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## MEMORANDUM

TO: Chair and Members of the Design Advisory Committee

FROM: Sean Audas, Principal Planner & Development Officer, Current Planning

DATE: February 1, 2021

**SUBJECT: Case # 23019: Level II Site Plan Approval Application for 392 Portland St, Dartmouth, N.S.**

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**Background:**

The applicant has submitted a Level II Site Plan Approval under the [Regional Centre Land Use Bylaw](#) (LUB) for property located at 392 Portland St, Dartmouth, N.S. (PID # 00221762). A pre-application has been completed and the proposal has been deemed compliant with the requirements of the LUB.

The applicant is seeking a recommendation from the Design Advisory Committee on the design requirements and a request for variation from the design requirements, as required by the LUB. Public consultation has not yet been completed for this project.

**Existing Use:** 392 Portland St is formerly a low-density residential lot fronting on Portland St. The single unit dwelling and garage previously on the property have been demolished. The abutting lots on either side contain commercial businesses; a restaurant and convenience store. The abutting use to the rear is multi-unit residential.

**Zoning:** COR (Corridor) under the Regional Centre Land Use Bylaw.

**Proposal:**

The proposal before the Committee is for a 7-storey, 41-unit residential building with one level of parking and an amenity penthouse. The proposed building is classified as a mid-rise building under the LUB (11-20 metres in height).

**Input Requested from Design Advisory Committee:**

In accordance with the requirements of the LUB and the Terms of Reference for the Design Advisory Committee, the Committee is being asked to provide a recommendation to the Development Officer regarding the design requirements of Part VI. A variation has been requested for roof edge setbacks of height-exempted rooftop features. The following chapters of Part VI are relevant to this proposal:

Chapter 1: General Site Plan Approval Design Requirements	Chapter 1 sets out the requirement for site plan approval. There are no criteria to be satisfied.
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Chapter 2: At-Grade Private Open Space Design Requirements	<ul style="list-style-type: none"> <li>- The site will contain at-grade private open space at the front of the building, along Portland St. This space will abut an existing public sidewalk.</li> <li>- The required 2-metre-wide connection for pedestrian access has been provided along the abutting sidewalk.</li> <li>- The at-grade private open space incorporates barrier-free access and permanent seating. The proposed groundcover is pavers.</li> <li>- Proposed privacy for grade-related units is shrubs.</li> </ul>
Chapter 3: Building Design Requirements	<p>The Elevation Drawings and Building Renderings illustrate the design requirements of this Chapter.</p> <ul style="list-style-type: none"> <li>- Streetwall articulation has been provided using change in colours, materials, and recesses. This treatment is continued around the sides.</li> <li>- Pedestrian entrances are distinguished using changes in materials, and projections and recesses.</li> <li>- The ground floor contains one grade-related residential unit, and the building lobby. The ground floor grade-related units have provided clear glass glazing along the street wall between the required 25-80%.</li> <li>- Weather protection has been provided for the building entrance through a recessed entrance.</li> <li>- Building top distinction is accomplished with a change in materials and a recessed penthouse.</li> <li>- The penthouse has been visually integrated into the design. A variation has been requested for the roof edge setback for the penthouse, contributing to its visual integration.</li> </ul>
Chapter 4: Parking, Access, and Utilities Design Requirements	<ul style="list-style-type: none"> <li>- A pedestrian connection connects the public sidewalk to the at-grade private open space on the site.</li> <li>- The motor vehicle parking is internal to the building and its access is not proposed in the streetwall.</li> <li>- Mechanical features are located on the roof of the building are enclosed within projections and recesses of the penthouse.</li> <li>- Equipment for individual units will be screened using opaque screening on the balconies.</li> </ul>
Chapter 5: Heritage Conservation Design Requirements	<ul style="list-style-type: none"> <li>- Not applicable – the subject property is not a heritage property and is not within a heritage conservation district.</li> </ul>
Chapter 6: Other Design Requirements	<ul style="list-style-type: none"> <li>- Building entrances, walkways and at-grade private open spaces will be illuminated.</li> <li>- The subject site is not a View Terminus Site.</li> </ul>
Chapter 7: Variation Criteria	<ul style="list-style-type: none"> <li>- A variation has been requested to the required setback from the roof edge for the penthouse, from 3m to 0m.</li> <li>- The requested variation is to an interior lot line and the penthouse has been designed to minimize its visual impact.</li> </ul>

Any recommendations made by the Committee will be considered by the Development Officer prior to approval or refusal of the Site Plan Approval application. Any changes to the building informed by the recommendation of the Committee must meet the requirements of the Land Use Bylaw.

**Attachments:**

Please refer to the digital building plans package for all renderings, floor plans, landscaping, and design rationale.



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## Regional Centre Land Use By-Law: Site Plan Approval Design Requirements and Design Rationale

SECTION	DESIGN REQUIREMENT	DESIGN RATIONALE
113	<p><b>Contribution to Open Space Network:</b> Where one or more at-grade private open space(s) are proposed, at least one shall contribute to the Regional Centre's network of open spaces by:</p> <ul style="list-style-type: none"> <li>(a) abutting an existing public open space that is not a public sidewalk;</li> <li>(b) abutting an existing public sidewalk;</li> <li>(c) abutting an existing mid-block at-grade private open space; or</li> <li>(d) establishing a new mid-block at-grade private open space.</li> </ul>	Proposed private open space abuts existing public sidewalk (b).
114	<p><b>At-Grade Private Open Spaces Abutting a Public Sidewalk:</b> At-grade private open spaces that abut public sidewalks shall provide pedestrian access by having at least one contiguous connection of not less than 2.0 metres wide, from the at-grade private open space to the public sidewalk.</p>	Contiguous connection of minimum 2.0 metres wide provided between the at-grade private open spaces and the public sidewalk.

115	<p><b>At-Grade Private Open Spaces – Medium Scale:</b>  At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall:</p> <p>(a) provide</p> <p>(i) barrier-free access, and</p> <p>(ii) permanent seating; and</p> <p>(b) provide one or more of the following materials for groundcover</p> <p>(i) vegetation,</p> <p>(ii) brick pavers, stone pavers, or concrete pavers, or</p> <p>(iii) wood, excluding composites.</p>	<p>Design provides:</p> <p>(i) barrier-free access</p> <p>(ii) permanent seating</p> <p>Groundcover material provided:</p> <p>(ii) pavers (concrete, stone or brick)</p>
116	<p><b>Weather Protection for At-Grade Private Open Spaces – Medium Scale:</b>  At-grade private open spaces with a contiguous area of 15 square metres or greater, and dimensions of not less than 3.0 metres by 5.0 metres shall offer weather protection to its users through at least one of the following:</p> <p>(a) a new deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres;</p> <p>(b) canopies or awnings on abutting façades;</p> <p>(c) recessed entrances of abutting façades;</p> <p>(d) cantilever(s) of a building on the same lot; or</p> <p>(e) structures such as gazebos, pergolas, or covered site furnishings.</p>	<p>Design uses recessed entrances of abutting façades to provide weather protection.</p> <p>Design also uses cantilevers of a building (Levels 2 &amp; 3) on the same lot.</p>

117	<p><b>At-Grade Private Open Spaces – Large Scale:</b>  In addition to meeting the requirements of Sections 115 and 116, at-grade private open spaces with a contiguous area exceeding 400 square metres and with an average depth exceeding 2.5 metres, shall provide at least three of the following:</p> <ul style="list-style-type: none"> <li>(a) an additional deciduous tree that is not a shrub or the retention of an existing tree that is not a shrub with a minimum base caliper of 100 millimetres;</li> <li>(b) a permanent table and chair(s);</li> <li>(c) a public art piece, a cultural artifact, or a commemorative monument;</li> <li>(d) a structure such as a gazebo or pergola;</li> <li>or</li> <li>(e) a planter or planting bed.</li> </ul>	N/A
118	<p><b>Existing Access to Public Open Spaces:</b>  At-grade private open spaces shall maintain existing accesses to abutting public open spaces.</p>	N/A
119	<p><b>Privacy for Grade-Related Units:</b>  At-grade private open spaces which are 2.5 metres deep or greater, as measured perpendicularly from the streetline, and which are located between the streetline and a grade-related unit, shall provide privacy for the residential units by using a minimum of one of the following elements per grade-related unit:</p> <ul style="list-style-type: none"> <li>(a) a deciduous tree that is not a shrub with a minimum base caliper of 50 millimetres;</li> <li>(b) a minimum of two shrubs, each no less than 1.0 metre in height;</li> <li>(c) planters ranging in height from 0.25 to 1.0 metres; or</li> <li>(d) masonry walls ranging in height from 0.25 to 1.0 metres.</li> </ul>	<p>Privacy for Grade related units is provided by:</p> <ul style="list-style-type: none"> <li>(b) a minimum of two shrubs, each no less than 1.0 metre in height;</li> </ul>
120	<p><b>Walkways to be Hard-Surfaced:</b>  Walkways within at-grade private open spaces shall be hard-surfaced, excluding asphalt.</p>	Design uses pavers for walkways within at-grade private open space.

## Building Design Requirements

121	<p><b>Streetwall Articulation:</b> Streetwalls shall be divided into distinct sections no less than 0.3 metres in width and not exceeding 8 metres in width, from the ground floor to the top of the streetwall, with each section differentiated by using at least two of the following:</p> <ul style="list-style-type: none"> <li>(a) colour(s);</li> <li>(b) material(s); or</li> <li>(c) projections and recesses not less than 0.15 metres in depth.</li> </ul>	<p>Streetwall is divided into distinct sections ranging from 4.5-8 metres wide from the ground floor to the top of the streetwall with each section differentiated by:</p> <ul style="list-style-type: none"> <li>(b) materials</li> <li>(c) colours</li> </ul>
122	<p><b>Articulation of Non-Streetwalls Fronting an At-Grade Private Open Space:</b> Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space abutting a public right-of-way, shall meet the requirements of Section 121 as if it was a streetwall.</p>	N/A
123	<p><b>Side Façade Articulation:</b> Where a side yard is proposed or required, the side yard façade shall continue the streetwall articulation for a depth greater than or equal to the width of the side yard, as measured at the streetline, using the same options chosen to achieve the design requirement in Section 121.</p>	<p>The side yard façade continues the streetwall articulation for a depth greater than 2.5 metres, as measured at the streetline using:</p> <ul style="list-style-type: none"> <li>(a) colour(s);</li> <li>(b) material(s)</li> </ul>
124	<p><b>Pedestrian Entrances Along Streetwalls:</b> (1) Subject to Subsection 124(2), pedestrian entrances in the streetwall shall be distinguished from the remainder of the streetwall by using at least two of the following:</p> <ul style="list-style-type: none"> <li>(a) changes in colour;</li> <li>(b) changes in materials; or</li> <li>(c) projections and recesses not less than 0.15 metres in depth.</li> </ul> <p>2) Canopies or awnings shall not be used to meet the requirements of Subsection 124(1).</p>	<p>Pedestrian entrances in the streetwall are distinguished by:</p> <ul style="list-style-type: none"> <li>(b) changes in materials.</li> <li>(c) projections and recesses not less than 0.15 metres in depth.</li> </ul>

125	<p><b>Pedestrian Entrances Along Non-Streetwalls Fronting an At-Grade Private Open Space:</b> Any exterior wall within the podium that is not a streetwall, and fronts an at-grade private open space, shall meet the requirements of Section 124 as if it was a streetwall.</p>	N/A
126	<p><b>Number of Pedestrian Entrances Along Streetwalls:</b> Streetwalls shall provide: (a) a minimum of one pedestrian entrance per storefront; or (b) a minimum of 2 pedestrian entrances where the storefront is greater than 24 metres wide.</p>	N/A – no storefronts proposed within the development
127	<p><b>Ground Floor Transparency – Commercial Uses:</b> For at-grade commercial uses in the streetwall, between 50% and 80% of the building's ground floor façade dedicated to commercial uses shall consist of clear glass glazing.</p>	N/A – No commercial uses proposed.
128	<p><b>Ground Floor Transparency – Grade-Related Unit Uses:</b> For grade-related unit uses in the streetwall, between 25% and 80% of the building's ground floor façade dedicated to grade-related unit uses shall consist of clear glass glazing.</p>	Grade-related unit uses in the streetwall have between 25% and 80% of the façade dedicated to grade-related unit uses consisting of clear glass glazing.
129	<p><b>Access Ramps Along Streetwalls:</b> Where a ramp for barrier-free access is provided between a streetwall and a sidewalk, no portion of the access ramp shall exceed a width of 2.0 metres and depth of 2.0 metres.'</p>	N/A – no access ramps proposed between the streetwall and the sidewalk.

130	<p><b>Weather Protection:</b>  (1) Subject to Subsection 130(2), where entrances for commercial uses or multi-unit dwelling uses are proposed in the streetwall, weather protection for pedestrians shall be provided above the entrances and shall consist of at least one of the following:  (a) canopies;  (b) awnings;  (c) recessed entrances; or  (d) cantilevers.  (2) Subsection 131(1) shall not apply to the entrances of grade-related units.</p>	Weather protection for pedestrians is provided above the entrances to the multi-unit building through recesses.
131	<p><b>Exposed Foundations and Underground Parking Structures:</b>  Exterior foundation walls and underground parking structures the height of which exceeds 0.6 metres above grade shall be clad in a material consistent with the overall design of the same exterior façade.</p>	Exterior foundation walls of underground parking structures are clad in a material consistent with the overall design of the same exterior façade.
132	<p><b>Building Top Distinction:</b>  (1) Subject to Subsection 132(2), a portion of the top third of a building shall be differentiated from lower portions of the same building, by using two or more of the following:  (a) colour(s);  (b) material(s); and  (c) projections and recesses not less than 0.15 metres in depth.  (2) The minimum height of the differentiated portion shall be no less than:  (a) 0.5 metres in height for a low-rise building or mid-rise building;  (b) 1.0 metres in height for a tall mid-rise building; and  (c) 3.0 metres in height for a high-rise building.</p>	<p>(1) A portion of the top third of a building is differentiated from lower portions of the same building, by:    (b) material(s).  (c) penthouse is recessed not less than 0.15 metres in depth.    (2) The differentiation exceeds 0.5 metre in height.</p>
133	<p><b>Penthouses:</b>  Penthouses shall be visually integrated into the overall design of the building.</p>	Penthouses are visually integrated into the overall design of the building by being recessed from the north, east and south roof edge.

134	<p><b>Rooftop Mechanical Features:</b> Rooftop mechanical features shall be visually integrated into the design of the building and concealed from the public view at the streetline.</p>	Rooftop mechanical features are visually integrated into the design of the building and concealed from the public view at the streetline.
<b>Parking, Access, and Utilities Design Requirements</b>		
135	<p><b>Pedestrian Connections:</b> Where pedestrian connections are proposed on the site, at least one shall connect: (a) one public street to another public street; (b) one public street to a public open space; (c) one sidewalk to another sidewalk; or (d) one public street or a sidewalk to an at-grade private open space that is located on the site.</p>	Pedestrian connection conforms with: (d) one public street or a sidewalk to an at-grade private open space that is located on the site.
136	<p><b>Pedestrian Connections Through Accessory Surface Parking Lots:</b> (1) Pedestrian connections within accessory surface parking lots shall be no less than 2.0 metres wide. (2) Pedestrian connections within accessory surface parking lots shall be delineated by raised walkways, no less than 0.15 metres high, and consisting of: (a) poured concrete; (b) brick pavers; (c) stone pavers; or (d) concrete pavers. (3) Where a pedestrian connection crosses a driving aisle, the surface of the aisle shall be raised to meet the elevation of the abutting pedestrian connection and delineated with a change of colour or material from the driving aisle. (4) A pedestrian connection shall provide a direct route between parking areas, building entrances, and the nearest sidewalk.</p>	N/A – no accessory surface parking lots proposed.

137	<p><b>Motor Vehicle and Service Accesses:</b>  (1) Motor vehicle and service accesses in the streetwall shall be minimized by using the same colours or materials chosen for the streetwall.  (2) All motor vehicle and service accesses shall:  (a) not exceed the height of the ground floor or 4.5 metres, whichever is less; and  (b) be completely enclosed with a door(s).</p>	<p>(1) N/A – motor vehicle access is not proposed within the streetwall.  (2) The motor vehicle access does not exceed the height of the ground floor and is completely enclosed with a door.</p>
138	<p><b>Parking Internal to a Building or Within a Parking Structure:</b>  Where parking internal to a building is located within the streetwall, it shall be screened from public view from any public right-of-way or park.</p>	<p>Parking is located underground below the streetwall. Therefore, it is not visible from public view from the public right-of-way</p>
139	<p><b>Visual Impact Mitigation for Utility and Mechanical Features:</b>  The visual impact of utility features and mechanical features, including vents and meters, shall be minimized by concealing them from public view at the streetline by:  (a) using opaque screening; or  (b) enclosing them within a projection or recess in the building.</p>	<p>Mechanical features are located on the roof the building are enclosed within projections and recesses of the penthouse building form.</p>
140	<p><b>Heat Pumps and Other Heating and Ventilation Equipment for Individual Units:</b>  Heat pumps and other heating and ventilation equipment for individual units are permitted on balconies, unenclosed porches, and verandas if they are concealed from public view at the streetline by:  (a) using opaque screening; or  (b) enclosing them within a projection or recess in the building.</p>	<p>N/A – Heat pumps and other heating and ventilation equipment for individual units are located on balconies and will be screened using opaque screening.</p>

## Heritage Conservation Design Requirements

141	<p><b>Conservation of Character-Defining Elements:</b> Character-defining elements of registered heritage buildings shall be conserved and remain unobstructed.</p>	N/A
142	<p><b>New Windows and Doors:</b> New window and door openings on registered heritage buildings shall match established patterns (materials, design, detail, and dimensions).</p>	N/A
143	<p><b>Preservation of Architectural Elements:</b> Architectural elements on registered heritage buildings shall be preserved, such as pilasters, columns, cornices, bays, and parapets.</p>	N/A
144	<p><b>Use of Archival Evidence:</b> Archival evidence shall be used to support the rehabilitation and restoration of character-defining elements on registered heritage buildings, or on registered heritage properties.</p>	N/A
145	<p><b>Historic Building Façades:</b> Historic building façades on registered heritage buildings shall be retained and rehabilitated, or restored using traditional materials</p>	N/A
146	<p><b>Materials:</b> Brick or masonry façades shall be maintained and restored on registered heritage buildings. The painting of brick or masonry façades is prohibited.</p>	N/A

147	<p><b>Maintenance of Same or Similar Cornice Line Height for New Developments in a Heritage Context:</b>  The podiums or streetwalls of new developments in a heritage context shall maintain the same or similar cornice line height established by abutting registered heritage buildings, except where the maximum streetwall height permitted under the Land Use By-law is lower than the cornice of the registered heritage buildings.</p>	N/A
148	<p><b>Streetwall Stepback for Taller Portions of New Developments in a Heritage Context:</b>  Subject to Subsection 93(4), any portions of new developments in a heritage context that are taller than the cornice line of an existing abutting registered heritage building shall be stepped back from the streetwall.</p>	N/A
149	<p><b>Side Wall Stepback for Taller Portions of New Detached Buildings in a Heritage Context:</b>  Where a detached building constitutes a new development in a heritage context and where it abuts the same streetline as the registered heritage building, any portions of the new development that are taller than the cornice line of the registered heritage building shall be stepped back 3 metres on the side that abuts the heritage building.</p>	N/A

150	<p><b>Architectural Elements of Existing Heritage Buildings to be Used as a Reference in the Design of New Development in a Heritage Context:</b></p> <p>Architectural elements of existing abutting registered heritage buildings shall be used as a reference in the design of new development in a heritage context, by:</p> <p>(a) Incorporating articulation established by vertical and horizontal architectural elements of the registered heritage buildings (i.e. columns, pilasters, cornice, architectural frieze, datum lines, etc.);</p> <p>(b) Incorporating proportions and vertical spacing of the registered heritage buildings' windows; and</p> <p>c) Where new development in a heritage context is located at the ground level, maintaining the proportions and transparency of the registered heritage buildings' storefront and façade elements.</p>	N/A
151	<p><b>Awnings and Canopies:</b></p> <p>(1) If proposed on a registered heritage building, awnings and canopies shall be:</p> <p>(a) Designed to fit within the dominant horizontal structural elements of the lower façade and not obscure significant architectural features;</p> <p>(b) Located between vertical columns or pilasters to accentuate and not to obscure these elements;</p> <p>(c) Designed to complement the fenestration pattern of the registered heritage building; and</p> <p>(d) Constructed using heavy canvas fabric or similar material in either a solid colour or striped. The use of retractable awnings is encouraged. Vinyl and high gloss fabrics and internally-illuminated awnings shall be prohibited.</p> <p>(2) Metal or glass awnings or canopies may be permitted on a registered heritage building, if designed to complement historic architectural elements.</p>	N/A

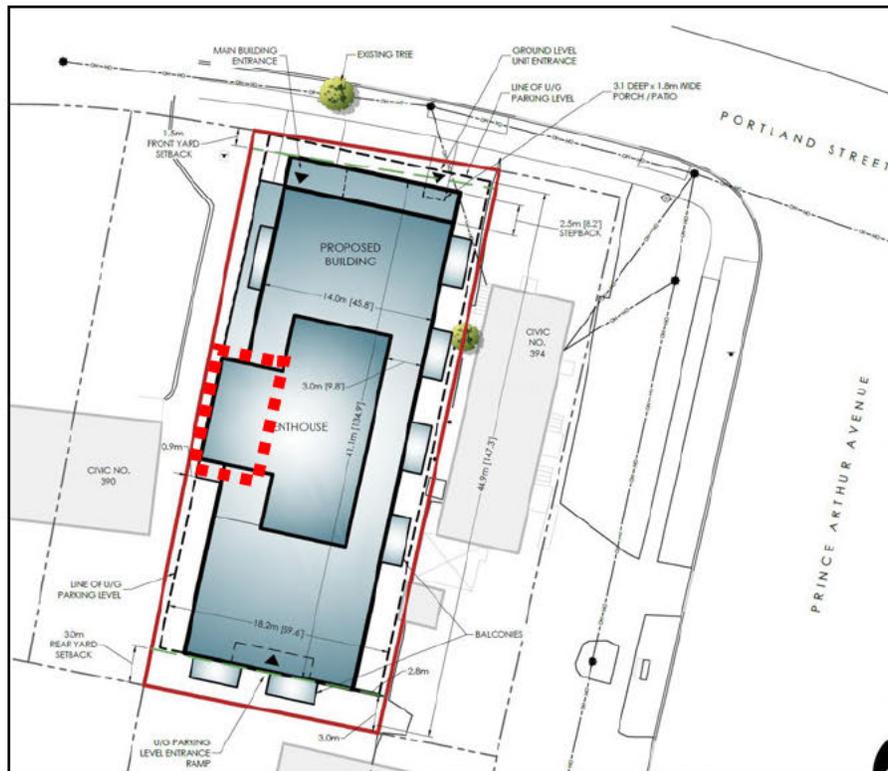
152	<p><b>Lighting Hardware:</b> Lighting hardware shall be located so that it does not disfigure or conceal any significant architectural feature of the registered heritage building. Where it is not possible to hide lighting hardware, it shall be compatible with the building's architecture and materials.</p>	N/A
153	<p><b>Directing Lighting to Accentuate or Emphasize Architectural Features or Signage:</b> Lighting shall be directed to accentuate or emphasize the architectural features of registered heritage buildings or their signage.</p>	N/A
<b>Other Design Requirements</b>		
154	<p><b>General Lighting:</b> The following features shall be illuminated: (a) common building entrances; (b) walkways; (c) accessible at-grade private open space; (d) parking lots; and (e) off-street loading spaces.</p>	The common building entrances, walkways and at-grade private open spaces will be illuminated.
155	<p><b>Emphasis of View Terminus Sites:</b> View terminus sites, as shown on Schedule 5, shall be emphasized perpendicular to and visible from a view line, by at least one of the following approaches: (a) subject to Subsection 93(5), extending the height of a portion of the streetwall; (b) locating a clock tower, bell tower, rooftop cupola, spire, steeple, or minaret on the top of the building; (c) providing an at-grade private open space; or (d) locating a public art installation, a landmark element, or a cultural artifact on a portion of the streetwall, or in an at-grade private open space.</p>	N/A

156	<p><b>Parking Areas, Accessory Surface Parking Lots, Off-Street Loading Spaces, and Site Utilities on View Terminus Sites:</b></p> <p>Parking areas, accessory surface parking lots, off-street loading spaces, or site utilities shall not be visible within a view terminus as shown on Schedule 5.</p>	N/A
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Variation Criteria

**Roof Edge Setbacks of Height-Exempted Rooftop Features**

A portion of the proposed developments penthouse exceeds the Regional Centre Land Use By-Law's minimum setback from the outermost edge of the roof (3 metres). This exceedance occurs along the western edge of the roof and the portions of the penthouse that exceed the minimum setback requirement encompass required circulation/egress components of the building (exit stairs and elevator). The exceedance occurs along an interior lot line and that portion of the penthouse is designed to minimize its potential visual impact.



As such, we are seeking a variation to the minimum setback from the outermost edge of the roof requirement in accordance with section 157 of the Regional Land Use By-Law.

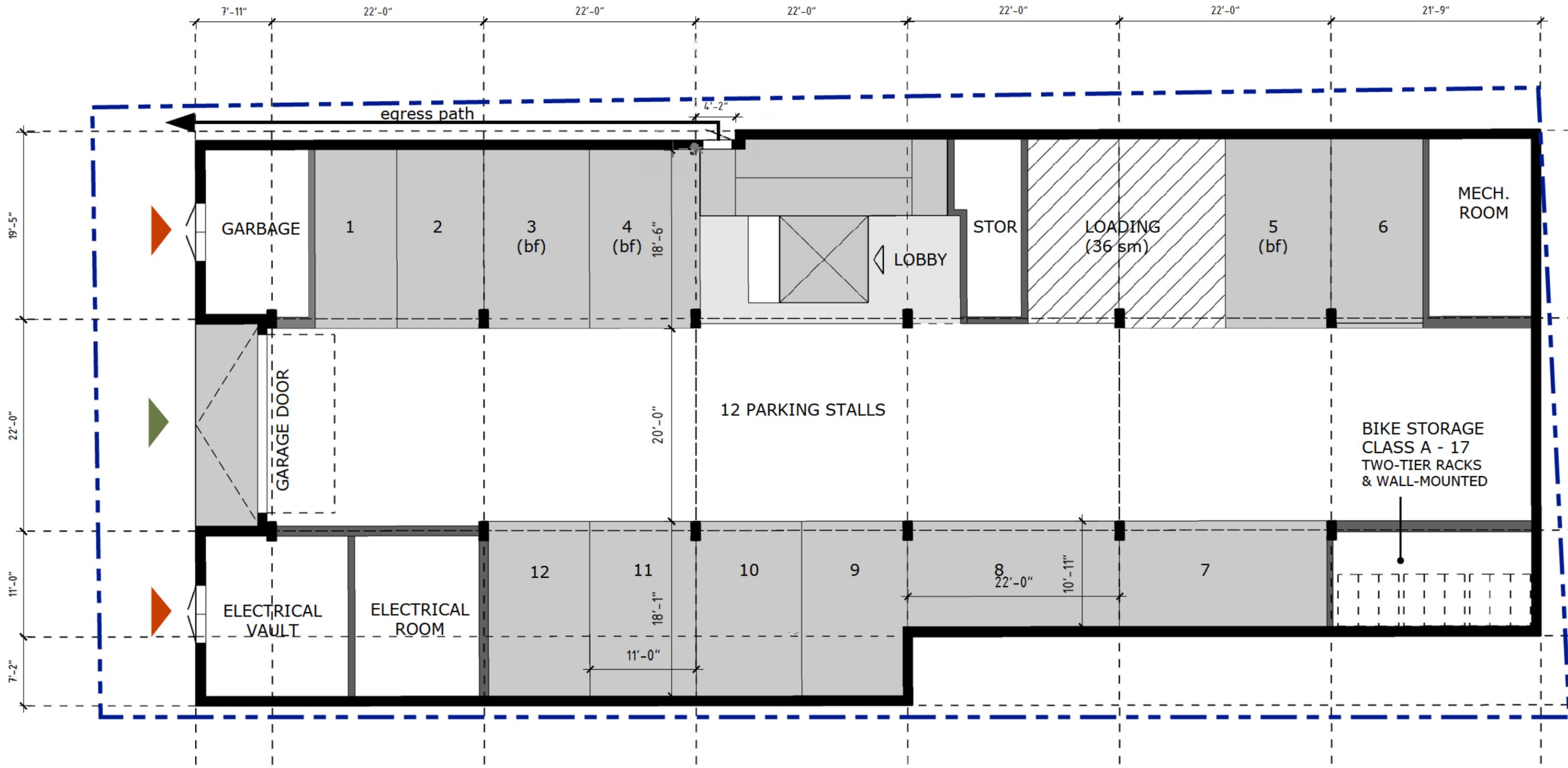
Closing

Thank you taking the time to review the above design rationale and variation criteria. If you have any questions or clarifications regarding the content of this document, please do not hesitate to contact the undersigned.

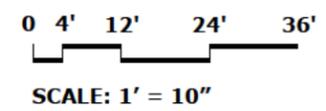
Sincerely,



Connor Wallace, MCIP, LPP  
Principal  
ZZap Consulting Inc.  
connor@zzap.ca  
902-266-5481



-  Service Access
-  Loading/Parking Access
-  Main Building Entrance
-  Property line

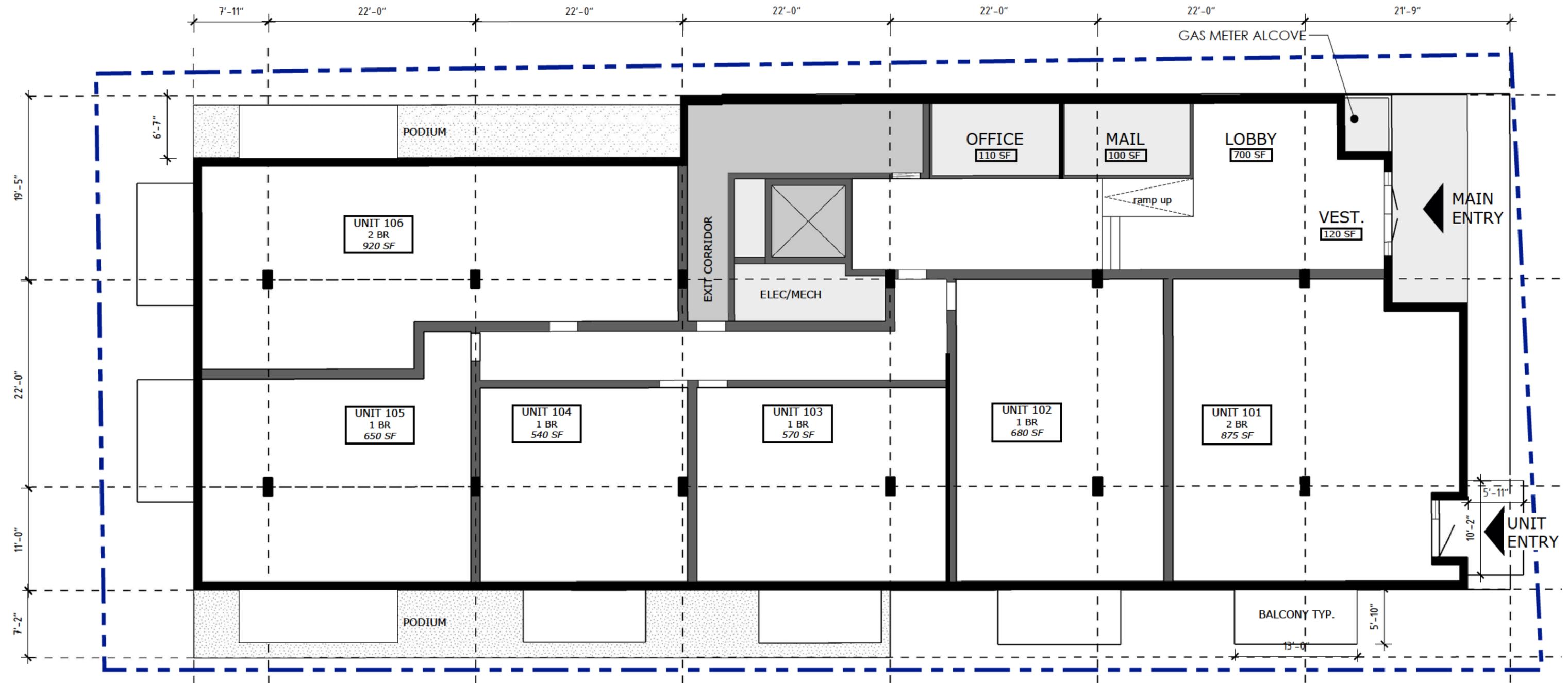



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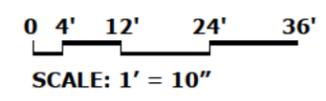
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<p>PROJECT</p> <p><b>CROWN TOWER</b> 392 Portland St., Dartmouth NS</p>	<p>DRAWING</p> <p><b>LEVEL P1</b> SCALE: 1"=10'</p>	<p>PROJECT NO. 19-086</p> <p>DRAWN BY: NC</p> <p>RE-ISSUED FOR SPA</p> <p>DATE: December 22, 2020</p> <p>DRAWING NUMBER</p> <p><b>A-02</b></p>
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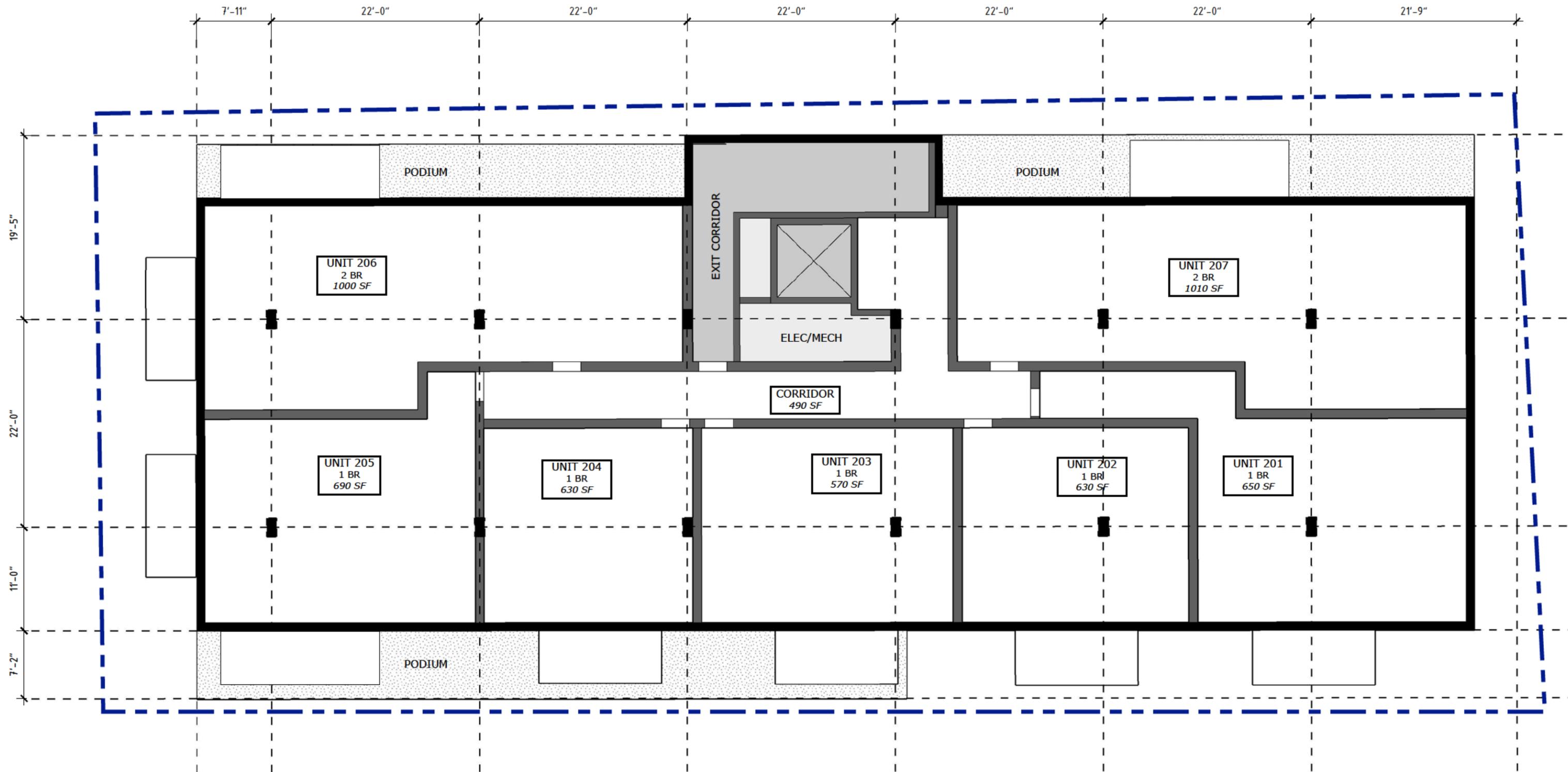
- Service Access
- Loading/Parking Access
- Main Building/Pedestrian Entrance/Exit
- Property line



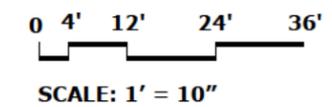
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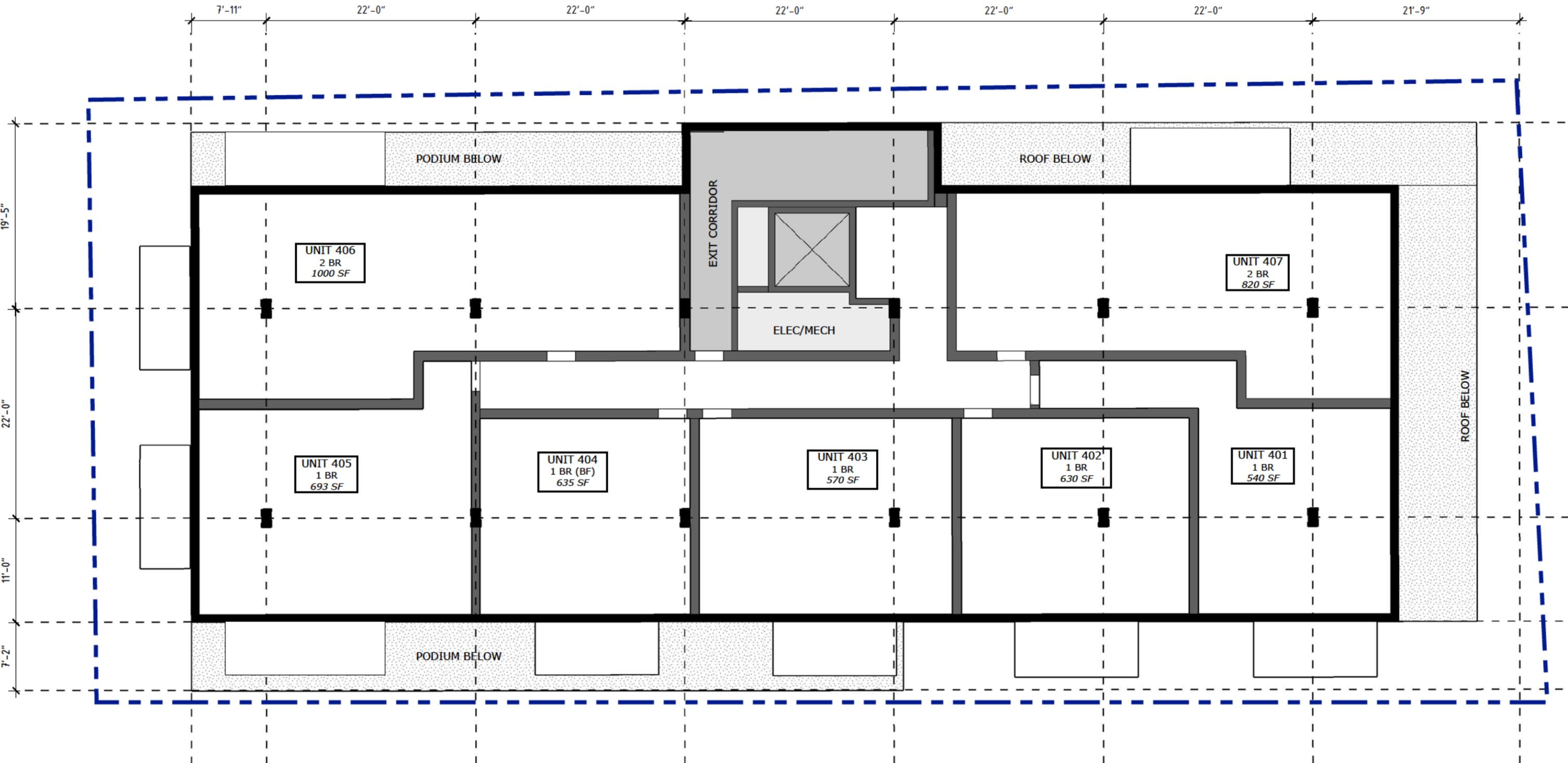
PROJECT <p style="text-align: center;"><b>CROWN TOWER</b> 392 Portland St., Dartmouth NS</p>	DRAWING <p style="text-align: center;"><b>LEVEL 1</b> SCALE: 1"=10'</p>	PROJECT NO. 19-086 DRAWN BY: NC RE-ISSUED FOR SPA DATE: December 22, 2020
		DRAWING NUMBER <h1 style="margin: 0;">A-03</h1>



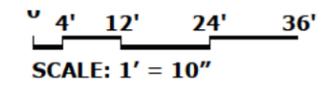
Property line



PROJECT	<b>CROWN TOWER</b> 392 Portland St., Dartmouth NS	DRAWING	<b>LEVEL 2-3</b> SCALE: 1"=10'	PROJECT NO. 19-086	DRAWING NUMBER
				DRAWN BY: NC	<b>A-04</b>
				RE-ISSUED FOR SPA	
				DATE: December 22, 2020	



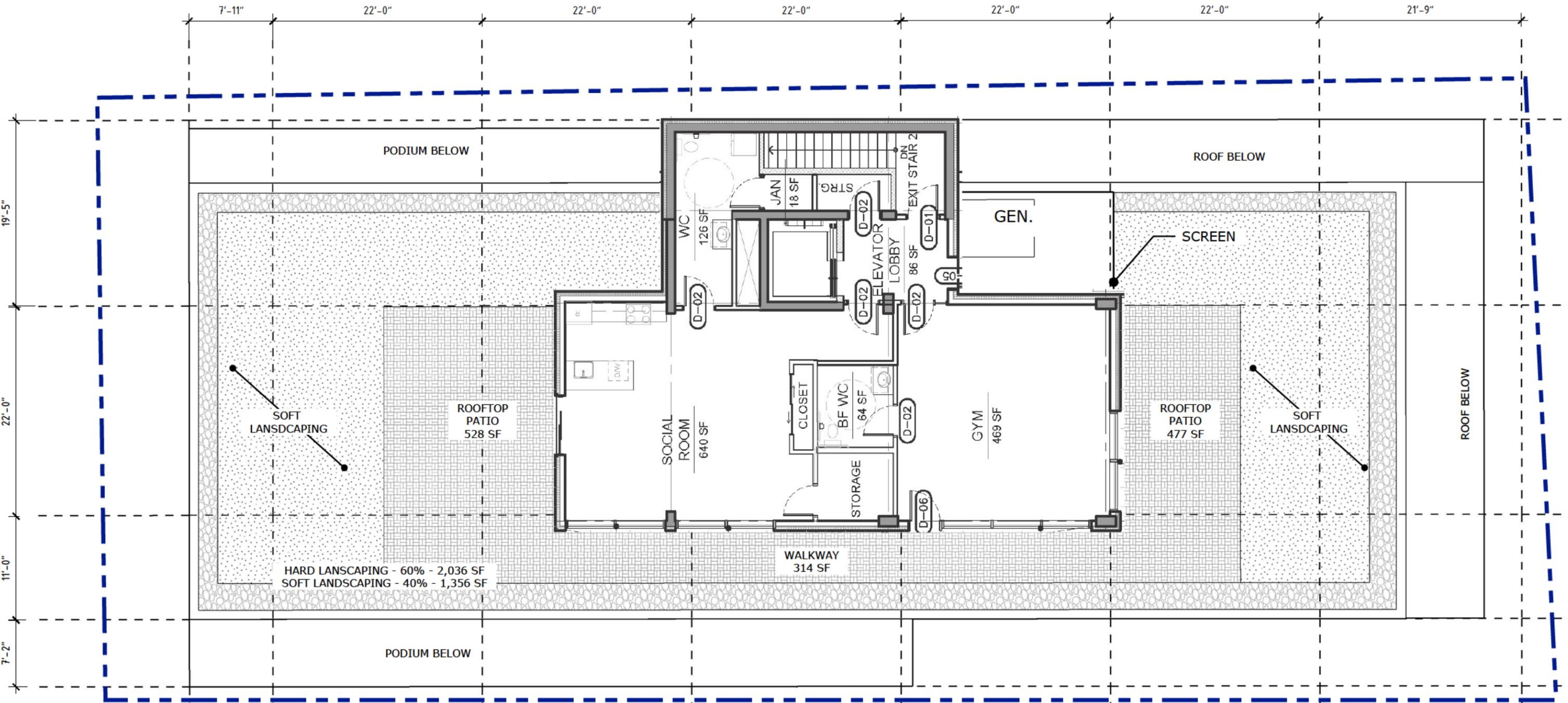
Property line



**Zzap**  
Zwicker  
Zareski  
architecture +  
planning

1 Canal Street, Dartmouth, NS B2Y 2W1 | Zzap.ca

PROJECT	<b>CROWN TOWER</b> 392 Portland St., Dartmouth NS	DRAWING	<b>LEVEL 4-6</b> SCALE: 1"=10'	PROJECT NO. 19-086	DRAWING NUMBER
				DRAWN BY: NC	<b>A-05</b>
				RE-ISSUED FOR SPA	
				DATE: December 22, 2020	

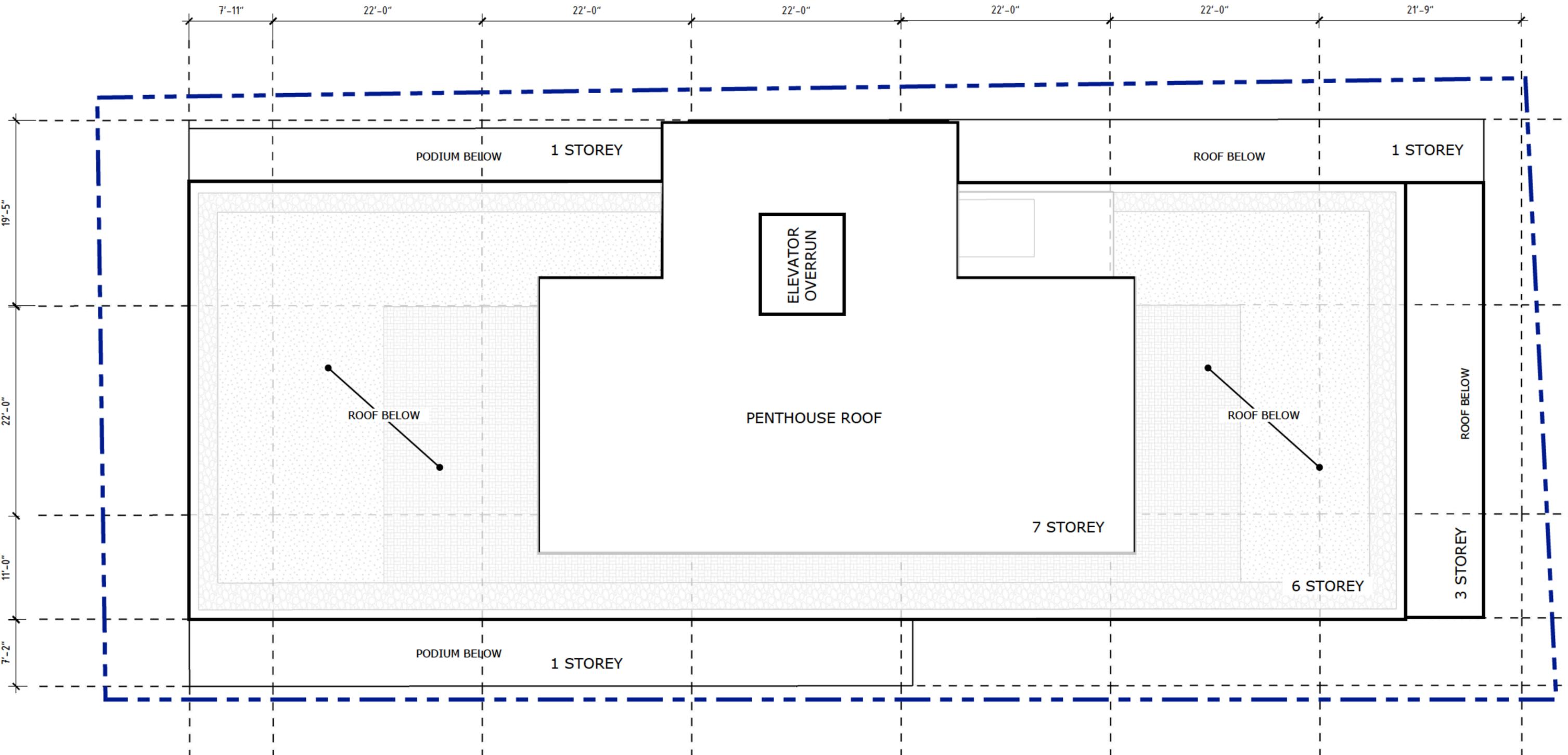


Property line

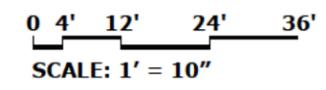
- TOTAL ROOF AREA= **6054 sf**
- PENTHOUSE AREA = **1894 sf = 30% of roof area**(exempt from height - section 86 of LUB)
- REQUIRED INTERIOR AMMENITY SPACE = (#units x 5sm) = (41x5) = 205 sm = **2206 sf**
- PROVIDED INTERIOR AMMENITY SPACE = **1159 sf**
- PROVIDED EXTERIOR AMMENITY SPACE = **1319 sf**
- % roof covered by height exempt features = **30%**

0 4' 12' 24' 36'  
SCALE: 1' = 10"





Property line



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Zareski  
architecture +  
planning

1 Canal Street, Dartmouth, NS B2Y 2W1 | Zap.ca

<p>PROJECT</p> <p><b>CROWN TOWER</b> 392 Portland St., Dartmouth NS</p>	<p>DRAWING</p> <p><b>ROOF PLAN</b> SCALE: 1"=10'</p>	<p>PROJECT NO. 19-086</p> <p>DRAWN BY: NC</p> <p>RE-ISSUED FOR SPA</p> <p>DATE: December 22, 2020</p> <p>DRAWING NUMBER</p> <p><b>A-07</b></p>
---	--	--

EXTERIOR MATERIALS LEGEND	
1	Prefinished engineered cladding - A
2	Prefinished engineered cladding - B
3	Prefinished engineered cladding - C
4	Prefinished engineered cladding - D
5	Metallic/glass guardrail
6	Punched glazing units
7	Prefinished screen
8	Garage door

Note: All materials will meet Section 78 as outlined in the Regional Centre Land Use Bylaw

- % of clear glass glazing for grade related unit (unit 101) = 32%  
Per Section 128 of the LUB



PROJECT  
**CROWN TOWER**  
 392 Portland St., Dartmouth NS

DRAWING  
**NORTH ELEVATION**  
 SCALE: 1"=10'

PROJECT NO. 19-086  
 DRAWN BY: NC  
 RE-ISSUED FOR SPA  
 DATE: December 22, 2020

DRAWING NUMBER  
**A-08**

EXTERIOR MATERIALS LEGEND	
1	Prefinished engineered cladding - A
2	Prefinished engineered cladding - B
3	Prefinished engineered cladding - C
4	Prefinished engineered cladding - D
5	Metallic/glass guardrail
6	Punched glazing units
7	Prefinished screen
8	Garage door



**Zzap** Zwicker Zareski architecture + planning  
 1 Canal Street, Dartmouth, NS B2Y 2W1 | Zzap.ca



PROJECT  
**CROWN TOWER**  
 392 Portland St., Dartmouth NS

DRAWING  
**EAST ELEVATION**  
 SCALE: 1"=10'

PROJECT NO. **19-086** DRAWING NUMBER  
 DRAWN BY: NC  
 RE-ISSUED FOR SPA  
 DATE: December 22, 2020  
**A-09**

EXTERIOR MATERIALS LEGEND	
1	Prefinished engineered cladding - A
2	Prefinished engineered cladding - B
3	Prefinished engineered cladding - C
4	Prefinished engineered cladding - D
5	Metallic/glass guardrail
6	Punched glazing units
7	Prefinished screen
8	Garage door



EXTERIOR MATERIALS LEGEND	
1	Prefinished engineered cladding - A
2	Prefinished engineered cladding - B
3	Prefinished engineered cladding - C
4	Prefinished engineered cladding - D
5	Metallic/glass guardrail
6	Punched glazing units
7	Prefinished screen
8	Garage door



**Zzap** Zwicker Zareski architecture + planning  
 1 Canal Street, Dartmouth, NS B2Y 2W1 | Zzap.ca



PROJECT  
**CROWN TOWER**  
 392 Portland St., Dartmouth NS

DRAWING  
**WEST ELEVATION**  
 SCALE: 1"=10'

PROJECT NO. 19-086  
 DRAWN BY: NC  
 RE-ISSUED FOR SPA  
 DATE: December 22, 2020

DRAWING NUMBER  
**A-11**



PROJECT

**CROWN TOWER**  
 392 Portland St., Dartmouth NS

DRAWING

**Streetscape View**  
 CONCEPTUAL RENDER

PROJECT NO. **19-086**

DRAWN BY: NC

RE-ISSUED FOR SPA

DATE: December 22, 2020

DRAWING NUMBER

**A-12**



PROJECT

**CROWN TOWER**  
 392 Portland St., Dartmouth NS

DRAWING

**Night View**  
 CONCEPTUAL RENDER

PROJECT NO. **19-086**

DRAWN BY: NC

RE-ISSUED FOR SPA

DATE: December 22, 2020

DRAWING NUMBER

**A-13**



PROJECT

**CROWN TOWER**  
392 Portland St., Dartmouth NS

DRAWING

**Pedestrian View**  
CONCEPTUAL RENDER

PROJECT NO. **19-086**

DRAWN BY: NC

RE-ISSUED FOR SPA

DATE: December 22, 2020

DRAWING NUMBER

**A-14**

## Landscape Plan : Drawing Set

L1 Site Landscape Plan

L2 Tree Protection Plan

L3 Landscape Grading Plan

L4 Rooftop Terrace Hardscape Plan

L5 Site Furninshings Plan

L6 Planting Plan & Details



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planning

CLIENT



PROJECT

**CROWN TOWER**  
392 Portland St., Dartmouth NS

DRAWING

**COVER PAGE**

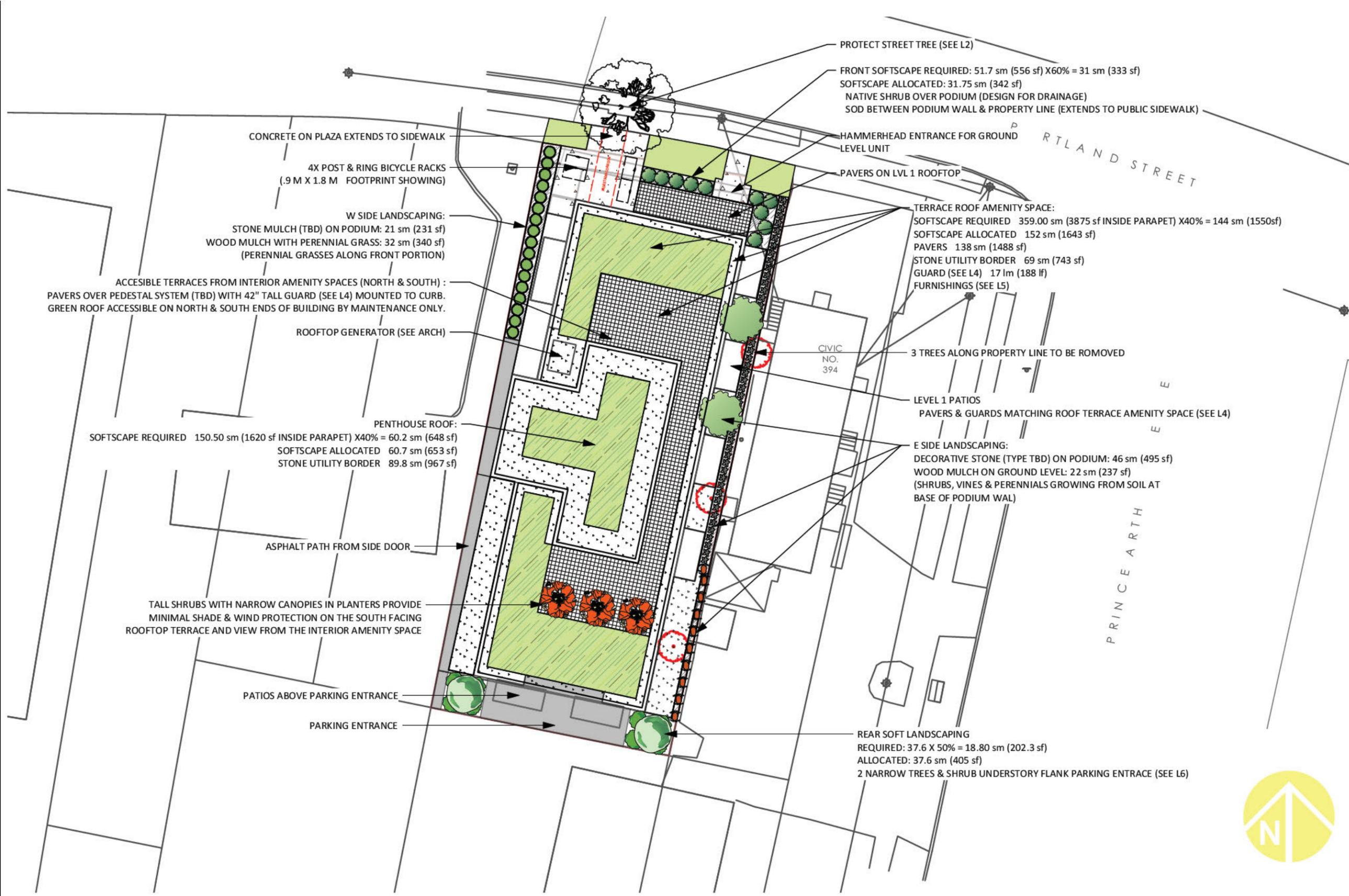
PROJECT NO. **19-086**

DRAWING NUMBER

DRAWN BY: KJW & QH

ISSUED FOR REVIEW

DATE: December 03, 2020



**LEGEND**

- Site Boundary
- Adjacent Property Boundary

**SITE SUMMARY:**  
 PID: 00221762  
 Total Land Area: 910.5 sm / 9,800 SF  
 Existing Zone: COR

**NOTES:**  
 Site subject to by law review and regulations.

**LANDSCAPE NOTES:**  
 Landscape areas include:  
 1 green roof (restricted access)  
 2 dec. stone mulch (front, sides, rear)  
 3 terrace hardscape (pavers, planters, guards, recommended furniture)

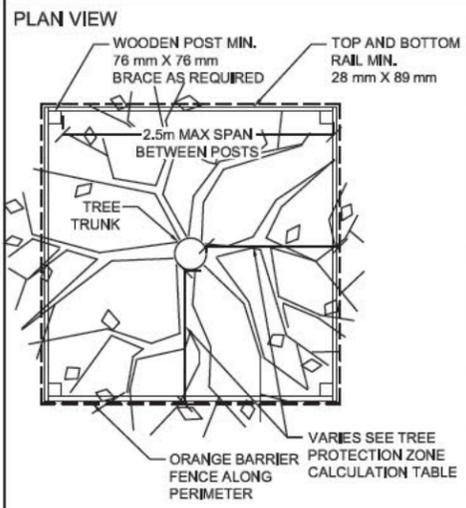
**outside!**  
 planning and design studio  
 LANDSCAPE ARCHITECTS:  
 Jamie Clarke & Sue Sirrs

*Association des architectes-paysagistes des provinces atlantiques*  
 association of landscape architects

SUSAN E. SIRRS  
 LANDSCAPE ARCHITECT

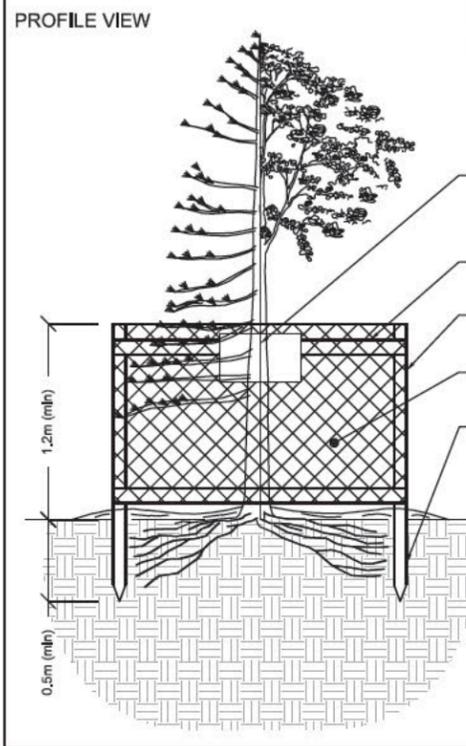
**SOURCES:**  
 Plan based on SDMM Existing Conditions Plan, CAD file: '34679 P#13 2780 0 392 Portland St 15Nov2019'

**SCALE:**  
 0 1.5 3 7.5 15m  
 1:300



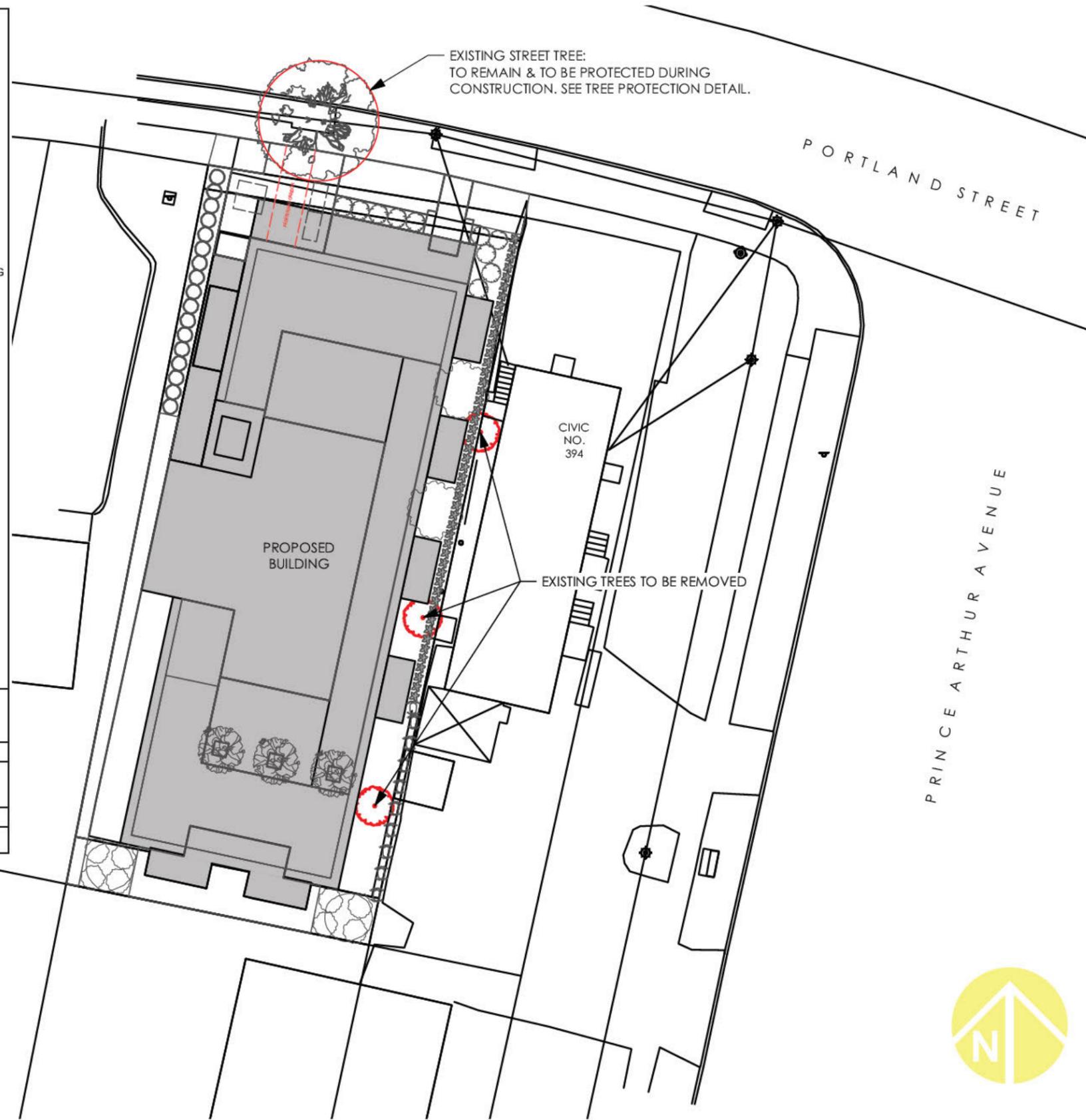
TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCE REQUIRED (MEASURE FROM THE OUTSIDE EDGE OF TREE TRUNK)
10 CM & UNDER	1.2 METERS
11 - 30 CM	2.0 METERS
31 - 40 CM	3.4 METERS
41 - 50 CM	4.6 METERS
51 - 60 CM	6.0 METERS
61 - 70 CM	7.0 METERS
71 - 80 CM	8.0 METERS
>80 CM	9.0 METERS

- NOTES:
1. WOOD POST; (MIN. 76mm WIDTH) INSTALLED TO A DEPTH OF 500mm (UNDERGROUND LOCATES REQUIRED)
  2. TOP AND BOTTOM RAIL; (MIN. 38 X 89mm CONSTRUCTION, MAX. SPAN 2.5m), CROSS BRACING AS REQUIRED.
  3. HEIGHT OF THE FENCE: MIN.1.2 METERS
  4. NO GROUND DISTURBANCE WITHIN 1.2 METER OF THE TREE TRUNK (I.E. POST INSTALLATION)
  5. POSTS SET BACK FROM SIDEWALK AND CURB: MIN 300mm
  6. FENCE MATERIAL; MINIMUM ORANGE BARRIER FENCE OR METAL CHAIN LINK FENCE
  7. ATTACH A SIGN ON TWO SIDES OF THE TREE "PROTECTION ZONE DO NOT REMOVE FENCE DURING CONSTRUCTION"



**HALIFAX**  
STANDARD DETAIL  
**TREE PROTECTION ZONE & BARRIER**

DATE: 2019    REFERENCE: APPROVED  
SCALE: NTS    FIG NO:



**LEGEND**

- Site Boundary
- Adjacent Property Boundary

**SITE SUMMARY:**  
PID: 00221762  
Total Land Area: 910.5 sm / 9,800 SF  
Existing Zone: COR

**NOTES:**  
Site subject to by law review and regulations.

**outside!**  
planning and design studio  
LANDSCAPE ARCHITECTS:  
Jamie Clarke & Sue Sirrs

Association de landscape architects - paysagistes des provinces atlantiques  
association of landscape architects

SUSAN E. SIRRS  
LANDSCAPE ARCHITECT

**SOURCES:**  
Plan based on SDMM Existing Conditions  
Plan, CAD file: '34679 P#13 2780 0 392  
Portland St 15Nov2019'



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Zareski  
architecture +  
planning

CLIENT

**CROWN TOWER**

PROJECT

**CROWN TOWER**  
392 Portland St., Dartmouth NS

DRAWING

**TREE PROTECTION PLAN**

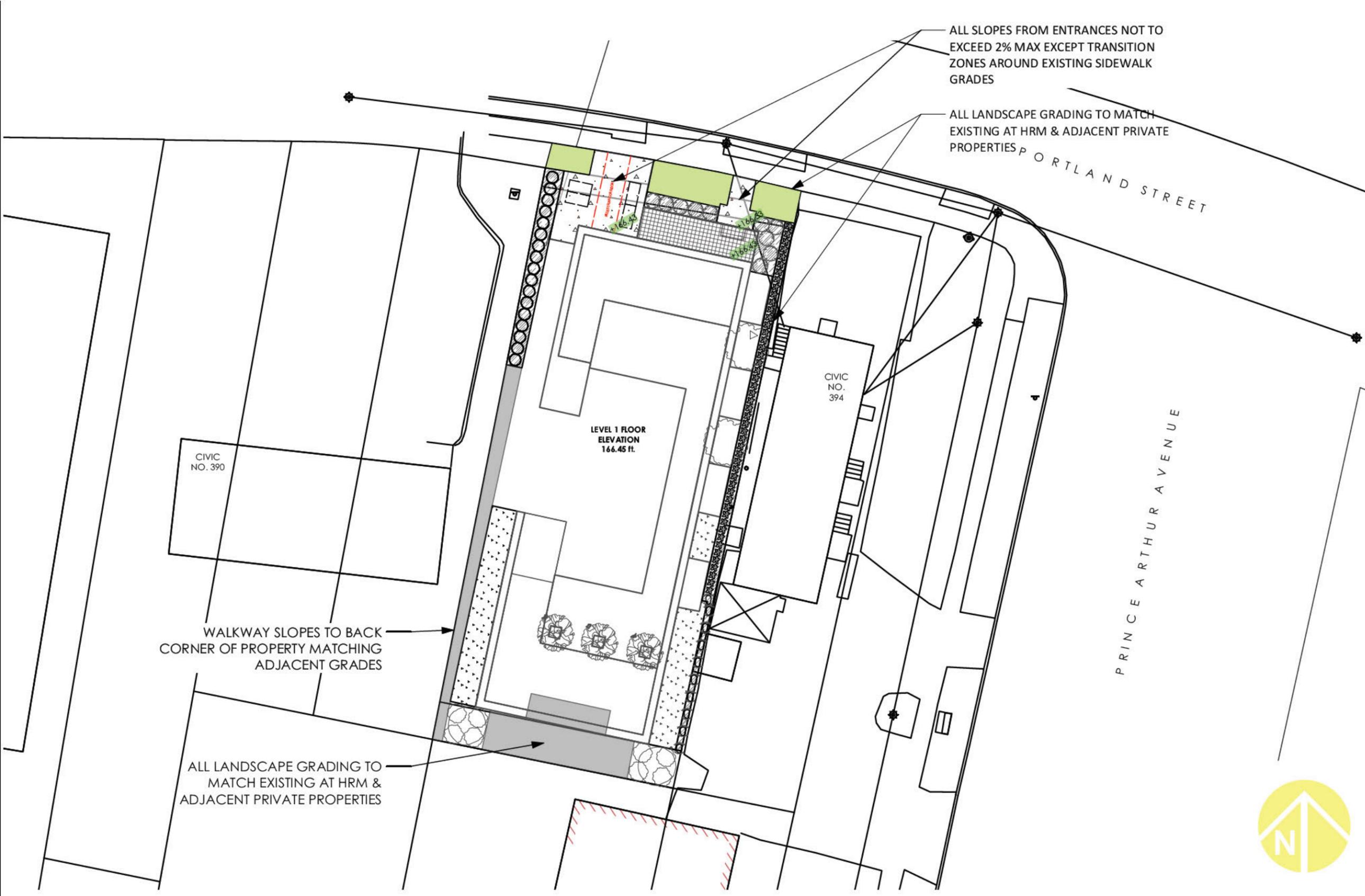
PROJECT NO. **19-086**    DRAWING NUMBER

DRAWN BY: KJW & QH

ISSUED FOR REVIEW

DATE: December 03, 2020

**L2**



**LEGEND**  
 Site Boundary  
 Adjacent Property Boundary

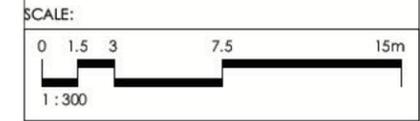
**SITE SUMMARY:**  
 PID: 00221762  
 Total Land Area: 910.5 sm / 9,800 SF  
 Existing Zone: COR

**NOTES:**  
 Site subject to by law review and regulations.

**outside!**  
 planning and design studio  
 LANDSCAPE ARCHITECTS:  
 Jamie Clarke & Sue Sirrs

Association de landscape architects-paysagistes des provinces atlantiques  
 association of landscape architects  
 SUSAN E. SIRRS  
 LANDSCAPE ARCHITECT

**SOURCES:**  
 Plan based on SDMM Existing Conditions Plan, CAD file: '34679 P#13 2780 0 392 Portland St 15Nov2019'



**Zzap**  
 Zwicker  
 Zareski  
 architecture +  
 planning

CLIENT  
  
**CROWN TOWER**

PROJECT  
**CROWN TOWER**  
 392 Portland St., Dartmouth NS

DRAWING  
**LANDSCAPE GRADING PLAN**

PROJECT NO. **19-086**  
 DRAWN BY: KJW & QH  
 ISSUED FOR REVIEW  
 DATE: December 03, 2020  
 DRAWING NUMBER  
**L3**

ROOFTOP AMENITY GUARD RAILS:  
 SUPPLIER - ARCHADECK OF NOVA SCOTIA  
 114 LF TOTAL GUARD RAIL MOUNTED TO CONCRETE CURB AROUND PERIMETER OF PAVERS,  
 JOIN TO BUILDING WALL AT CORNERS OF AMENITY SPACES

THE MATERIAL CONTAINED HEREIN IS PROPRIETARY TO EXCELL RAILING SYSTEMS LTD. AND SHALL NOT BE REPRODUCED, DISCLOSED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN APPROVAL OF EXCELL RAILING SYSTEMS LTD.

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TOP RAIL OPTIONS



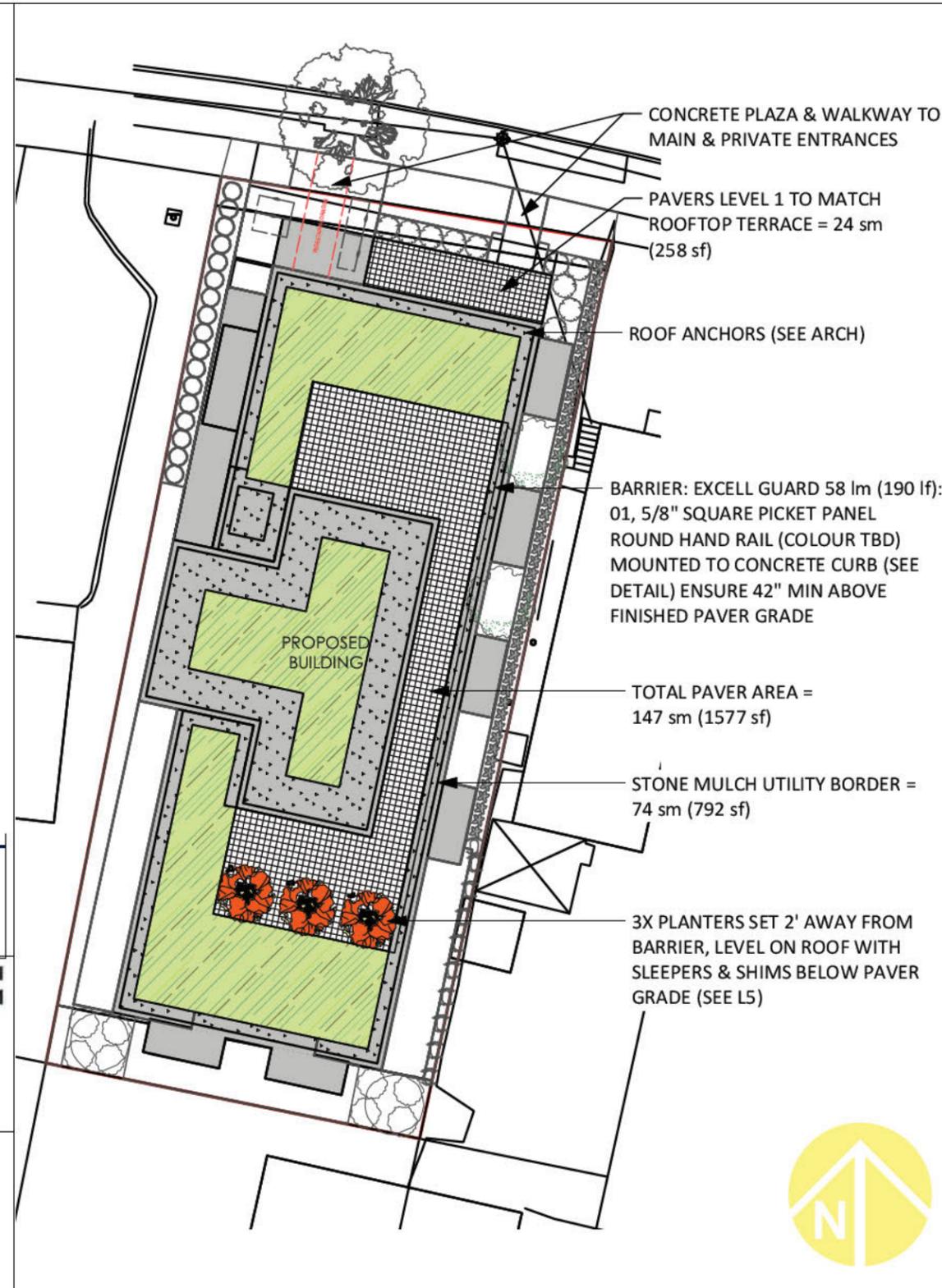
Excell Railing Systems Ltd.  
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 Surrey, BC V3W 8E7  
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 TF: 1-866-999-7245  
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Excell Kansas City Warehouse  
 1722 Iron Street  
 North Kansas City, MO 64116  
 TF: 1-800-338-3568  
 F: 1-816-421-2924  
 www.excellrailing.com

1035 SF TOTAL PERMACON CONCRETE PAVERS  
 OR EQUIVALENT (COLOUR TBD TO MATCH  
 ARCHITECTURE):  
 20"X30" ARRANGED IN GRID OVER PEDESTAL  
 SYSTEM (TBD) OVER WATERPROOF MEMBRANE  
 & ROOF DRAINS

CITY SLABS CITY COLLECTION

Unit C  
 60 mm x 502 mm x 250 mm  
 2 3/8" x 19 11/16" x 29 1/2"



LEGEND

- Site Boundary
- Adjacent Property Boundary

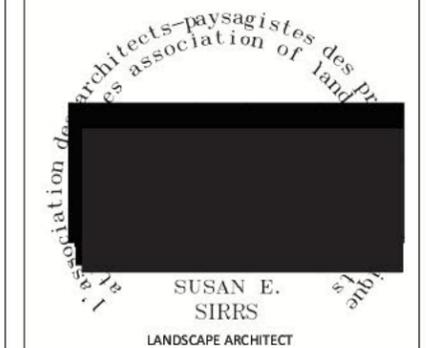
**SITE SUMMARY:**  
 PID: 00221762  
 Total Land Area: 910.5 sm / 9,800 SF  
 Existing Zone: COR

**NOTES:**  
 Site subject to by law review and regulations.

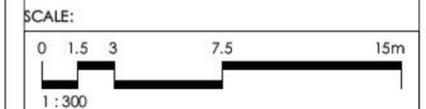
**LANDSCAPE NOTES:**  
 1) All barriers to be installed by qualified contractor.  
 2) Substitutions must be approved by consultant.  
 3) Consultant to perform inspection of extent of amenity spaces prior to installation & following installation.



LANDSCAPE ARCHITECTS:  
 Jamie Clarke & Sue Sirrs



**SOURCES:**  
 Plan based on SDMM Existing Conditions  
 Plan, CAD file: '34679 P#13 2780 0 392  
 Portland St 15Nov2019'



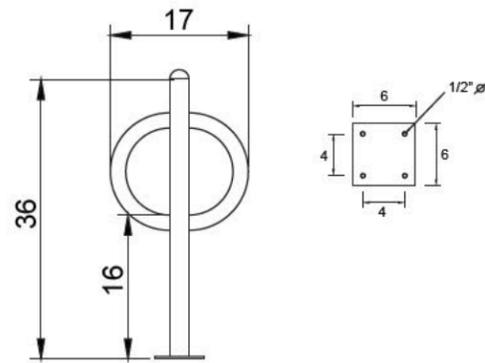
PROJECT  
**CROWN TOWER**  
 392 Portland St., Dartmouth NS

DRAWING  
**ROOFTOP TERRACE  
 HARDSCAPE PLAN**

PROJECT NO. **19-086**  
 DRAWN BY: KJW & JC  
 ISSUED FOR HRM REVIEW  
 DATE: January 11, 2021

DRAWING NUMBER  
**L4**

DETAILS AND SPECIFICATIONS MAY VARY DUE TO CONTINUING PRODUCT IMPROVEMENTS

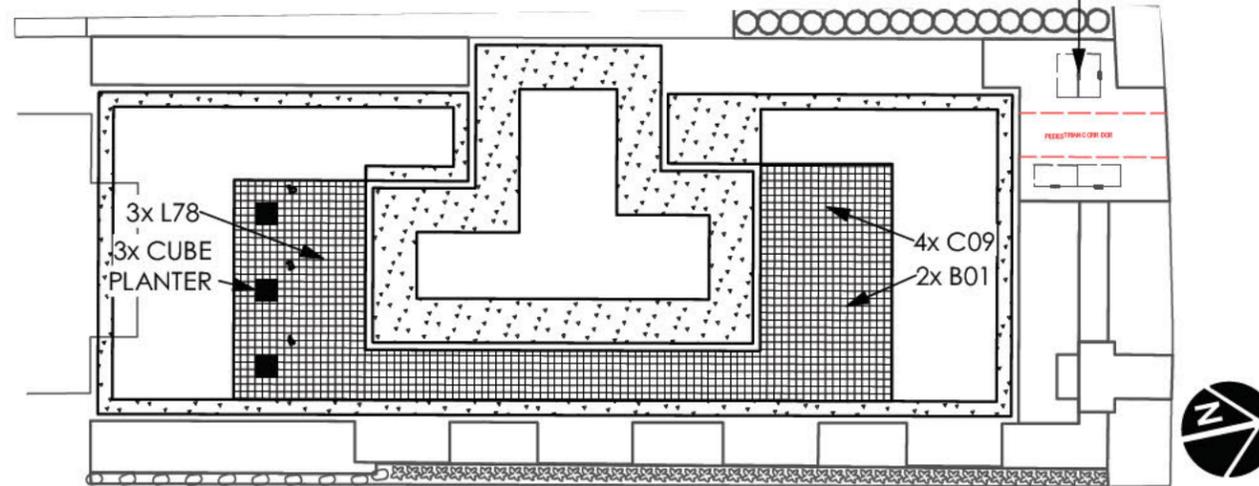


4	2	LP BR RING	LP Half Ring	1.66" Dia. x 125w	Steel
3	1	LP BR BASE 6X8x5/16"	LP Base Plate		Steel
2	1	2.375X125 HSO	POST	36"	Steel
1	1	2.375 DOMECAP WELDED	CAP		Steel



CLIENT:	HRM	INFORMATION:	DATE:	24/05/2013	REVISED:		SCALE:	1:10
MODEL:	HRM POST & RING RACK	DWN:	M.R.M	AGE GROUP:		SHEET:		1
TYPE:		DWG NO.:	1531					

4X BICYCLE RACKS = (2FT X 6FT FOOTPRINT SHOWING)



**LEGEND**

- Site Boundary
- Adjacent Property Boundary

**SITE SUMMARY:**  
 PID: 00221762  
 Total Land Area: 910.5 sm / 9,800 SF  
 Existing Zone: COR

**NOTES:**  
 Site subject to by law review and regulations.

**LANDSCAPE NOTES:**  
 1) All site furnishings to be reviewed by consultant.  
 2) Contractor to assemble & install on site & conduct a safety review with HRM.



**4x C09 ORIGINAL ADIRONDACK**

This chair has been ergonomically designed with you in mind. Our Adirondack sits deep with a contoured seat and back, for the comfort you would expect in an Adirondack Chair.

ASSEMBLY INSTRUCTIONS

SELECT A COLOUR - Turquoise-09



**2x B01 4' GARDEN BENCH**

It is both stylish and comfortable! This garden bench is great for gardens, patios, walkways or just about anywhere. Seats 2 adults comfortably.

ASSEMBLY INSTRUCTIONS

SELECT A COLOUR - Turquoise-09



**3x L78 CHAISE LOUNGE (with wheels)**

Sit back and enjoy the lazy days of summer. Our lounge has three different positions so it is great for relaxing by the beach or pool. Each lounge weighs 98 lbs so it is heavy enough to leave on the beach year round.

ASSEMBLY INSTRUCTIONS

SELECT A COLOUR - Turquoise-09



<https://www.wayfair.ca/outdoor/pdp/latitude-run-junita-fibre-reinforced-polymer-planter-box-c000133579.html?pid=811063481%2C811063464>

**Junita Fibre-reinforced Polymer Planter Box**

See More by [Latitude Run](#) (Shop Rating [4.5/5](#))

★★★★☆ 3.8 | 11 Reviews

CAD \$1,079.99 ~~CAD \$1,199.99~~ 10% Off



Get \$25 off \$150 with the [Wayfair Credit Card](#)

FREE Shipping  
 Get it in 6-8 weeks

Colour (30)  
 Dove grey

**Product Overview**

Weather Resistant	33" H x 36" W x 36" D Size
Material Composite	Overall Width - Side to Side 36"
	Overall Product Weight 52 lb.

**Description**

Keep your favourite flower plants protected. It is made with premium quality material, enabling years of functionality and durability. This planter is available in numerous colours and sizes, which you can choose from according to your convenience. Simple yet chic in design, this planter is the perfect addition to your garden. The Wager Square Planter is ideal for an outdoor space and repels insects. This square-shaped planter transforms your outdoor space and withstands outdoor weather conditions.

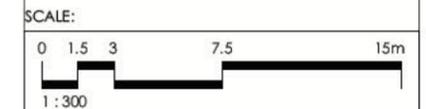


planning and design studio

LANDSCAPE ARCHITECTS:  
 Jamie Clarke & Sue Sirrs



**SOURCES:**  
 Plan based on SDMM Existing Conditions Plan, CAD file: '34679 P#13 2780 0 392 Portland St 15Nov2019'



PROJECT  
**CROWN TOWER**  
 392 Portland St., Dartmouth NS

DRAWING  
**SITE FURNISHINGS PLAN**

PROJECT NO. **19-086** DRAWING NUMBER  
 DRAWN BY: KJW & JC  
 ISSUED FOR HRM REVIEW  
 DATE: January 11, 2021  
**L5**

# Plant List - Simple

ID	Qty	Latin Name	Common Name	Size
Acan	2	Amelanchier canadensis	Eastern Serviceberry	8' TALL
Axg	3	Amelanchier x grandiflora	Apple Serviceberry	15G
EfEG	8	Euonymus fortunei	Emerald 'N Gold Wintercreeper	3G
Fgar	10	Fothergilla gardenii	Witch Alder	10G
Hos	49	Hosta 'mix'	Plantain Lily	2G
MsG	17	Miscanthus sinensis 'Gracillimus'	Maiden Grass	2G
Pt	10	Parthenocissus tricuspidata	Boston Ivy	1G
Qrob	2	Quercus robur	English Oak	8' TALL

## XeroFlor Green Roof Sedum Mat System (2296sf) + aluminum angle edge

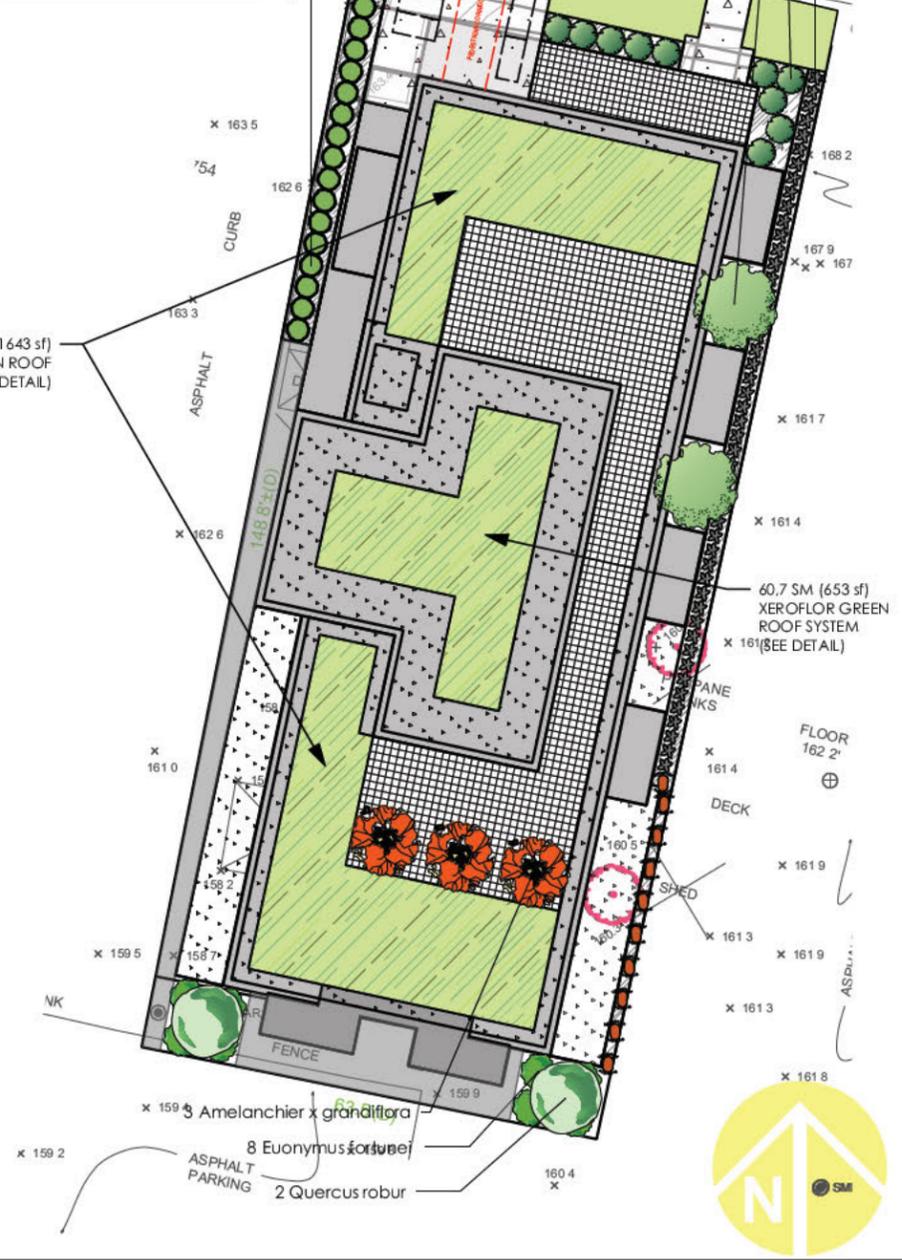
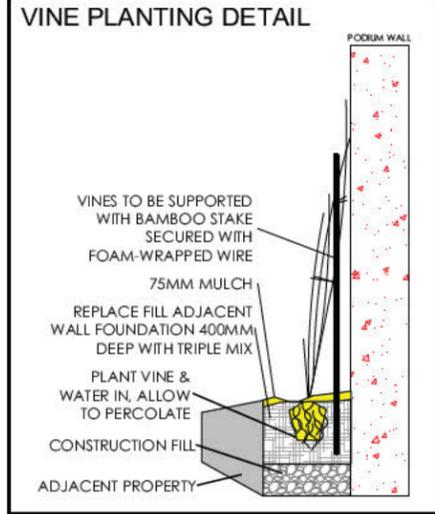
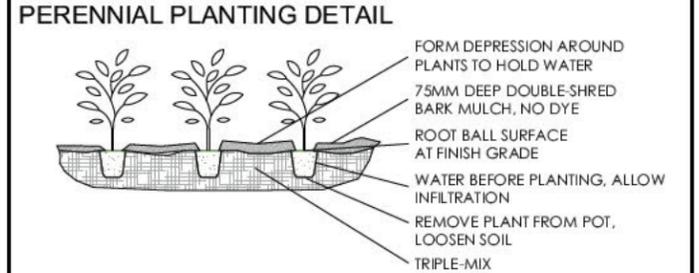
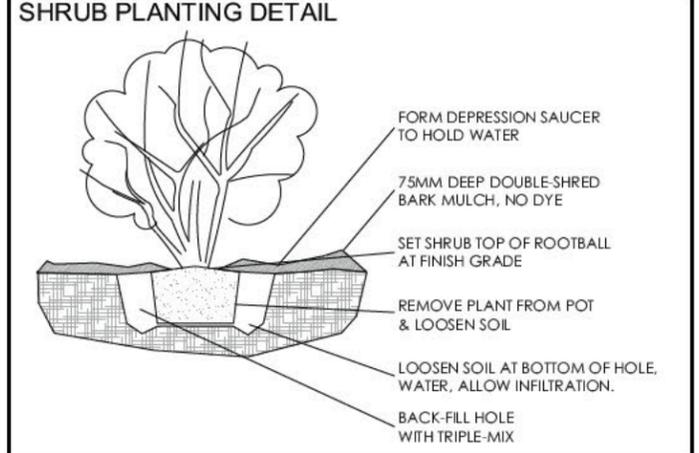
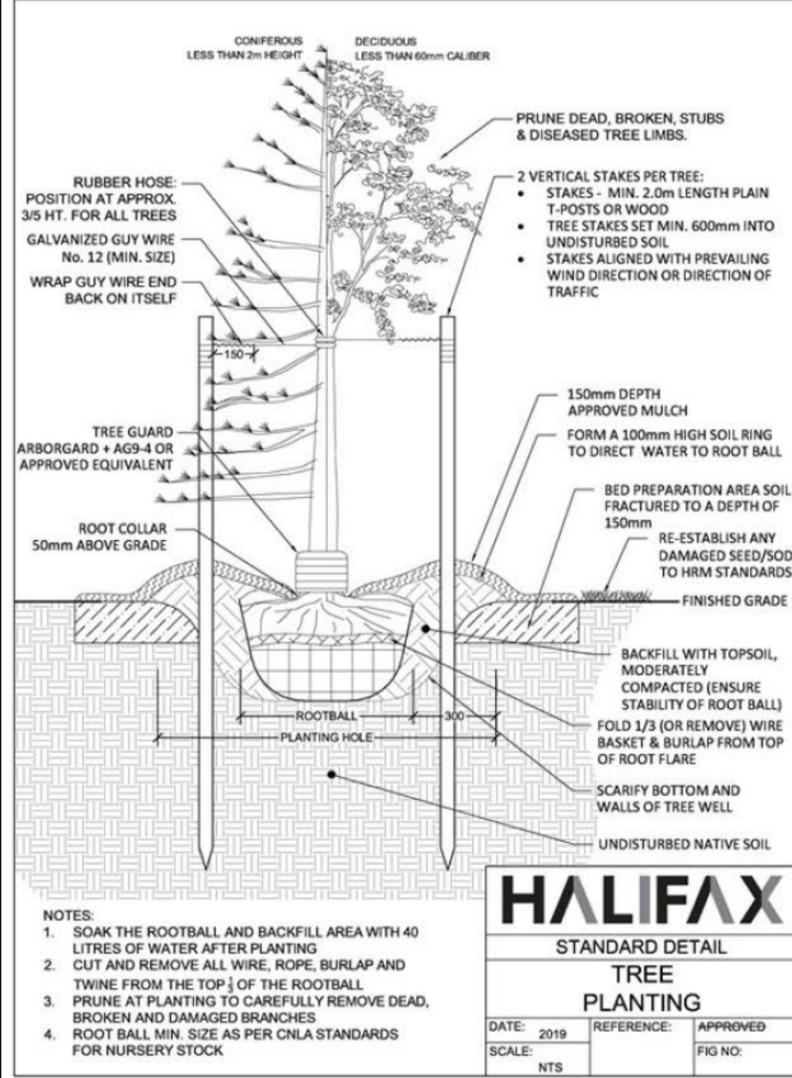
XeroFlor + Growing Media

The Lightweight Built-Up

The XF + GM built-up system is a suitable assembly for retrofitting projects - especially in southern climates which required more moisture during dry seasons. An extra two inches of growing media not only increases the water retention capacity, but also provides the nutrients and moisture necessary for a more varied selection of vegetation.

Weight: 17 lbs per sf with 2" of media

Add 6.6 lbs for every additional inch of media depth



**LEGEND**

Site Boundary

Adjacent Property Boundary

**SITE SUMMARY:**

PID: 00221762

Total Land Area: 910.5 m / 9,800 SF

Existing Zone: COR

**NOTES:**

Site subject to by law review and regulations.

**LANDSCAPE NOTES:**

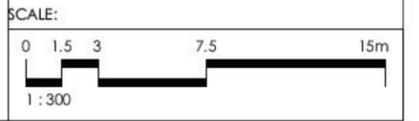
- 1) ALL LANDSCAPE WORK TO BE COMPLETED BY OCTOBER 30TH OF THE SAME YEAR.
- 2) PLANTING TO BE EXECUTED IN ACCORDANCE WITH CANADIAN NURSERY LANDSCAPE ASSOCIATION.
- 3) CONTRACTOR TO PROCURE ALL PLANTS & LANDSCAPING MATERIALS. STORE IN SECURE LOCATION, PROTECT FROM WIND & SUN DAMAGE WITH SUFFICIENT IRRIGATION PRIOR TO INSTALLATION.
- 4) CONTRACTORS TO WARRANTEE ALL PLANTS FOR 1 FULL YEAR AFTER INSTALLATION

LANDSCAPE ARCHITECTS:  
Jamie Clarke & Sue Sirrs

SUSAN E. SIRRS  
LANDSCAPE ARCHITECT

**SOURCES:**

Plan based on SDMM Existing Conditions Plan, CAD file: '34679 P#13 2780 0 392 Portland St 15Nov2019'



CLIENT

PROJECT

**CROWN TOWER**  
392 Portland St., Dartmouth NS

DRAWING

**PLANTING PLAN & DETAILS**

PROJECT NO. 19-086

DRAWN BY: KJW & JC

ISSUED FOR HRM REVIEW

DATE: January 11, 2021

DRAWING NUMBER

**L6**



**ZZap Consulting Inc.**

Zwicker Zareski architecture + planning  
1 Canal Street, Dartmouth NS B2Y 2W1

**SHADOW IMPACT STUDY:  
CROWN TOWER PROJECT  
392 Portland Street, Dartmouth, NS  
Application #: 23019**

Submitted to: Rachel Groat  
Planner I  
Land Development & Subdivision  
Halifax Regional Municipality

Submitted by: Justine Bowles, M. Arch, MRAIC, NSAA  
Principal  
ZZap Consulting Inc.

This shadow study consists of the written report together with attached Shadow Study Diagram dated December 3<sup>rd</sup>, 2020.

Site latitude and longitude used for this study are based on the latitude and longitude of the Regional Centre as follows:

Latitude: 44° 39' 50" N (44.6639° N)  
Longitude: 63° 35' 05" W (63.5847° W)

**Time Zone:** Atlantic Standard Time (UTC-03:00)

**Site Location:** The astronomic bearings of the site are shown on a plan of survey dated December 3, 2020, by SDMM Ltd.

**Base Mapping:**

The background mapping was obtained from Opendata\_HRM\_Building Outlines, Opendata\_HRM,\_HRM Parks, Provincial property mapping.

This shadow study analysis is based on an assumed flat ground floor plane at elevation 165.53' (50.45m). Building heights relate to this datum.

**Test Date and Times:**

The shadow test times between 8:00 am and 6:00 pm with 2-hour increments for September 21 been compiled into single drawing sheet to illustrate compliance with the shadow criteria.

**Shadow Criteria:**

Shadow impact from proposed developments should not cause fewer than 6 hours of sunlight, and no more than 4 continuous of shade, on any portion of an area of Maynard Lake Park.

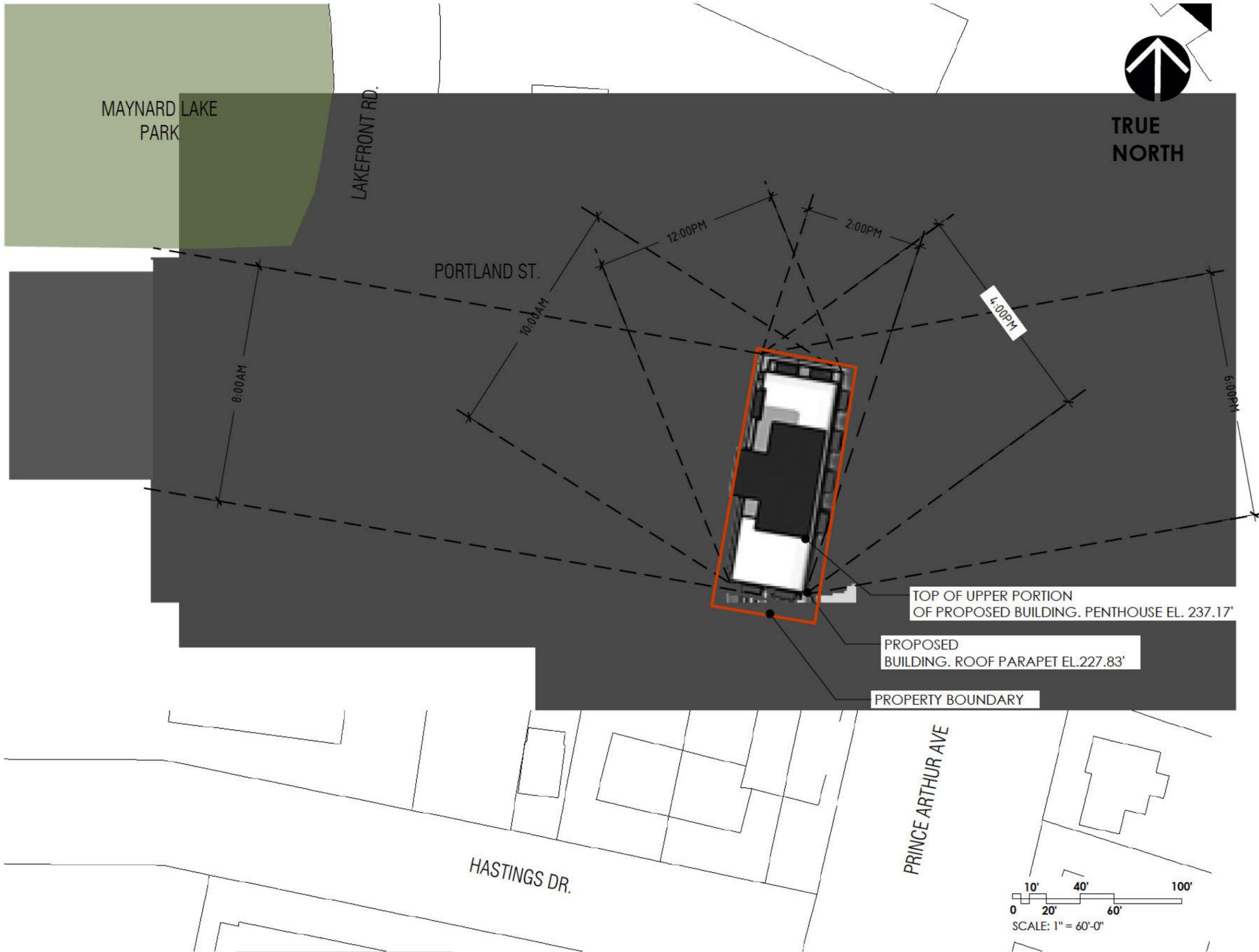
This criterion is met in such that shadows of proposed development do not reach the park in any study time.

**Justine Bowles, M. Arch, MRAIC, NSAA**



**Principal, Zzap Consulting Inc.**





**SOURCES:**

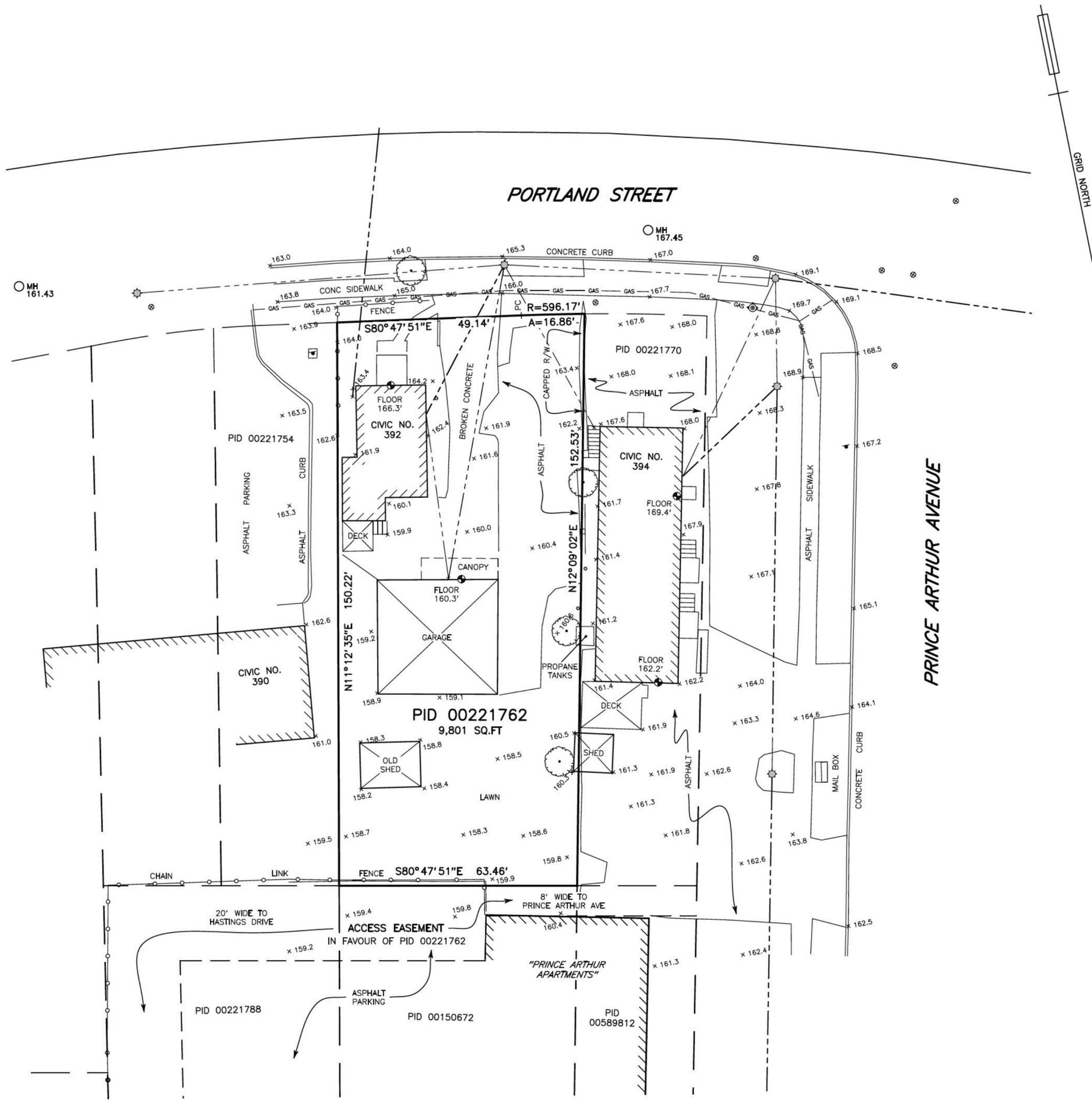
**SITE LOCATION:**  
 The astronomic bearings of the site are shown on a plan of survey dated December 3, 2020, by SDMM Ltd.

**BACKGROUND MAPPING:**  
 Opendata\_HRM\_Building Outlines  
 Opendata\_HRM\_HRM Parks  
 Provincial property mapping

**LATITUDE AND LONGITUDE:**  
 CP Table A2-1  
 Latitude 44.6639 N  
 Longitude 63.5847 W

**NOTE:**  
 SEE DRAWING A-07 FOR ROOF PLAN.





**LEGEND**

PERIMETER OF LANDS SURVEYED	×
SPOT ELEVATION	x123.4
MANHOLE	○ MH
CATCHBASIN	⊗
CULVERT INVERT	⊣
UTILITY POLE & ANCHOR	⊙
LIGHT STANDARD	⊙
FIRE HYDRANT	⊙
WATER VALVE	⊙
BOLLARD	⊙
SIGN POST	⊙
POINT OF CURVATURE	PC
ARC LENGTH, RADIUS OF CURVATURE	A, R
HALIFAX COUNTY LAND REGISTRATION OFFICE	HCLRO
PARCEL IDENTIFICATION NUMBER	PID
CONCRETE	CONC
RETAINING WALL	R/W
CHAINLINK FENCE	—○—○—
WOOD FENCE	—□—□—
OVERHEAD WIRES	—•—•—
GAS LINE	—GAS—GAS—
HARDWOOD TREE	⊙

**NOTES**

- ELEVATIONS ARE BASED ON CANADIAN GEODETIC VERTICAL DATUM 2013 AND RELATE TO NOVA SCOTIA COORDINATE MONUMENT NO. 205409; ELEVATION = 206.58' MEASURED.
- FIELD SURVEY WAS CARRIED OUT ON NOVEMBER 7, 2019.
- CAUTION: DIGITAL DATA BASED ON THIS SURVEY MUST BE USED IN CONJUNCTION WITH THIS PLAN. USERS ARE ADVISED TO CONFIRM THE ACCURACY OF DIGITAL INFORMATION NOT EXPRESSLY INDICATED HEREON.
- CAUTION: SERVICE INFORMATION SHOWN HEREON WAS COMPILED FROM FIELD SURVEY AND DATA OBTAINED FROM VARIOUS UTILITY OPERATORS. THE EXACT LOCATION OF UNDERGROUND SERVICES IS NOT CONFIRMED. CONTACT SHOULD BE MADE WITH ALL UTILITY OPERATORS RELATING TO THE CONFIRMATION OF THE SERVICES SHOWN HEREON AND FOR OTHER SERVICES WHICH MAY EXIST BEFORE CONSTRUCTION COMMENCES.



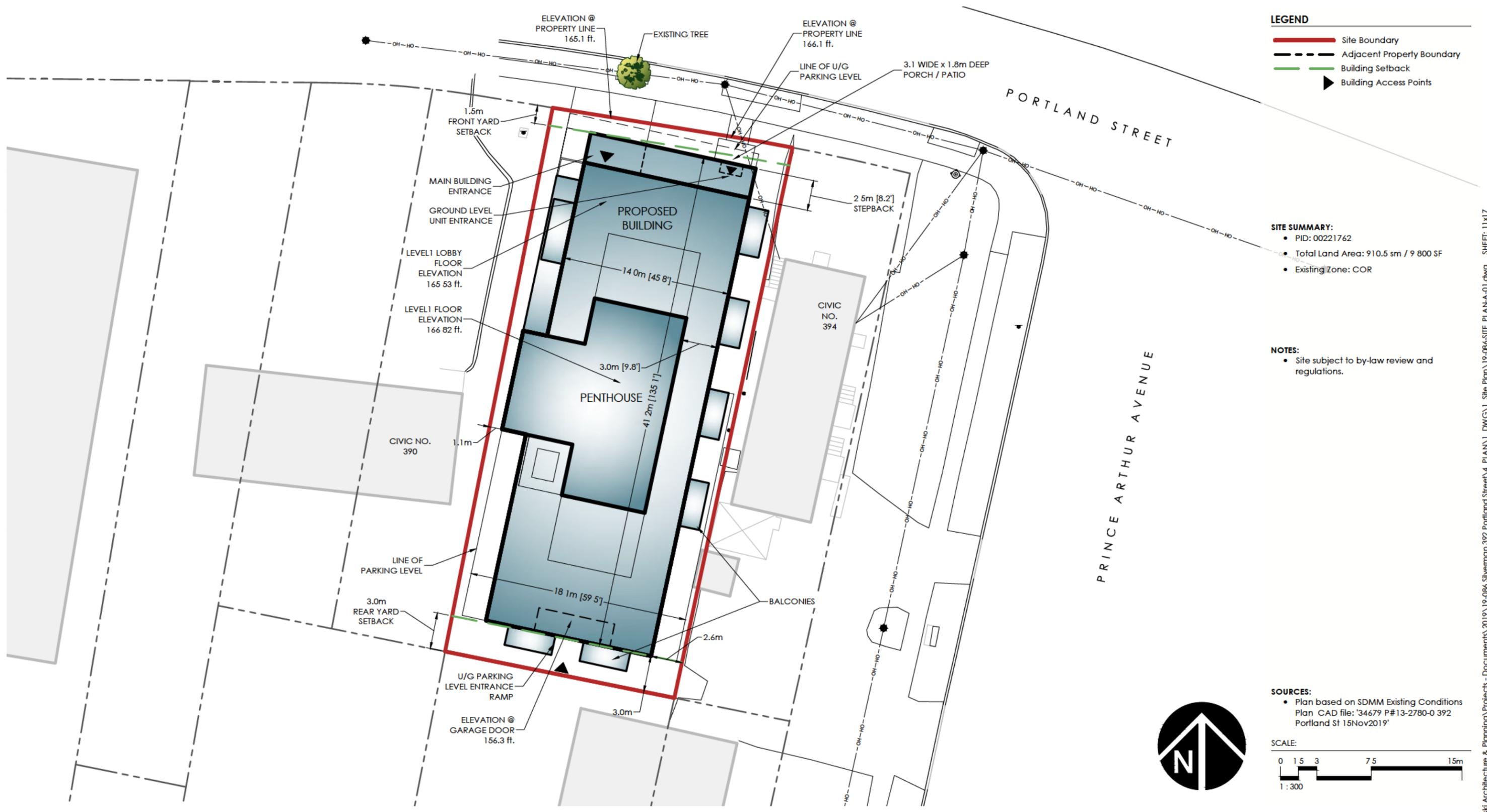
Servant, Dunbrack, McKenzie & MacDonald Ltd.  
NOVA SCOTIA LAND SURVEYORS & CONSULTING ENGINEERS  
36 OLAND CRESCENT  
BAYERS LAKE BUSINESS PARK  
HALIFAX, NS B3S 1C6  
PHONE: (902) 455-1537  
FAX: (902) 455-8479  
WEB: www.sdmm.ca

**PID 00221762**  
**392 PORTLAND STREET**  
**DARTMOUTH, HALIFAX COUNTY, NOVA SCOTIA**

**EXISTING CONDITIONS**

Date DECEMBER 3, 2020	Drawn M. GREENWELL	Project No. FILE No. 1-7-215 (35209)
Scale 1" = 20'	Checked By J. MCINTOSH	Plan No. 13-2780-2
Reference	Reviewed By	Drawing Name
Surveyed SDMM	Sheet 1 OF 1	



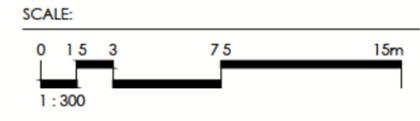


- LEGEND**
- Site Boundary
  - - - Adjacent Property Boundary
  - Building Setback
  - ▶ Building Access Points

- SITE SUMMARY:**
- PID: 00221762
  - Total Land Area: 910.5 sm / 9 800 SF
  - Existing Zone: COR

- NOTES:**
- Site subject to by-law review and regulations.

- SOURCES:**
- Plan based on SDMM Existing Conditions
  - Plan CAD file: '34679 P#13-2780-0 392 Portland St 15Nov2019'



**Zzap**  
Zwicker  
Zareski  
architecture +  
planning  
1 Canal Street Dartmouth NS B2Y 2W1 Zzap.ca

CLIENT

PROJECT

**CROWN TOWER**  
392 Portland St., Dartmouth NS

DRAWING

**SITE PLAN**

PROJECT NO. 19-086  
DRAWN BY: KJW  
ISSUED FOR REVIEW  
DATE: October 27, 2020

DRAWING NUMBER  
**A-01**

FILE: C:\Users\ken\zwicker\Projects - Documents\2019\19-086 Silverman 392 Portland Street\4\_PLAN\1\_DWG\1\_Site Plan\19-086-SITE\_PLAN-A-01.dwg SHEET: 11x17