISSUE FOR HERITAGE IMPACT STATEMENT SUBMISSION 2020.02.28 |
| 3 | ISSUE FOR REVIEW 2020.02.05 |
| 2 | ISSUE FOR DA RESUBMISSION 2019.10.01 |
| 1 | ISSUE FOR DA SUBMISSION 2018.10.02 |

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

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|------------------------|--------------------|----------|
| SCALE 1/32" = 1'-0" | DATE 2020.02.28 | |
| DRAWN BY | CHECKED | REVIEWED |

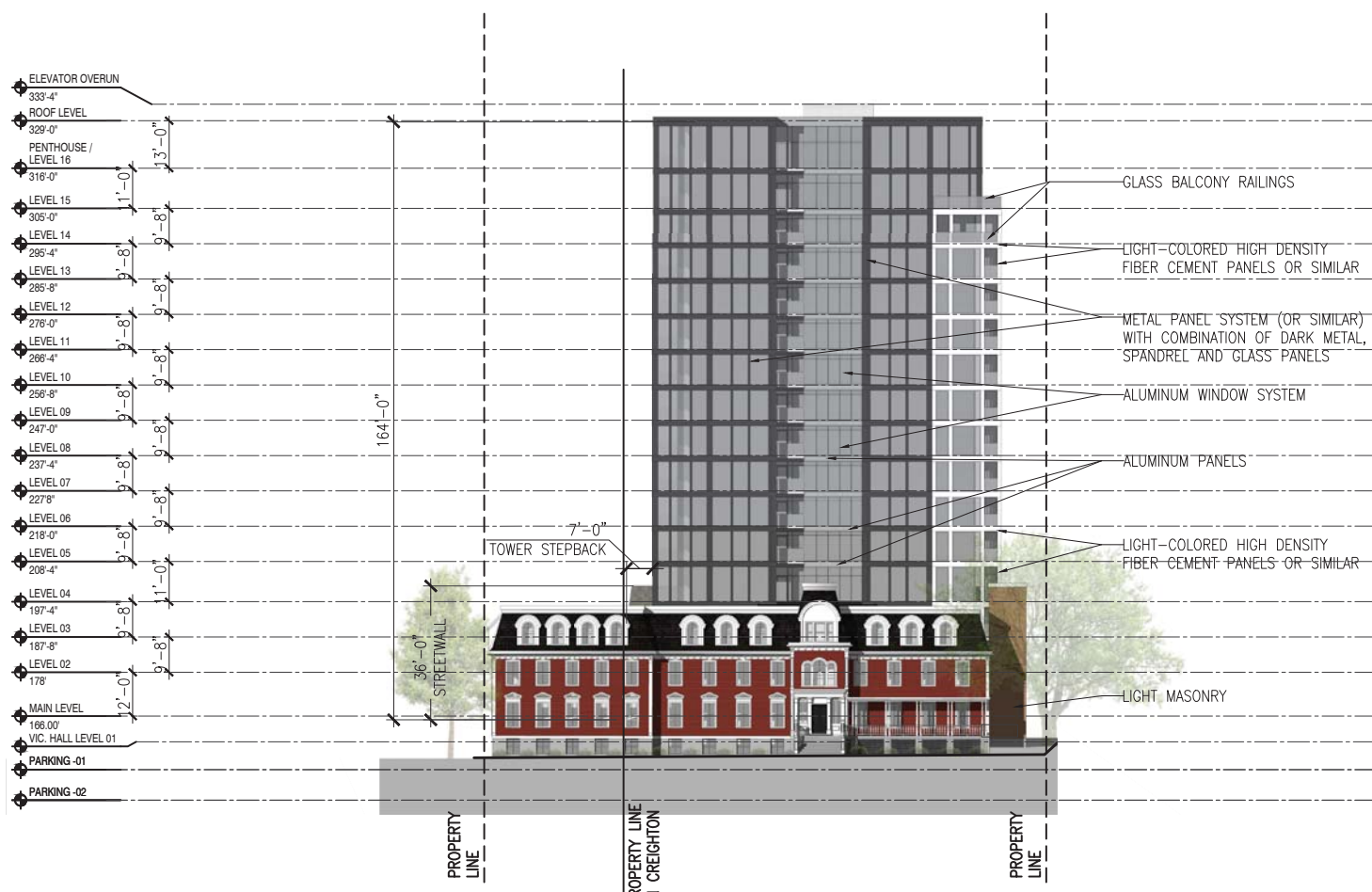
APPROVED

SEAL

**NOT FOR
 CONSTRUCTION**

DRAWING
 SITE PLAN - PROPOSED

DRAWING NO. **A-100**



- ELEVATOR OVERUN
333'-4"
- ROOF LEVEL
329'-0"
- PENTHOUSE / LEVEL 16
316'-0"
- LEVEL 15
305'-0"
- LEVEL 14
295'-4"
- LEVEL 13
285'-8"
- LEVEL 12
276'-0"
- LEVEL 11
266'-4"
- LEVEL 10
256'-8"
- LEVEL 09
247'-0"
- LEVEL 08
237'-4"
- LEVEL 07
227'-8"
- LEVEL 06
218'-0"
- LEVEL 05
208'-4"
- LEVEL 04
197'-4"
- LEVEL 03
187'-8"
- LEVEL 02
178'
- MAIN LEVEL
166'-0"
- VIC. HALL LEVEL 01
- PARKING -01
- PARKING -02

- GLASS BALCONY RAILINGS
- LIGHT-COLORED HIGH DENSITY FIBER CEMENT PANELS OR SIMILAR
- METAL PANEL SYSTEM (OR SIMILAR) WITH COMBINATION OF DARK METAL, SPANDREL AND GLASS PANELS
- ALUMINUM WINDOW SYSTEM
- ALUMINUM PANELS
- LIGHT-COLORED HIGH DENSITY FIBER CEMENT PANELS OR SIMILAR
- LIGHT MASONRY

164'-0"

36'-0"
STREETWALL

7'-0"
TOWER STEPBACK

PROPERTY LINE

PROPERTY LINE ON CREIGHTON

PROPERTY LINE

1/32" = 1'-0" **1**
 GOTTINGEN ST ELEVATION
 W/ VICTORIA HALL (16 STORIES)
 A-206

| NO. | REVISIONS | DATE |
|-----|----------------------------|------------|
| 3 | ISSUE FOR HAC | 2021-02-10 |
| 2 | ISSUE FOR DA RE-SUBMISSION | 2021-01-25 |
| 1 | ISSUE FOR DA RE-SUBMISSION | 2020-12-23 |

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

SCALE
 1/32" = 1'-0"

DATE
 2021-02-10

DRAWN BY
 CHECKED
 REVIEWED

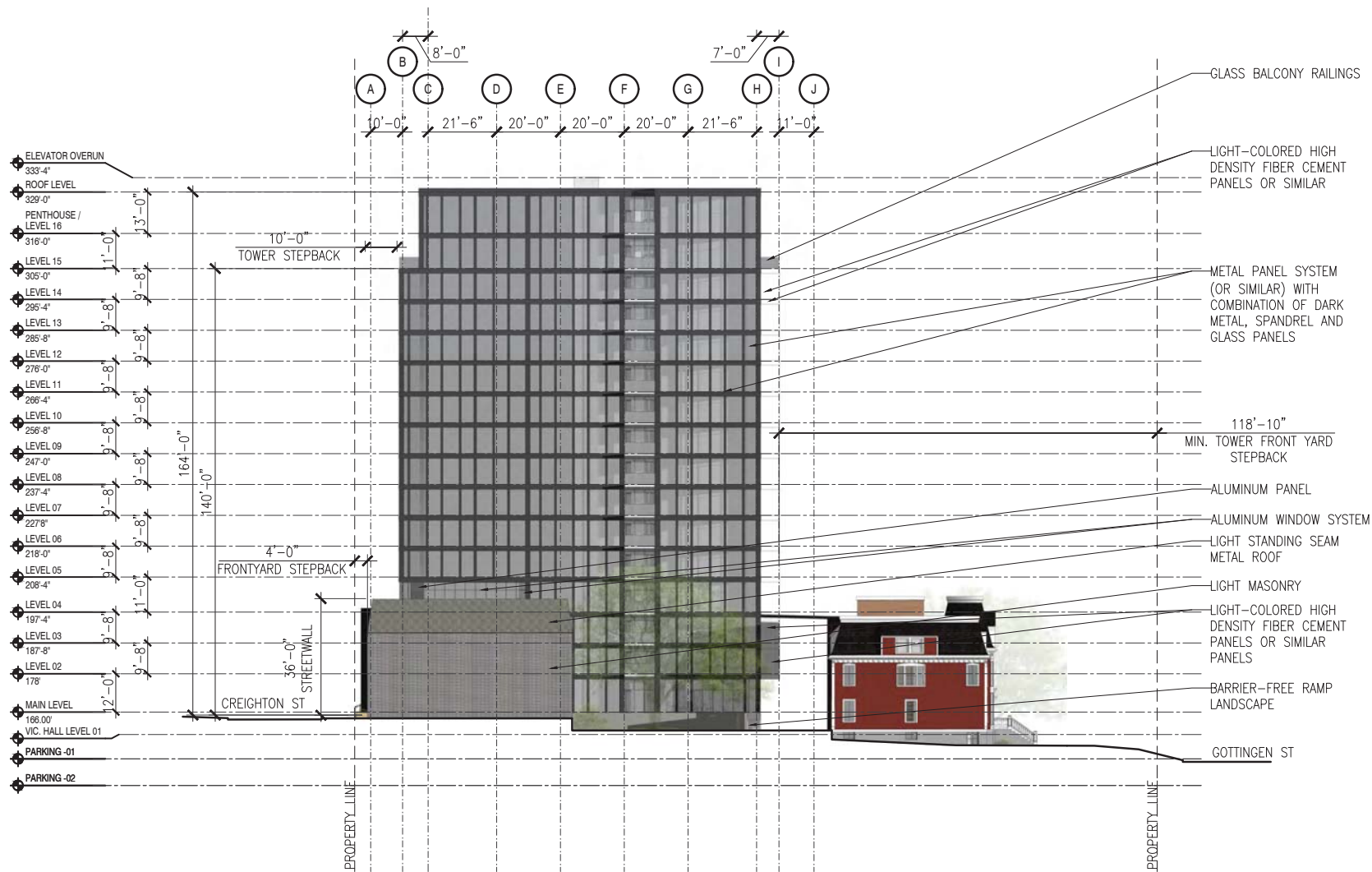
APPROVED

SEAL

NOT FOR
CONSTRUCTION

DRAWING
 GOTTINGEN ST ELEVATION
 W/ VICTORIA HALL (16 STORIES)

DRAWING NO.
A-206



GLASS BALCONY RAILINGS

LIGHT-COLORED HIGH DENSITY FIBER CEMENT PANELS OR SIMILAR

| | | |
|---|--|------------|
| 4 | ISSUE FOR HERITAGE IMPACT STATEMENT SUBMISSION | 2020.02.28 |
| 3 | ISSUE FOR REVIEW | 2020.02.05 |
| 2 | ISSUE FOR DA RESUBMISSION | 2019.10.01 |
| 1 | ISSUE FOR DA SUBMISSION | 2018.10.02 |

REVISIONS DATE

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

SCALE
 1/32" = 1'-0"

DATE
 2020.02.28

DRAWN BY CHECKED REVIEWED

APPROVED

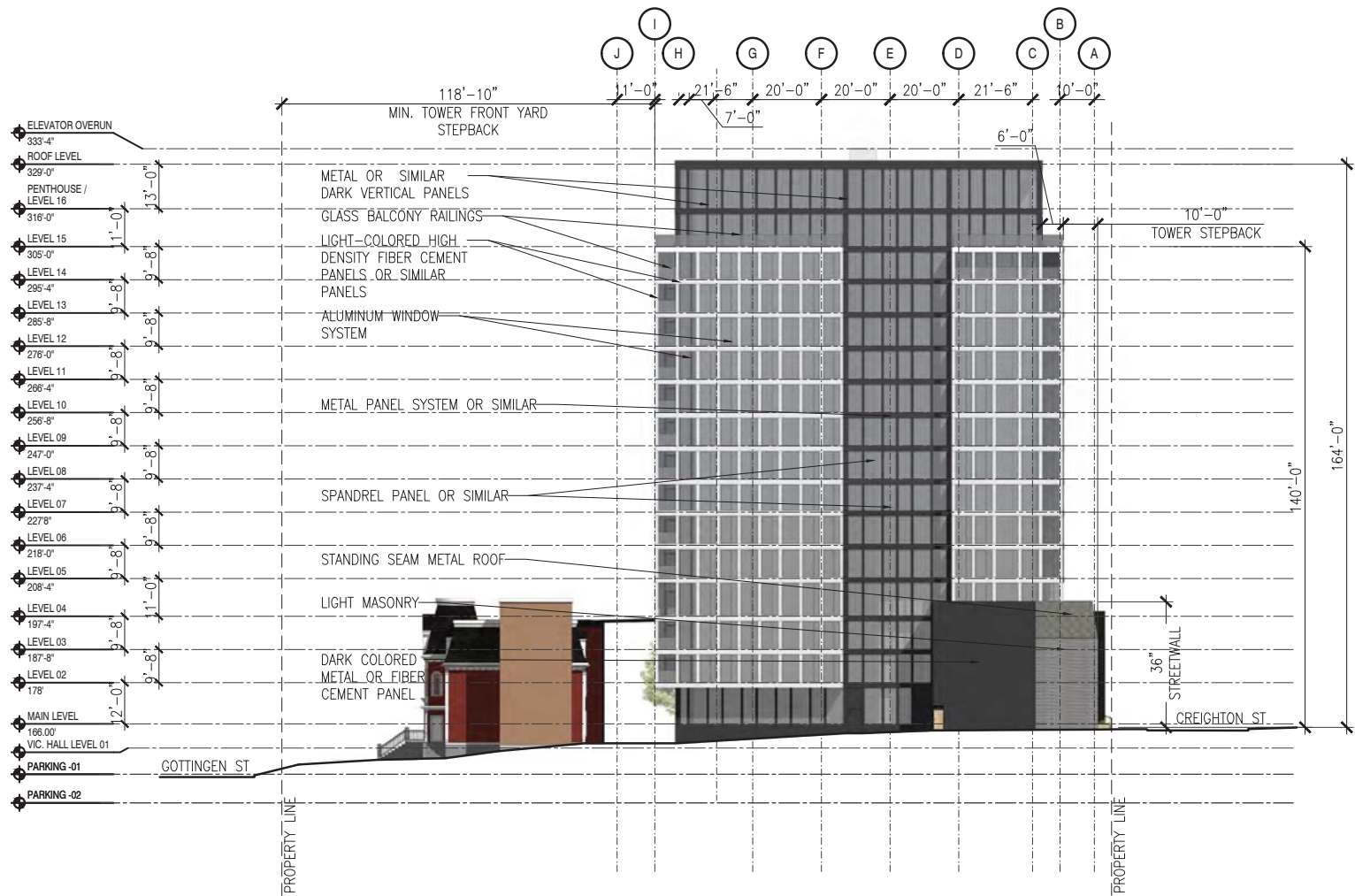
SEAL

NOT FOR CONSTRUCTION

DRAWING SOUTH ELEVATION

DRAWING NO. **A-203**

1/32" = 1'-0" **1** SOUTH ELEVATION
 A-203



| REVISIONS | DATE |
|-----------|---|
| 4 | ISSUE FOR HERITAGE IMPACT STATEMENT SUBMISSION 2020.02.28 |
| 3 | ISSUE FOR REVIEW 2020.02.05 |
| 2 | ISSUE FOR DA RESUBMISSION 2019.10.01 |
| 1 | ISSUE FOR DA SUBMISSION 2018.10.02 |

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

SCALE
 1/32" = 1'-0"

DATE
 2020.02.28

DRAWN BY
 CHECKED
 REVIEWED

APPROVED

SEAL

**NOT FOR
CONSTRUCTION**

DRAWING
 NORTH ELEVATION

DRAWING NO.
A-204

1/32" = 1'-0" **1** NORTH ELEVATION
 A-204

Ekistics Planning & Design
 fathomstudio.ca
 1 Starr Lane
 Dartmouth, NS
 B2Y 4V7



| | | |
|---|--|------------|
| 4 | ISSUE FOR HERITAGE IMPACT STATEMENT SUBMISSION | 2020.02.28 |
| 3 | ISSUE FOR REVIEW | 2020.02.05 |
| 2 | ISSUE FOR DA RESUBMISSION | 2019.10.01 |
| 1 | ISSUE FOR DA SUBMISSION | 2018.10.02 |

REVISIONS DATE

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

SCALE
 1/32" = 1'-0"

DATE
 2020.02.28

DRAWN BY

CHECKED

REVIEWED

APPROVED

SEAL

**NOT FOR
 CONSTRUCTION**

DRAWING
 RENDER: VIEW FROM PARK

DRAWING NO. **A-007**



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 1 Starr Lane
 Dartmouth, NS
 B2Y 4V7



| | | |
|---|--|------------|
| 4 | ISSUE FOR HERITAGE IMPACT STATEMENT SUBMISSION | 2020.02.28 |
| 3 | ISSUE FOR REVIEW | 2020.02.05 |
| 2 | ISSUE FOR DA RESUBMISSION | 2019.10.01 |
| 1 | ISSUE FOR DA SUBMISSION | 2018.10.02 |

REVISIONS DATE

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

| | |
|------------------------|--------------------|
| SCALE 1/32" - 1'-0" | DATE 2020.02.28 |
| DRAWN BY | CHECKED REVIEWED |

APPROVED

SEAL

**NOT FOR
 CONSTRUCTION**

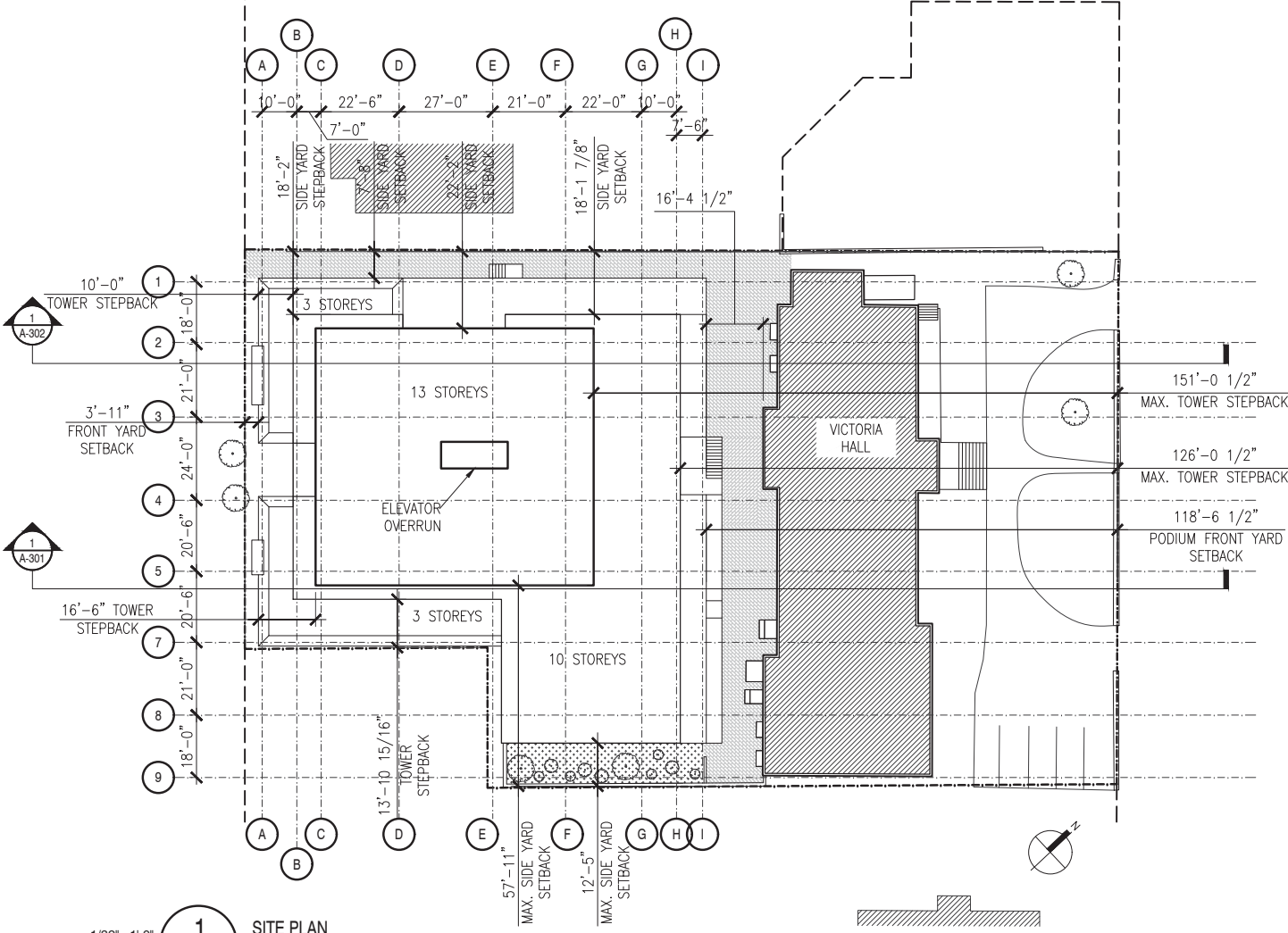
DRAWING
 RENDER: VIEW FROM GOTTINGEN ST (2)

DRAWING NO. **A-009**



Attachment D - Revised Building Drawings

fathomstudio.ca
 1 Starr Lane
 Dartmouth, NS
 B2Y 4V7



1/32" = 1'-0" **1** SITE PLAN
 A-100

| | | |
|---|----------------------------|------------|
| 1 | ISSUE FOR DA RE-SUBMISSION | 2020-12-23 |
|---|----------------------------|------------|

| REVISIONS | DATE |
|-----------|------|
|-----------|------|

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

SCALE
 1/32" - 1'-0"

DATE
 2020.12.23

| | | |
|----------|---------|----------|
| DRAWN BY | CHECKED | REVIEWED |
|----------|---------|----------|

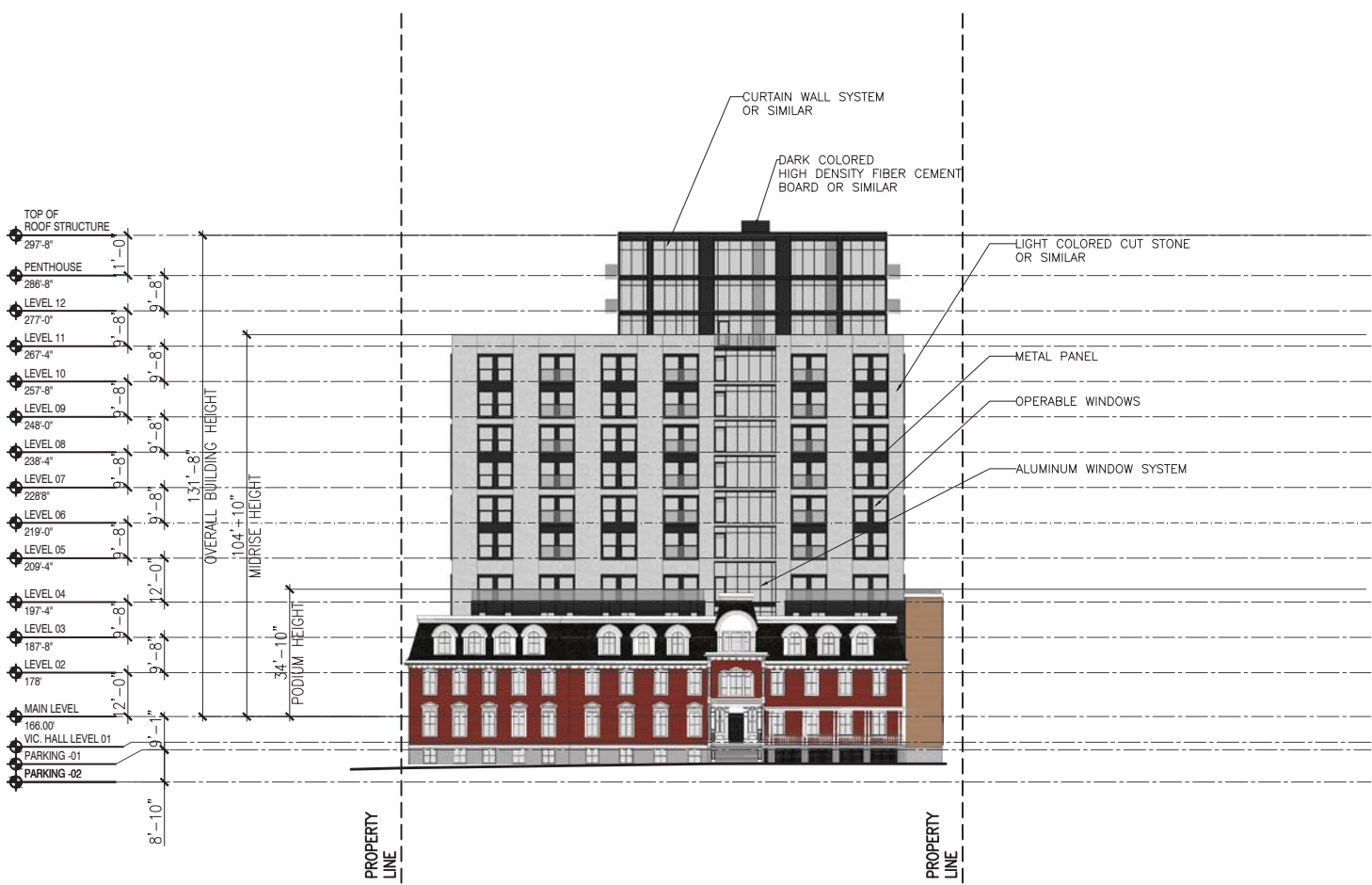
APPROVED

SEAL

**NOT FOR
 CONSTRUCTION**

DRAWING
 SITE PLAN - PROPOSED

DRAWING NO. **A-100**



1/32" = 1'-0"
1
 A-201
 GOTTINGEN ST ELEVATION
 W/ VICTORIA HALL

| NO. | REVISIONS | DATE |
|-----|----------------------------|------------|
| 3 | ISSUE FOR HAC | 2021-02-10 |
| 2 | ISSUE FOR DA RE-SUBMISSION | 2021-01-25 |
| 1 | ISSUE FOR DA RE-SUBMISSION | 2020-12-23 |

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

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|------------------------|--------------------|
| SCALE 1/32" - 1'-0" | DATE 2021-02-10 |
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| DRAWN BY | CHECKED | REVIEWED |
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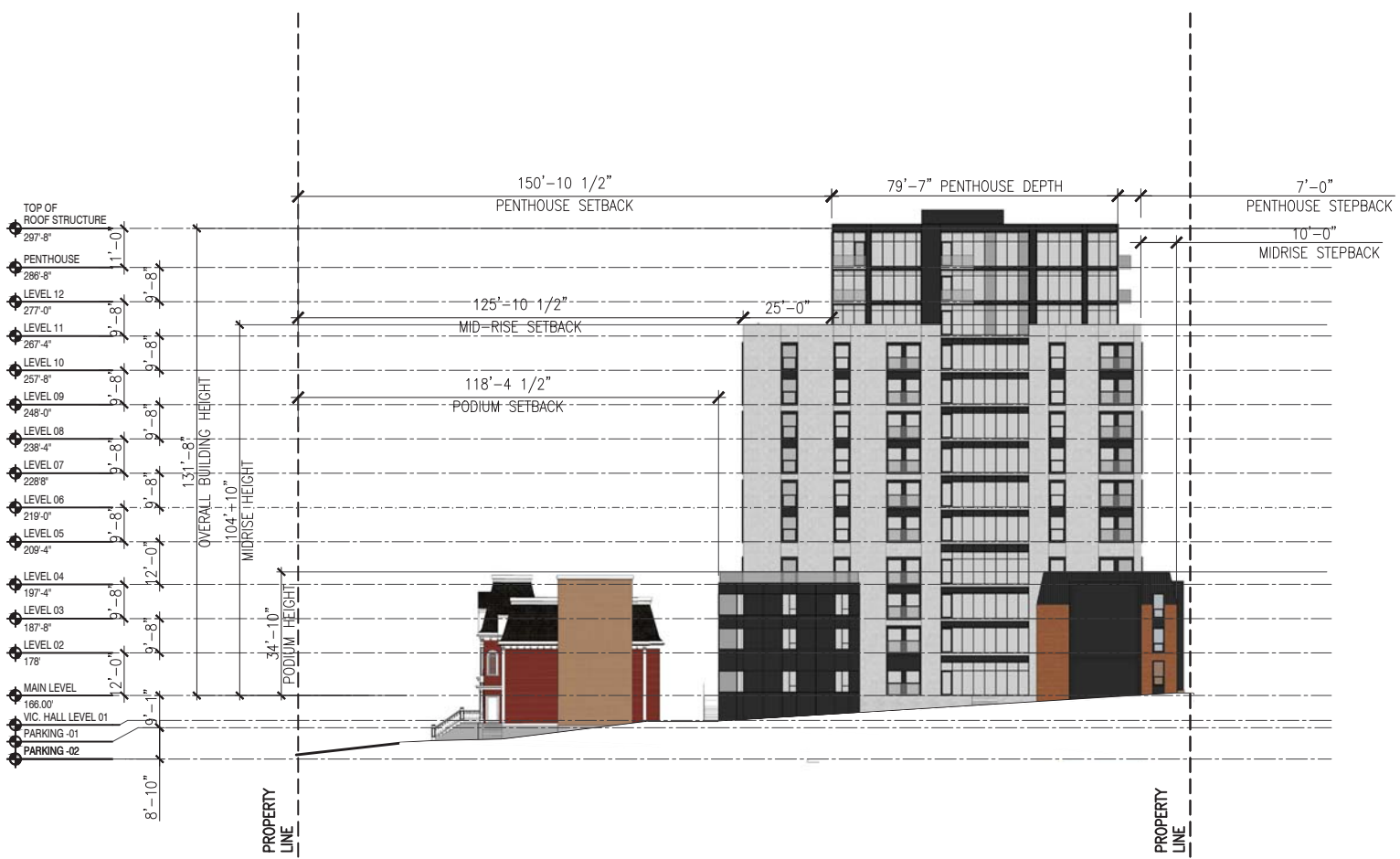
APPROVED

SEAL

**NOT FOR
CONSTRUCTION**

DRAWING
 GOTTINGEN ST ELEVATION WITH VICTORIA HALL

DRAWING NO.
A-201



1/32" = 1'-0" **1** NORTHWEST ELEVATION
 A-204

| NO. | REVISIONS | DATE |
|-----|----------------------------|------------|
| 3 | ISSUE FOR HAC | 2021-02-10 |
| 2 | ISSUE FOR DA RE-SUBMISSION | 2021-01-25 |
| 1 | ISSUE FOR DA RE-SUBMISSION | 2020-12-23 |

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

SCALE
 1/32" = 1'-0"

DATE
 2021-02-10

DRAWN BY

CHECKED

REVIEWED

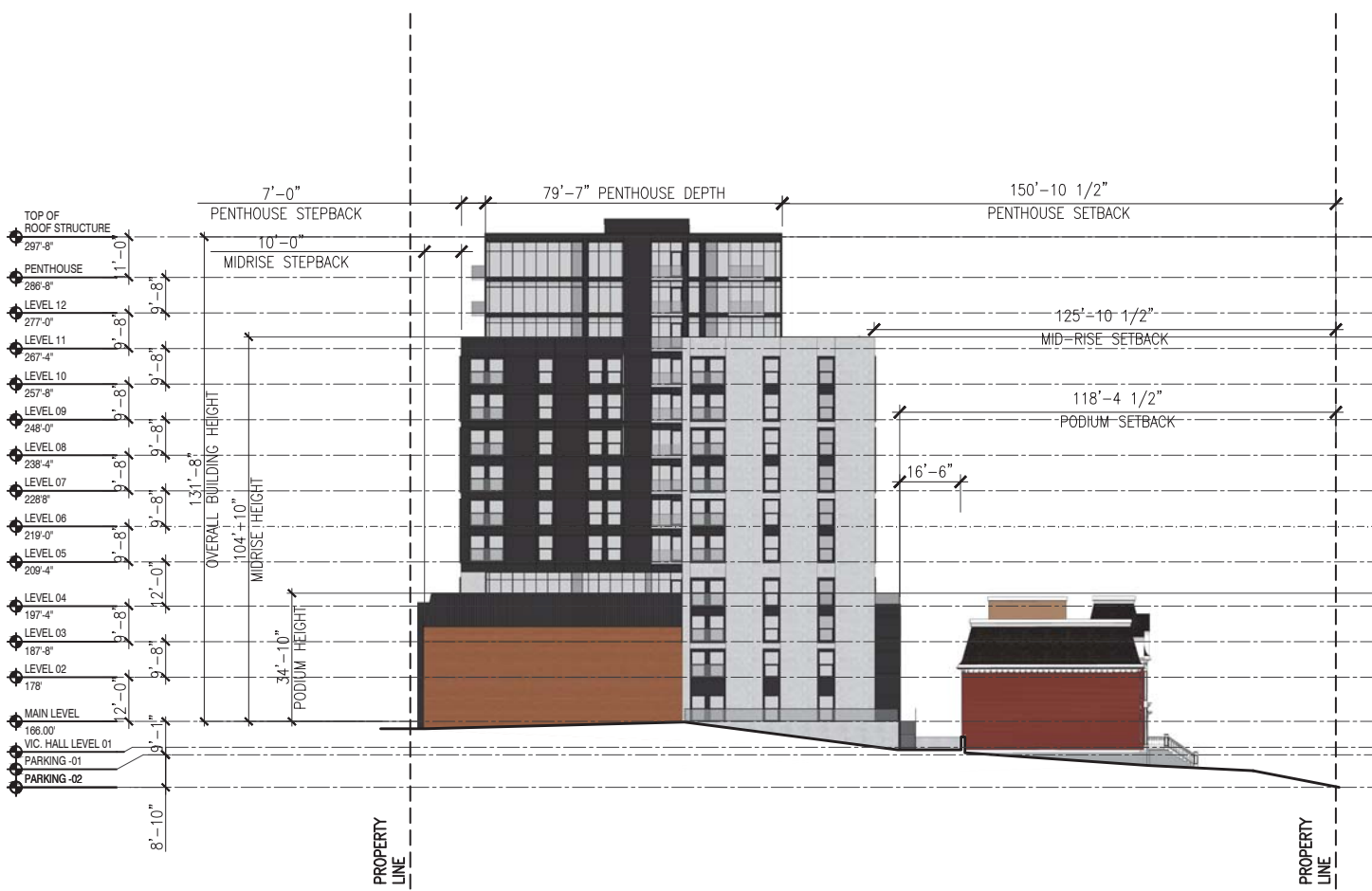
APPROVED

SEAL

NOT FOR CONSTRUCTION

DRAWING
 NORTHWEST ELEVATION

DRAWING NO.
A-204



1/32" = 1'-0" 1 SOUTHEAST ELEVATION
 A-205

| NO. | REVISIONS | DATE |
|-----|----------------------------|------------|
| 3 | ISSUE FOR HAC | 2021-02-10 |
| 2 | ISSUE FOR DA RE-SUBMISSION | 2021-01-25 |
| 1 | ISSUE FOR DA RE-SUBMISSION | 2020-12-23 |

PROJECT
 2438 GOTTINGEN STREET
 DEVELOPMENT AGREEMENT
 APPLICATION

CLIENT
 JOSEPH ARAB

| | |
|------------------------|--------------------|
| SCALE 1/32" - 1'-0" | DATE 2021-02-10 |
|------------------------|--------------------|

| | | |
|----------|---------|----------|
| DRAWN BY | CHECKED | REVIEWED |
|----------|---------|----------|

APPROVED

SEAL

NOT FOR
CONSTRUCTION

DRAWING
 SOUTHEAST ELEVATION

DRAWING NO. A-205



Option 1

Design theme:

- Punched openings
- Fenestration Pattern
 - Window Ratios
 - Quadrants
- Inversion of light versus grey elements

fathom



Gottingen St Render 1



Gottingen St Render 2



Gottingen St Render 3

ATTACHMENT E

Updated Standards & Guidelines Evaluation – 2438 Gottingen Street, Halifax

Conservation is the primary aim of the Standards and Guidelines, and is defined as ‘*all actions or processes that are aimed at safeguarding the character-defining elements of an historic place so as to retain its heritage value and extend its physical life. This may involve **Preservation, Rehabilitation, Restoration**, or a combination of these actions or processes.*’

Note: The Standards are structured to inform the type of project or approach being taken.

- Preservation project apply Standards 1 through 9;
- Rehabilitation projects apply Standards 1 through 9, and Standards 10 through 12;
- Restoration projects apply Standards 1 through 9, Standards 10 through 12, and Standards 13 and 14.

Similar to the Standards, the base Guidelines apply to the approach being taken, and additional Guidelines may apply if the project includes rehabilitation and restoration. The Guidelines should be consulted only when the element to be intervened upon has been identified as a character defining element. The Guidelines should not be used in isolation. There may be heritage value in the relationships between cultural landscapes, archaeological sites, buildings, or engineering works. These values should not be compromised when undertaking a project on individual character defining elements of an historic place.

| TREATMENT: PRESERVATION | | | |
|--|-----------------|------------|--|
| <i>Preservation is the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting the heritage value.</i> | | | |
| STANDARDS 1-10 | Complies | N/A | Discussion |
| 1. Conserve the <i>heritage value</i> of an <i>historic place</i> . Do not remove, replace or substantially alter its intact or repairable <i>character-defining elements</i> . Do not move a part of an historic place if its current location is a character-defining element. | Yes | | All character-defining elements will be conserved and repaired if possible. All deteriorated character defining elements will be replaced with like and kind materials and forms as necessary. |
| 2. Conserve changes to historic places that, over time, have become <i>character-defining elements</i> in their own right. | Yes | | The 1914 addition by Sydney Dumaresq will be rehabilitated along with the rest of the structure. |
| 3. Conserve <i>heritage value</i> by adopting an approach calling for <i>minimal intervention</i> . | Yes | | The façade of this structure will be retained and rehabilitated, including all identified character defining elements. |
| 4. Recognize each <i>historic place</i> as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the property that never coexisted. | Yes | | The building will be rehabilitated using physical and documentary evidence. |
| 5. Find a use for an <i>historic place</i> that requires minimal or no change to its <i>character-defining elements</i> . | Yes | | The building is proposed to continue as a residential building. |

| | | | |
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| 6. Protect and, if necessary, stabilize an <i>historic place</i> until any subsequent <i>intervention</i> is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information. | Yes | | There will be no period of extended vacancy. Archaeological resources will be addressed at the point of site intervention with permit applications. The provincial government will be notified of the site intervention and process any necessary applications in accordance with the <i>Special Places Protection Act</i> . |
| 7. Evaluate the existing condition of <i>character-defining elements</i> to determine the appropriate <i>intervention</i> needed. Use the gentlest means possible for any intervention. Respect <i>heritage value</i> when undertaking an intervention. | Yes | | Original building materials will be conserved to the highest quality. Replacement will only be undertaken when necessary. |
| 8. Maintain <i>character-defining elements</i> on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving <i>prototypes</i> . | Yes | | The building will be maintained on a regular basis under the proposed development agreement. |
| 9. Make any <i>intervention</i> needed to preserve <i>character-defining elements</i> physically and visually compatible with the <i>historic place</i> and identifiable on close inspection. Document interventions for future reference. | Yes | | All character defining elements will be preserved if possible and restored. Interventions are being documented through this application and through submissions for permitting. |

| TREATMENT: REHABILITATION | | | |
|--|-----------------|------------|--|
| <i>Rehabilitation is the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.</i> | | | |
| STANDARDS 10-12 | Complies | N/A | Discussion |
| 10. Repair rather than replace <i>character-defining elements</i> . Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the <i>historic place</i> . | Yes | | A combination of repair and replacement, where necessary will be used for all character defining elements. |
| 11. Conserve <i>heritage values</i> and <i>character-defining elements</i> when creating new additions to an <i>historic place</i> or any related new construction. Make new work physically and visually compatible with, subordinate to and distinguishable from the historic place. | Yes | | Existing Character Defining Elements will be conserved and rehabilitated. The new structure will be set-back from the historic building, and its mass has been designed to limit the visual impact on |

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| | | <p>the heritage building through the use of step-backs. A simplified façade on the new building, along with its colour scheme and materials minimize its visual impact, and its articulation complements the existing heritage building.</p> <p>While the new building is larger than the heritage building, the design minimizes its appearance from Gottingen Street and provides visual prominence to Victoria Hall.</p> |
| 12. Create any new additions or related new construction so that the essential form and integrity of an <i>historic place</i> will not be impaired if the new work is removed in the future. | Yes | The new building is being set-back behind the existing building as a completely separate structure. |

TREATMENT: RESTORATION

Restoration is the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

| STANDARDS 13-14 | Complies | N/A | Discussion |
|---|-----------------|------------|--|
| 13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. | Yes | | All character defining elements will be preserved or rehabilitated with the exception of the granite retaining wall which is proposed to be restored by reinstating a cast-iron fence based on photographic and physical evidence. |
| 14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence. | Yes | | The cast-iron fencing along the retaining wall will be restored based on physical and photographic evidence. |

These minutes are considered draft and will require approval by Heritage Advisory Committee at a future meeting.

8. INFORMATION ITEMS BROUGHT FORWARD – NONE

9. REPORTS

9.1 STAFF

Aaron Murnaghan, Principle Heritage Planner introduced Elizabeth Cushing, Heritage Planning Researcher to members of the Committee.

9.1.1 Case H00482: Substantial Alteration to a municipally registered heritage property at 2438 Gottingen Street, Halifax

The following was before the Committee:

- A staff recommendation report dated February 10, 2021
- A staff presentation dated February 24, 2021

Aaron Murnaghan, Principle Heritage Planner provided a presentation.

This is a revised proposal for Victoria Hall as the result of a negative recommendation by Heritage Advisory Committee and a request for changes from Regional Council. The substantial alteration application is tied to a Development Agreement application, planning Case 22115, which will come to this Committee for its review. Murnaghan provided photos showing site context. The heritage value of Victoria Hall was reviewed. Standard 11 from Standards and Guidelines was highlighted and key definitions reviewed. The proposed Substantial Alterations were reviewed with elevation drawings noting the changes made from the original design. The rehabilitation work on Victoria Hall was also detailed. Murnaghan provided staff's evaluation of the proposal noting that the revised changes led staff to a positive recommendation. The Substantial Alteration Process was reviewed with it going from the Committee to Regional Council for their consideration. The Committee will consider this development again as a part of the Development Agreement Process.

MOVED by Davis Atchison, seconded by Sandra Nowlan

THAT the Heritage Advisory Committee recommend that Regional Council approve the substantial alteration of 2438 Gottingen Street, Halifax, known as Victoria Hall, as proposed in the February 10, 2021 report and its attachments.

Murnaghan confirmed that the windows facing west are the only ones being removed. Details around the scale of the new building, space between buildings and its use will be discussed in the Development Agreement review. The interplay between the new build and Victoria Hall is of note for this discussion. New elements or changes should be identifiable as being new and easily distinguished. The developer has engaged a professional heritage carpenter to oversee the restoration of Victoria Hall. The iron fence and granite retaining wall will be restored.

The Committee commented that the new design was an improvement; noting colour changes, symmetry, alignment of the new building with Victoria Hall, the use of glazing and the mirroring of the two-over-two windows. The top three stories of the new building are not visible from the street due to the setback. Some felt that the scale remained oversized and was a key part of standard 11.

MOTION PUT AND PASSED.

9.2 MEMBERS OF THE HERITAGE ADVISORY COMMITTEE – NONE

10. MOTIONS/DISCUSSION – NONE