

FOR SITE PLAN
PRE-APPLICATION

Tony Gossen Oxford Apartments

TG1901

25 August 2020

STUDIO WORKS

INTERNATIONAL INC.

ARCHITECTURE · PLANNING · INDUSTRIAL DESIGN · PROJECT MANAGEMENT

Suite 100 phone: 902. 429 . 3359
6156 Quinpool Road fax: 902. 429 . 1672
Halifax, Nova Scotia email: studio1@eastlink.ca
B3L 1A3 site: www.studio-works.ca

SHEET LIST

G000	Cover Sheet (Letter Size)
G001	Summary of Submission
G700-769	LUB Package A Bylaw Review
GA000	Cover Sheet (Arch D Size)
L100	Landscaping Demolition
L101	Landscaping At Grade
L102	Rooftop Landscaping
L103	Private Terrace Landscaping
L501	Class B Bicycle Parking
A101	Site Plan
A102	Level 0 Floorplan
A103	Level 0.5 Floorplan
A104	Level 1 Floorplan
A105	Level 1.5 Floorplan
A106	Level 2 Floorplan
A107	Level 3 Floorplan
A108	Level 4 Floorplan
A109	Level 5 Floorplan
A110	Level 6 Floorplan
A111	Roof Plan
A112	Penthouse Roof Plan
A201	West Elevation
A202	South Elevation
A203	East Elevation
A204	North Elevation
A501	Class A Bicycle Room
A601	Cladding Diagram and Schedule
A602	Exterior Mechanical and Electrical Features
A901	Streetline Renderings

SHEET NUMBER
GA000
(sheet 80 of 105)

SHEET NOTES (L100)	
NUMBER	TEXT
1	Demolish building.
2	Protect existing tree with hoarding.
3	Within the property, remove all sod and vegetation except for the two trees to remain.
4	Remove existing driveway
5	Protect catch basin from sediment during construction.
6	Remove sidewalk as necessary for construction.
7	Remove sod boulevard as necessary for construction.
8	Retain the existing curb where possible. Remove it only when ready to reinstate with a new curb.

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NOT FOR CONSTRUCTION

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- READ THE DRAWINGS WITH ALL ASSOCIATED SPECIFICATIONS AND DRAWINGS BY OTHER CONSULTANTS, SUCH AS ELECTRICAL, MECHANICAL, STRUCTURAL.

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REVISIONS:

NO.	DESCRIPTION	DATE
1	FOR SITE PLAN APPROVAL (PRE APPLICATION)	19 MAY 2020
2	FOR SITE PLAN APPROVAL (PRE APPLICATION)	25 AUGUST 2020

PROJECT NAME:
Tony Gossen Oxford Apartments

SHEET NUMBER:
L100
(sheet 81 of 105)

SHEET NAME:
Landscaping Demolition

PROJECT NUMBER: **TG1901** DATE: **25 August 2020**

CHECKED BY: **RS** DRAWN BY: **CF**

SCALE: **1/8" = 1'-0"**



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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

L101

(sheet 82 of 105)

SHEET NAME:

Landscaping At Grade

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

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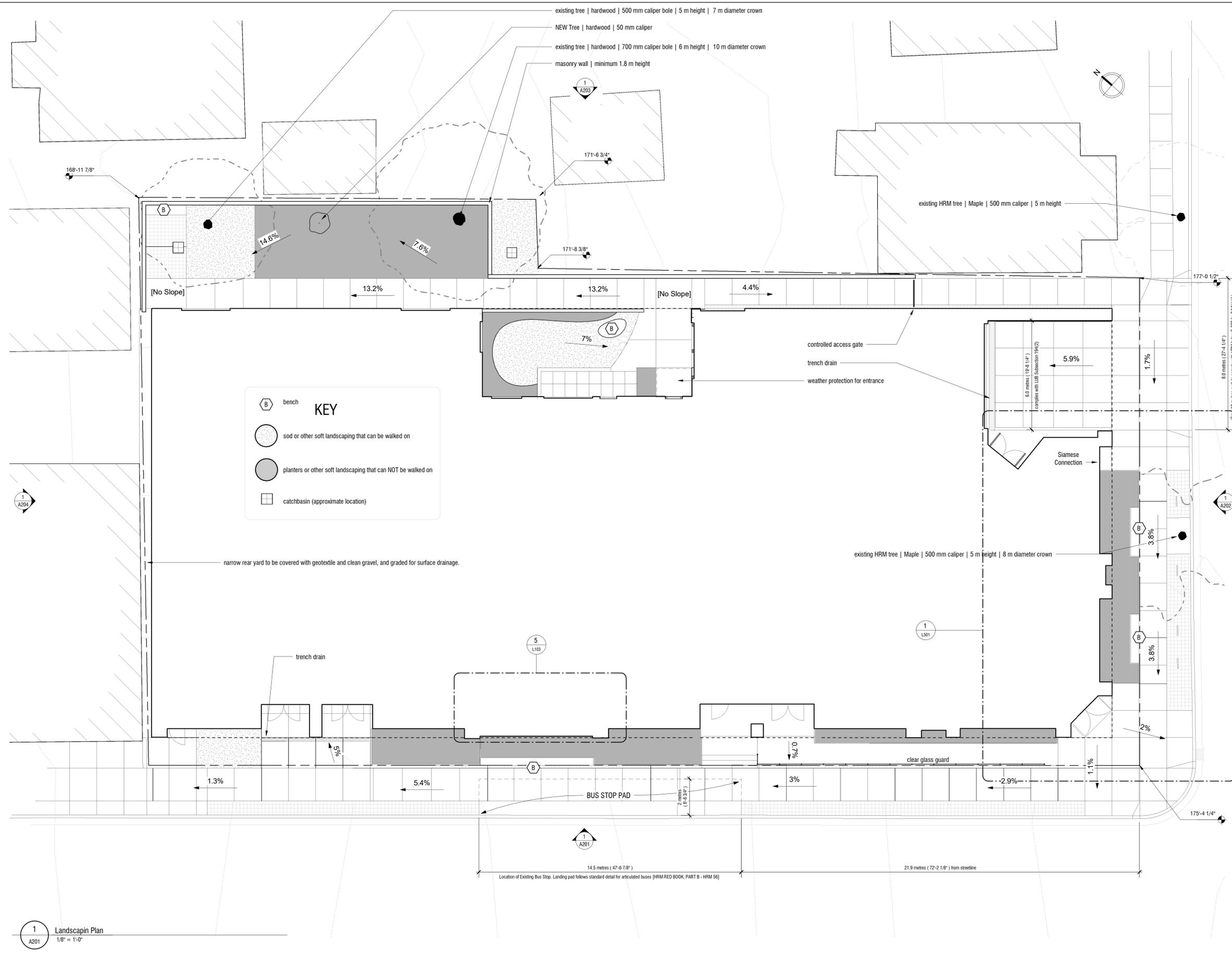
RS

DRAWN BY:

CF

SCALE:

1/8" = 1'-0"



KEY

- bench
- sod or other soft landscaping that can be walked on
- planters or other soft landscaping that can NOT be walked on
- catchbasin (approximate location)

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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

L102

(sheet 83 of 105)

SHEET NAME:

Rooftop Landscaping

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

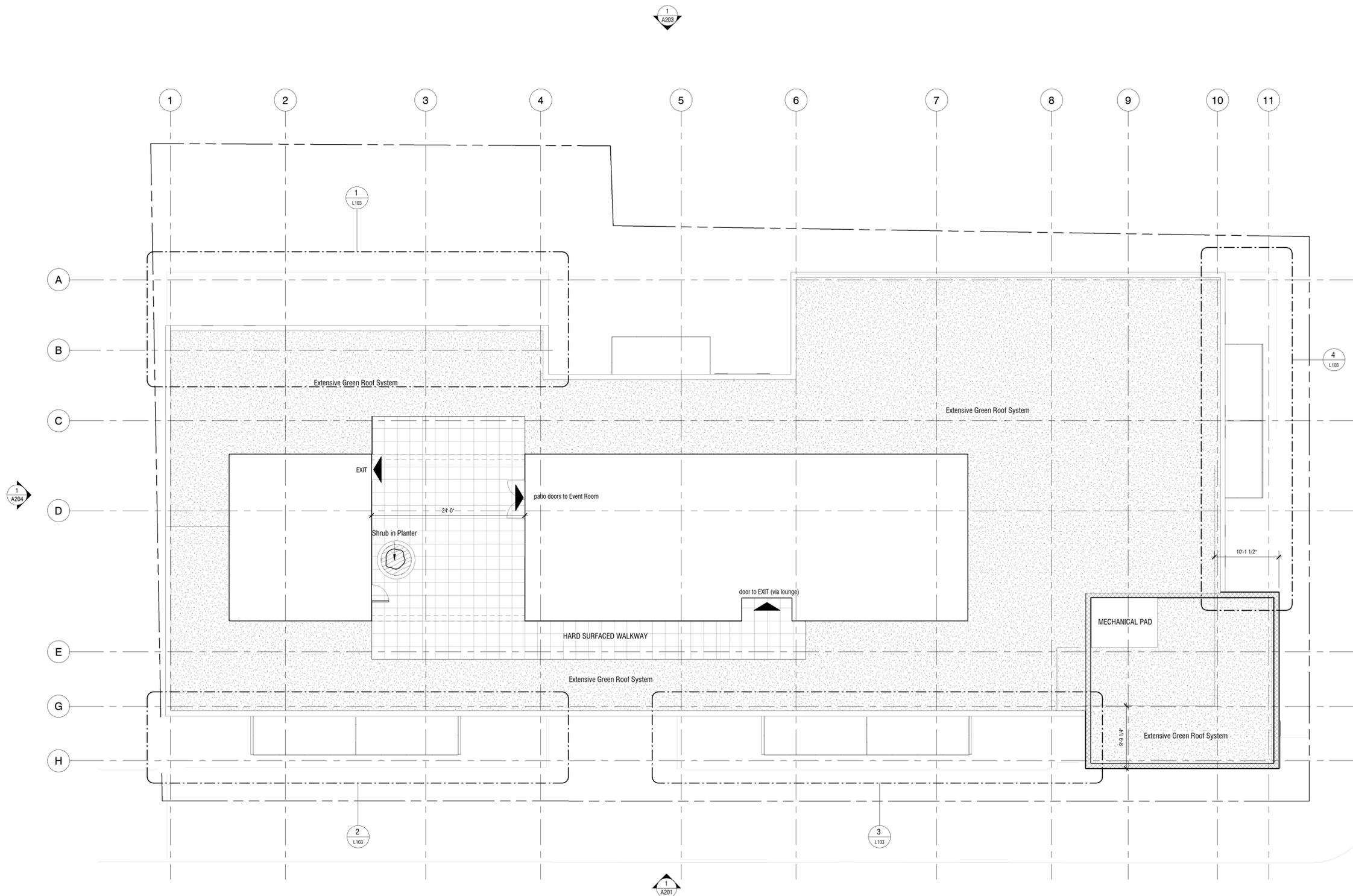
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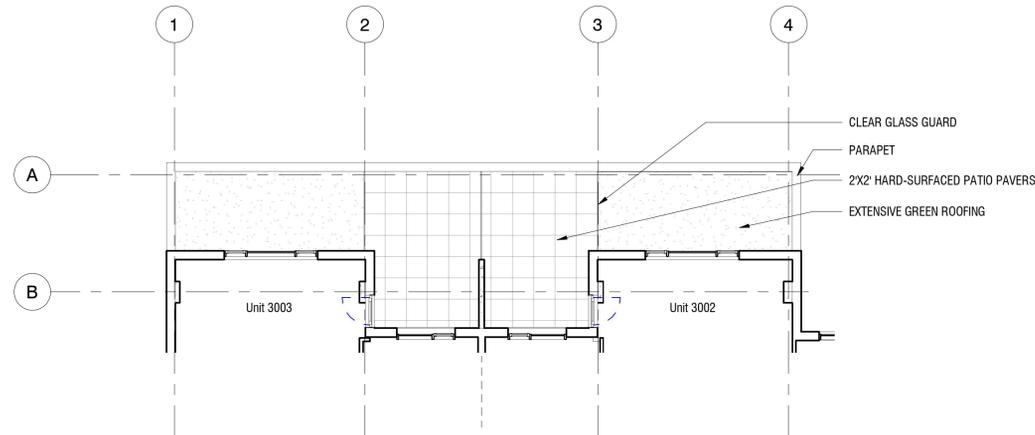
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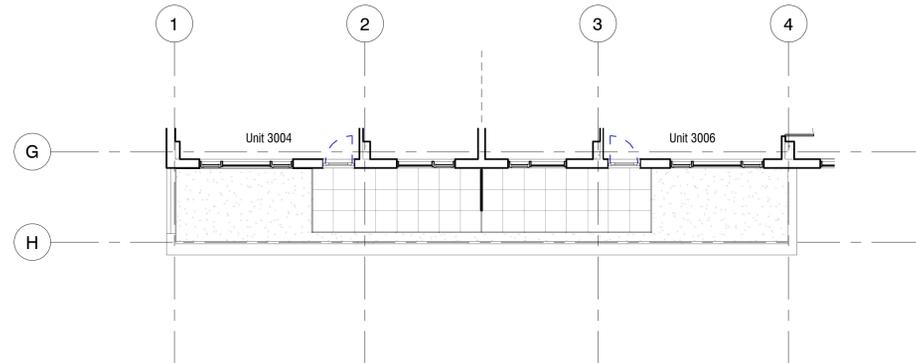
1/8" = 1'-0"



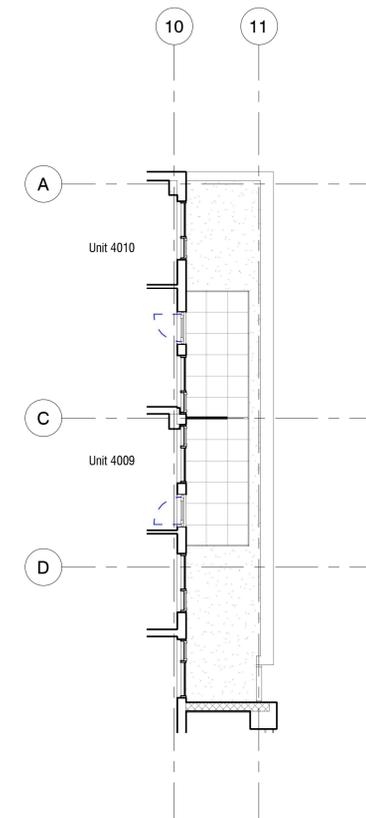
1 Rooftop Landscaping Plan
1/8" = 1'-0"



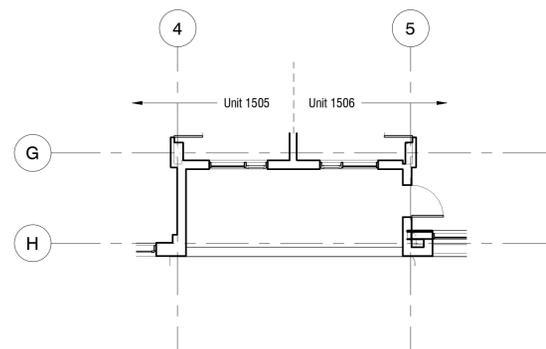
1
L102
Landscaping Plan - Terrace for Units 3002/3
1/8" = 1'-0"



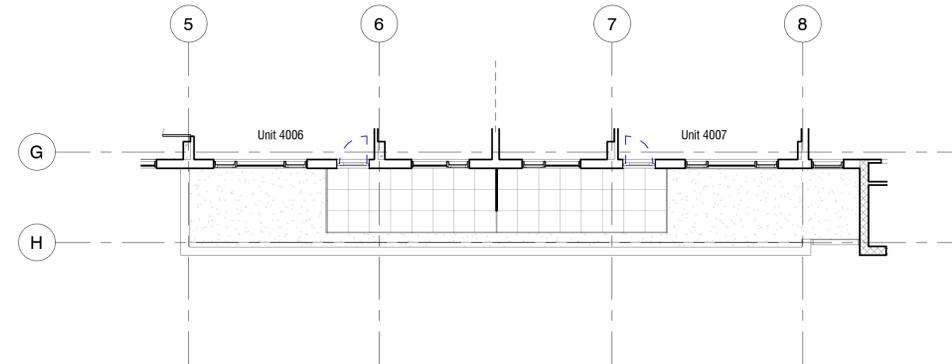
2
L102
Landscaping Plan - Terrace for Units 3004/5
1/8" = 1'-0"



4
L102
Landscaping Plan - Terrace for Unit 4010
1/8" = 1'-0"



5
L101
Landscaping Plan - Terrace for Unit 1506
1/8" = 1'-0"



3
L102
Landscaping Plan - Terrace for Units 4006/7
1/8" = 1'-0"

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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

L103

(sheet 84 of 105)

SHEET NAME:

Private Terrace Landscaping

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

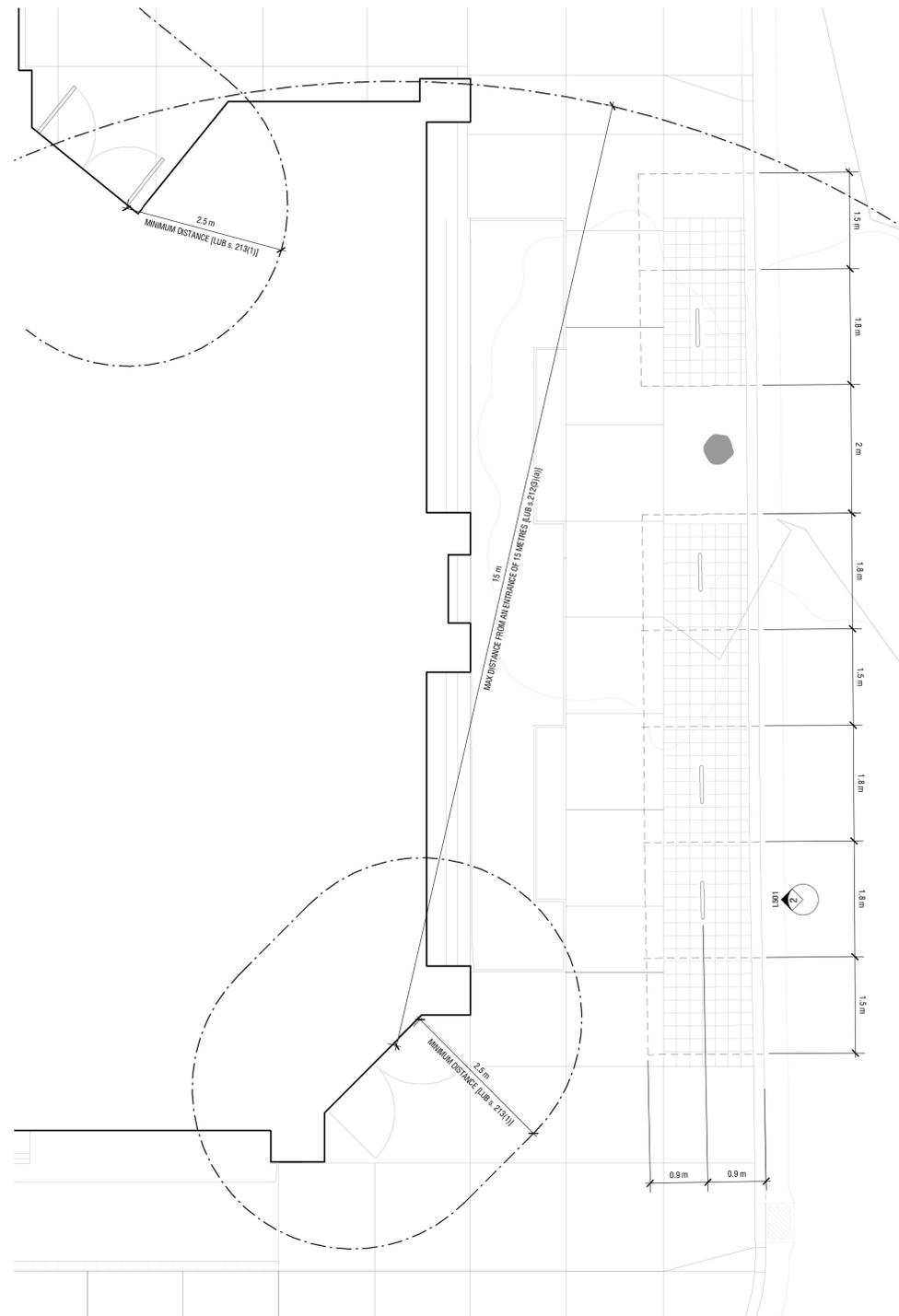
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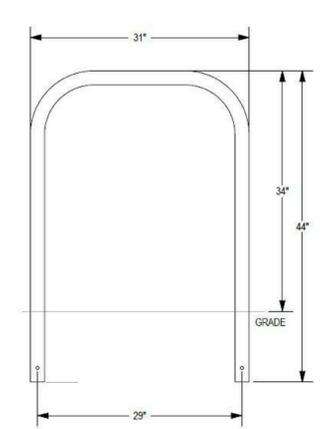
CF

SCALE:

1/8" = 1'-0"



1 CLASS B BICYCLE PARKING
L101
1/4" = 1'-0"



2 INVERTED U RACK - MANUFACTURER'S SKETCH
L501
1" = 1'-0"

SCHEDULE A: EXTERIOR BICYCLE RACKS

VIEW IN PLAN			
MODEL	MADRAX UX200	s.192(2)(h)	LUB REFERENCES
MATERIAL	STAINLESS STEEL	s. 208(2)	
MOUNT TYPE	BOLTED TO SCREW PILES BELOW GRADE	s. 208(2)	
POINTS OF CONTACT (MIN 2)	TWO	s. 208(5)	
LOCKABILITY	USING PADLOCK	s. 208(5)	
NUMBER REQUIRED	4	s. 210	
PROVIDED	4		
RACK TYPE	INVERTED U	s. 211(2)	
EXAMPLE PHOTO			

NOTES FOR BICYCLE PARKING

- BICYCLE PARKING TO BE ILLUMINATED BY HRM STREETLIGHTS AS WELL AS INDIRECT ILLUMINATION FROM THE PROPOSED BUILDING
- BOULEVARD PAVERS TO FOLLOW REDBOOK DETAIL - HRM-63 "FLOATING SIDEWALK"
- RACKS TO BE BOLTED TO SREW PILES AT LEAST 8" BELOW FINISHED GRADE TO PREVENT BUCKLING OF PAVERS
- SCREW PILES TO EXTEND BELOW THE FROST LINE

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PROJECT NAME:
Tony Gossen Oxford Apartments

SHEET NUMBER:
L501
(sheet 85 of 105)

SHEET NAME:
Class B Bicycle Parking

PROJECT NUMBER: **TG1901** DATE: **25 August 2020**

CHECKED BY: **RS** DRAWN BY: **CF**

SCALE: **As indicated**

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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A101

(sheet 86 of 105)

SHEET NAME:

Site Plan

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

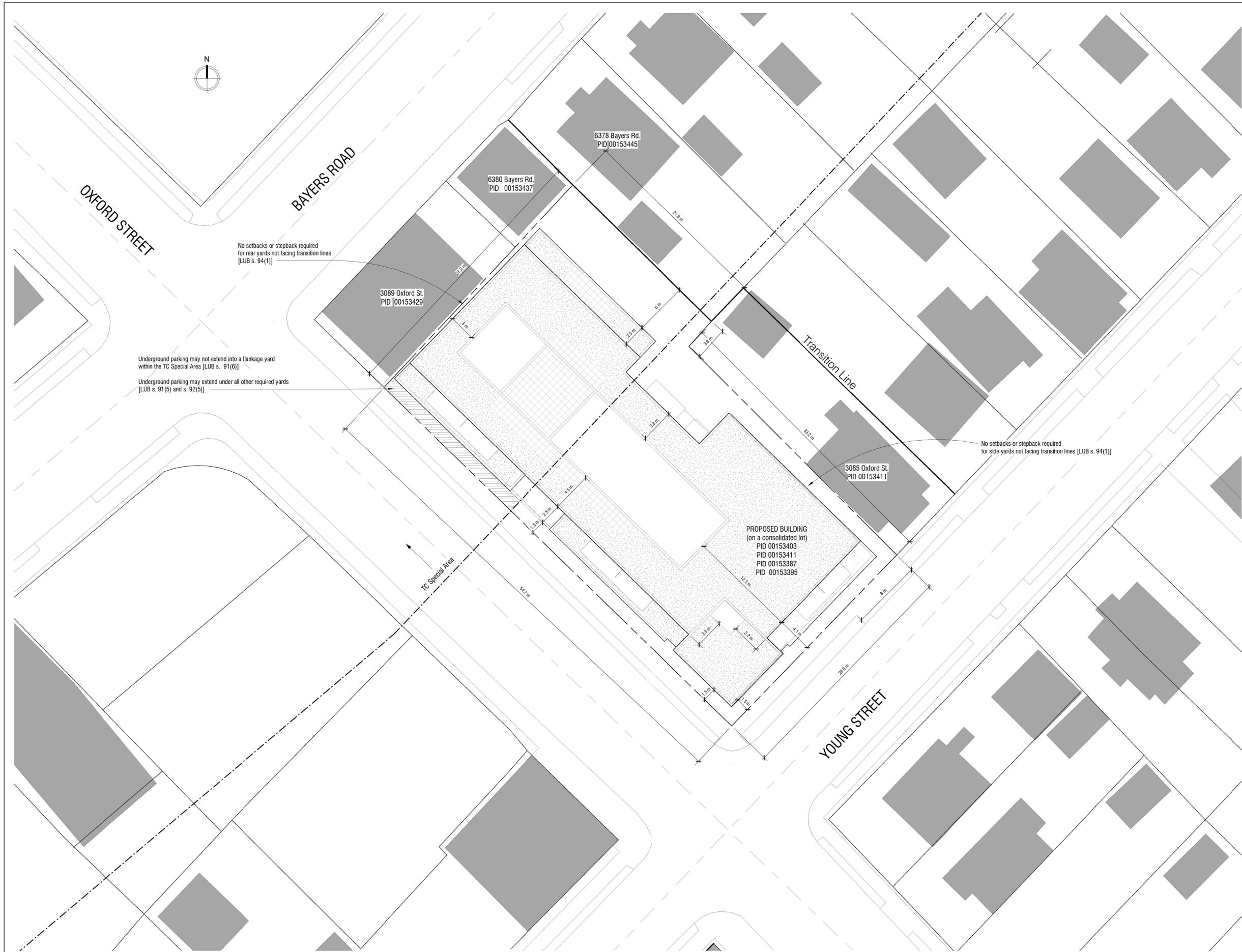
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SCALE:

1/16" = 1'-0"



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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A102

(sheet 87 of 105)

SHEET NAME:

Level 0 Floorplan

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

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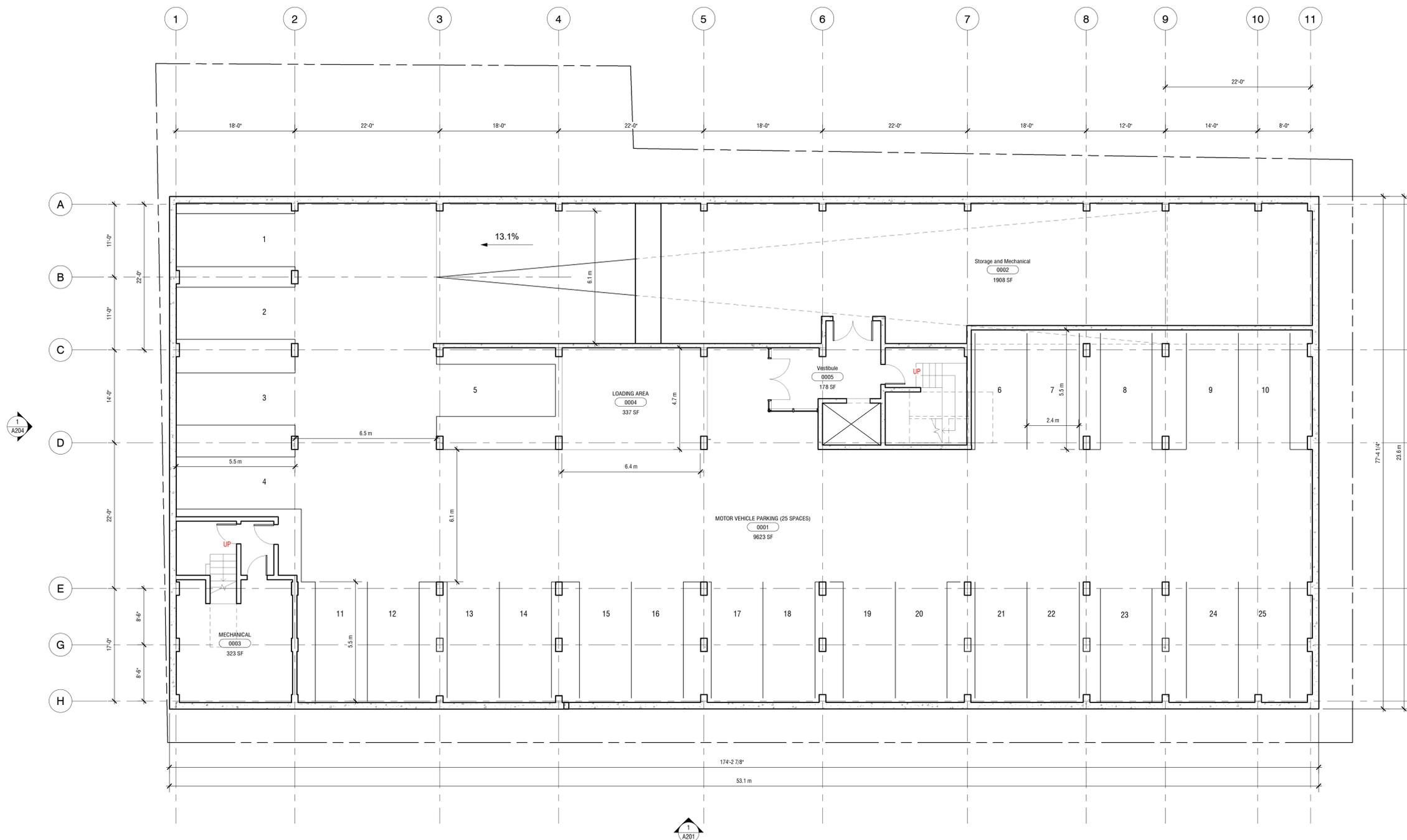
RS

DRAWN BY:

CF

SCALE:

1/8" = 1'-0"



1 Level 0 Floorplan (Parking)
1/8" = 1'-0"



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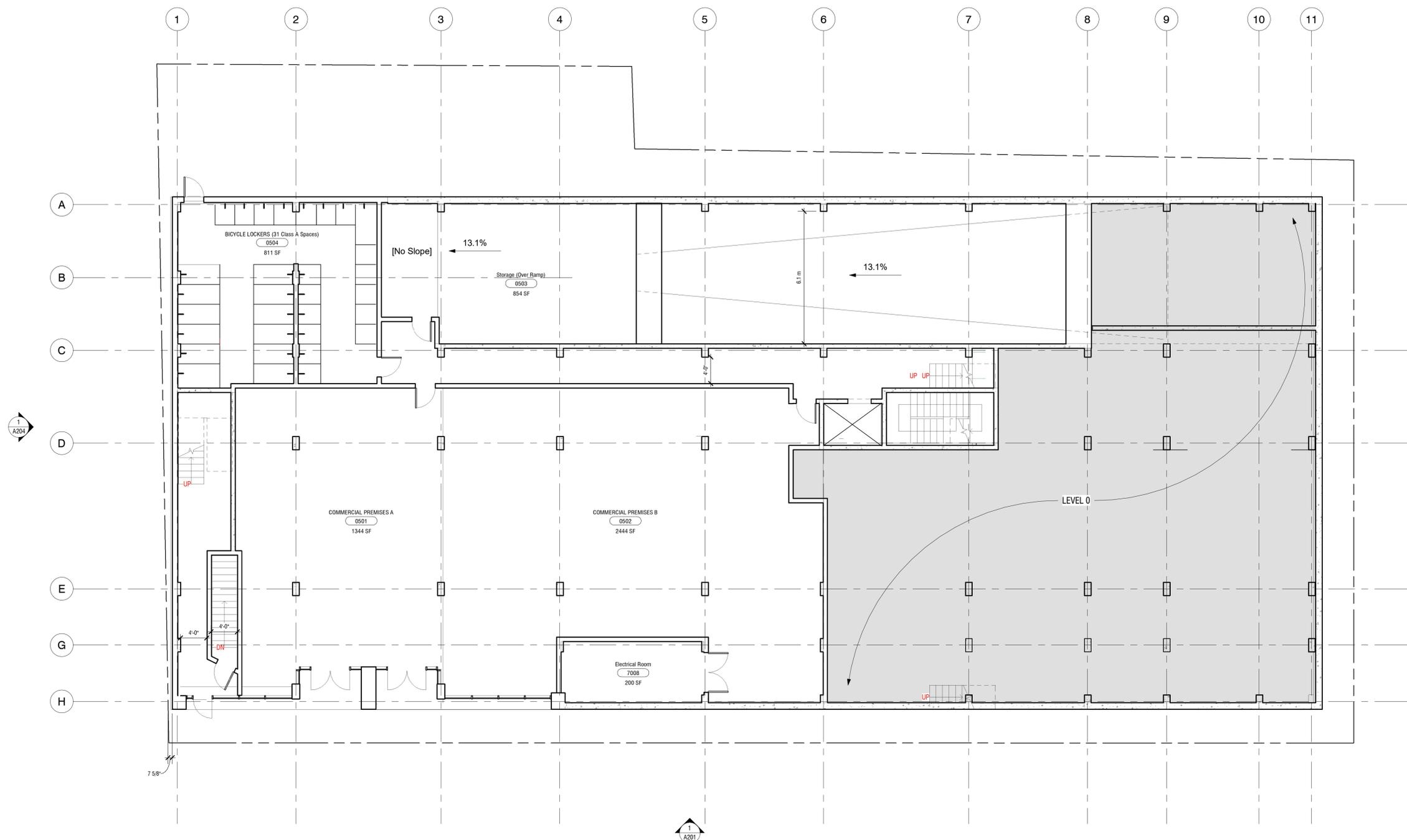
SHEET NUMBER:
A103
(sheet 88 of 105)

SHEET NAME:
Level 0.5 Floorplan

PROJECT NUMBER: **TG1901** DATE: **25 August 2020**

CHECKED BY: **RS** DRAWN BY: **CF**

SCALE: **1/8" = 1'-0"**



1 Level 0.5 Floorplan
A201 1/8" = 1'-0"



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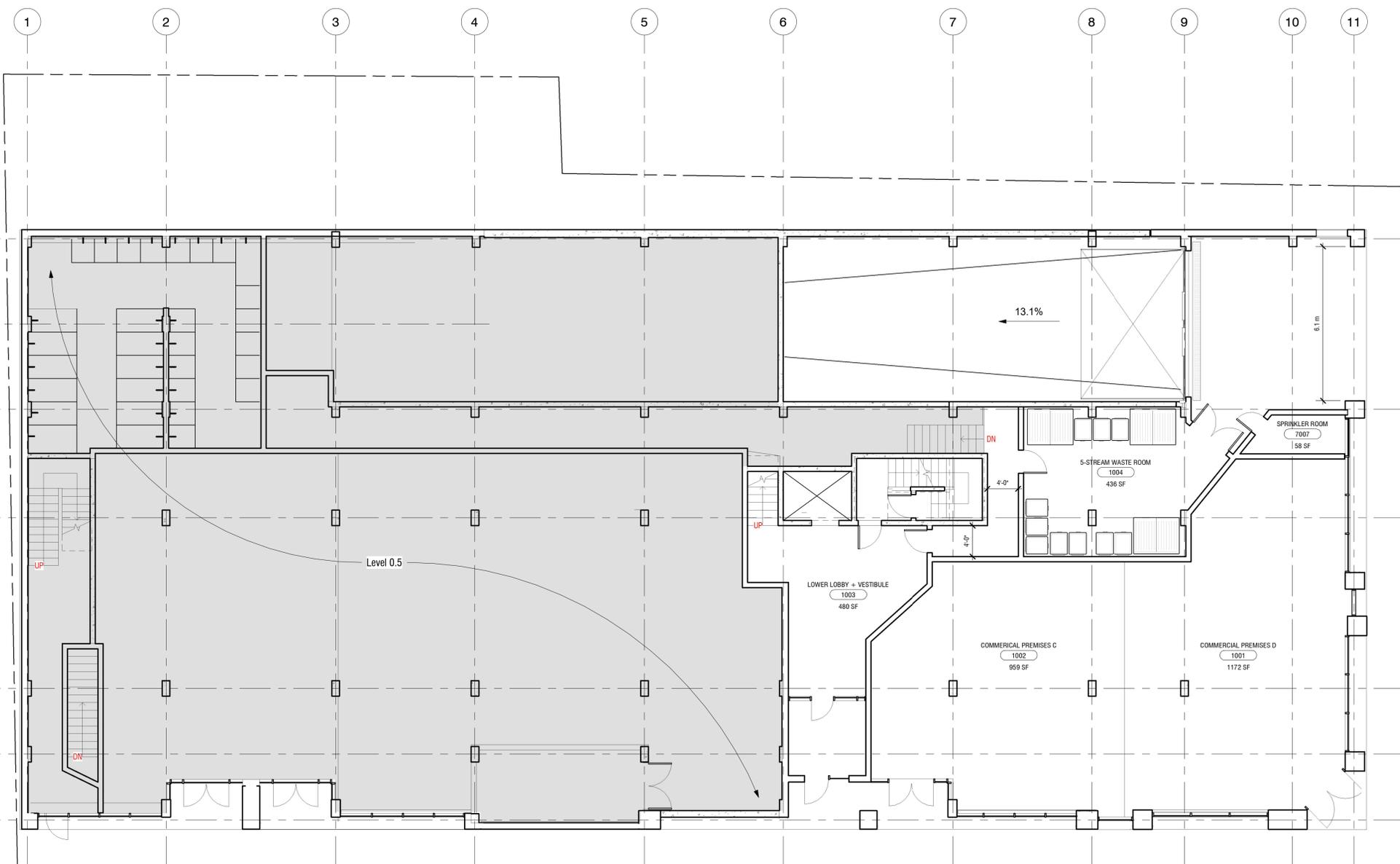
SHEET NUMBER:
A104
(sheet 89 of 105)

SHEET NAME:
Level 1 Floorplan

PROJECT NUMBER: **TG1901** DATE: **25 August 2020**

CHECKED BY: **RS** DRAWN BY: **CF**

SCALE: **1/8" = 1'-0"**



1 2 3 4 5 6 7 8 9 10 11

A B C D E G H

1 Level 1 Floorplan
A201 1/8" = 1'-0"



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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A105

(sheet 90 of 105)

SHEET NAME:

Level 1.5 Floorplan

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

RS

DRAWN BY:

CF

SCALE:

1/8" = 1'-0"



1 Level 1.5 Floorplan
A201 1/8" = 1'-0"



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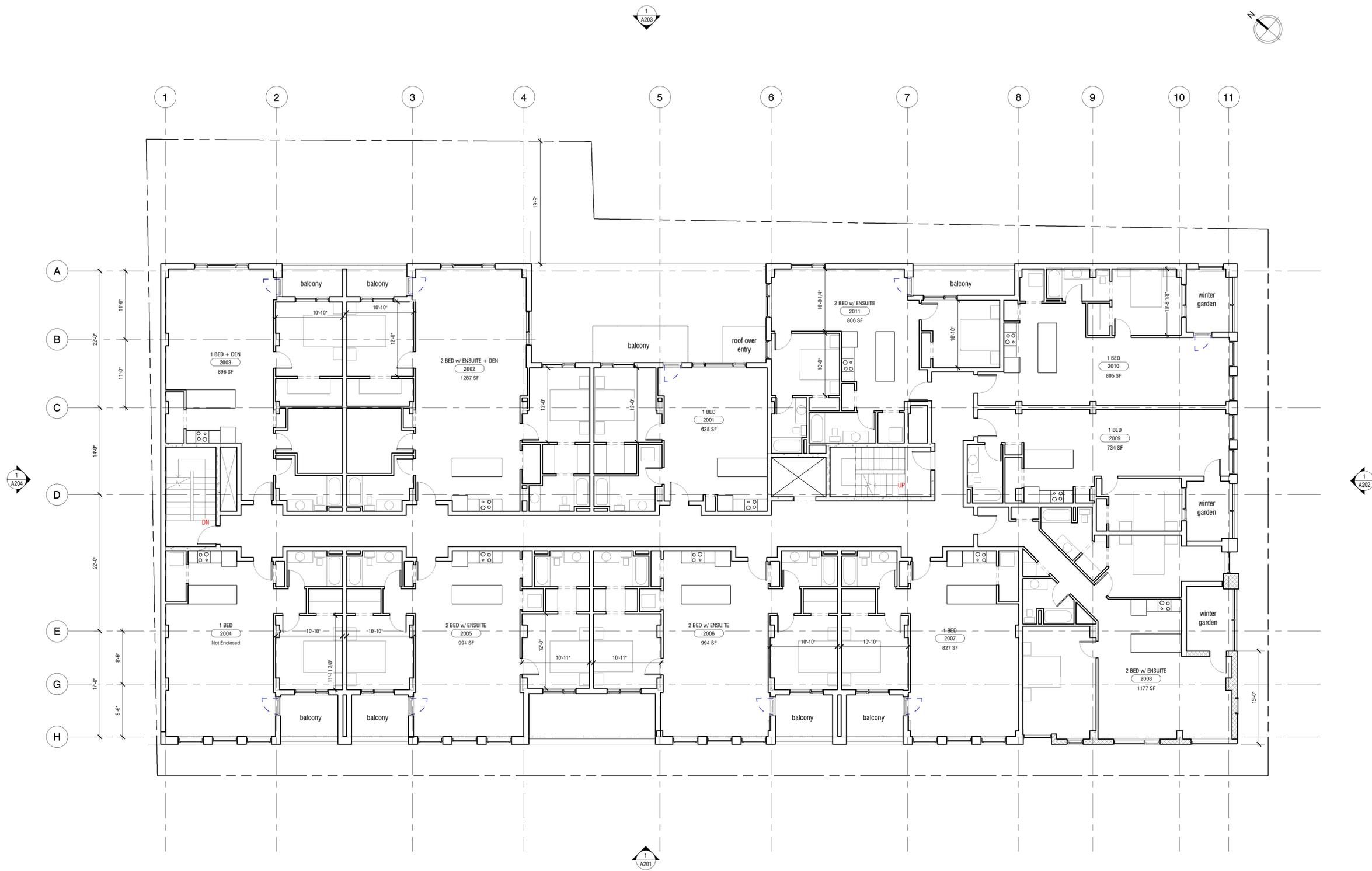
SHEET NUMBER:
A106
(sheet 91 of 105)

SHEET NAME:
Level 2 Floorplan

PROJECT NUMBER: **TG1901** DATE: **25 August 2020**

CHECKED BY: **RS** DRAWN BY: **CF**

SCALE: **1/8" = 1'-0"**



1 Level 2 Floorplan
A201 1/8" = 1'-0"



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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A107

(sheet 92 of 105)

SHEET NAME:

Level 3 Floorplan

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

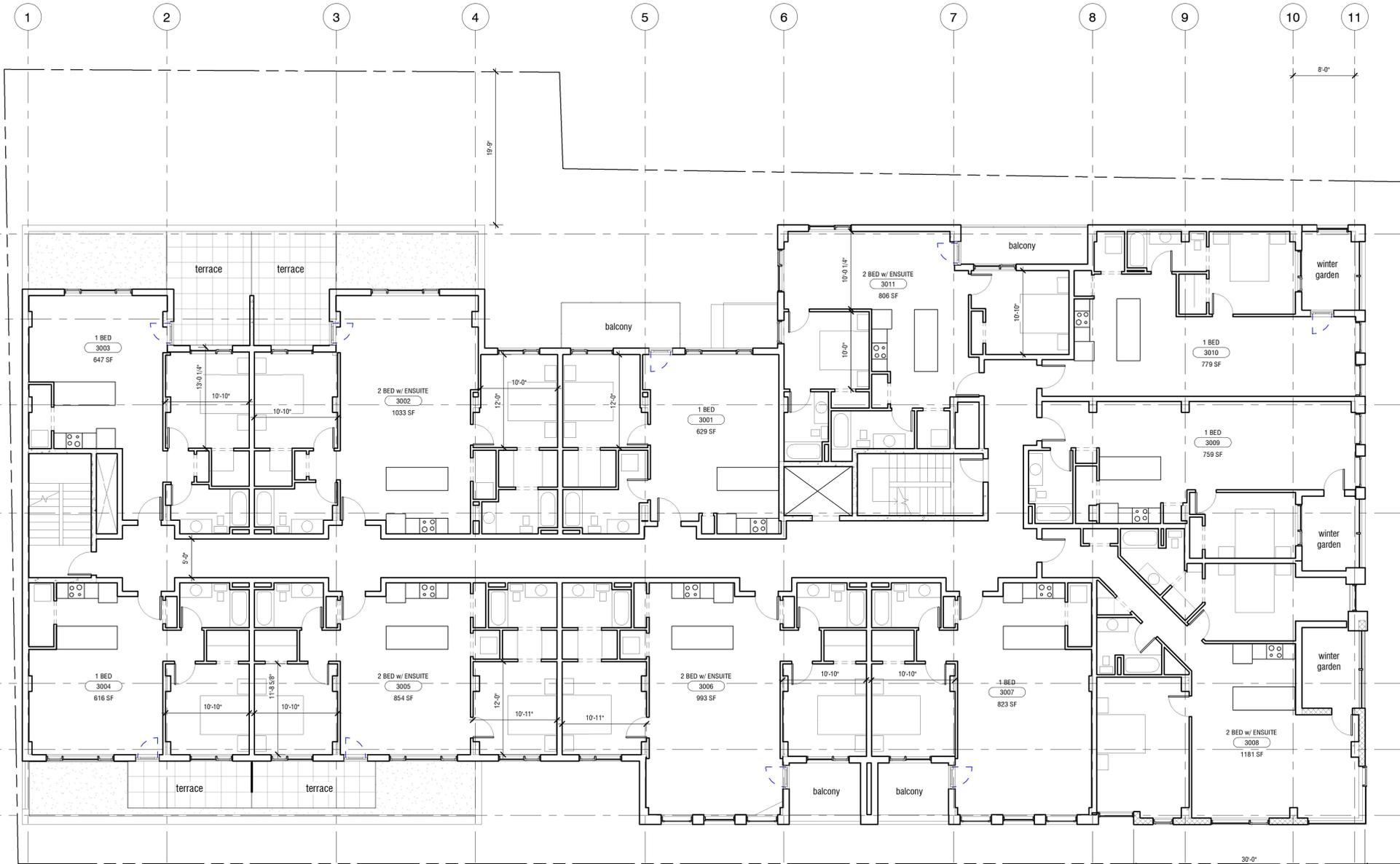
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2	FOR SITE PLAN APPROVAL (PRE APPLICATION)	25 AUGUST 2020

PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A108

(sheet 93 of 105)

SHEET NAME:

Level 4 Floorplan

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

RS

DRAWN BY:

CF

SCALE:

1/8" = 1'-0"



1 Level 4 Floorplan
A201 1/8" = 1'-0"



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PROJECT NAME:
Tony Gossen Oxford Apartments

SHEET NUMBER:
A109
(sheet 94 of 105)

SHEET NAME:
Level 5 Floorplan

PROJECT NUMBER: **TG1901** DATE: **25 August 2020**

CHECKED BY: **RS** DRAWN BY: **CF**

SCALE: **1/8" = 1'-0"**



1 Level 5 Floorplan
A201 1/8" = 1'-0"



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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A110

(sheet 95 of 105)

SHEET NAME:

Level 6 Floorplan

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

RS

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SCALE:

1/8" = 1'-0"



1 Level 6 Floorplan
1/8" = 1'-0"



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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A111

(sheet 96 of 105)

SHEET NAME:

Roof Plan

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

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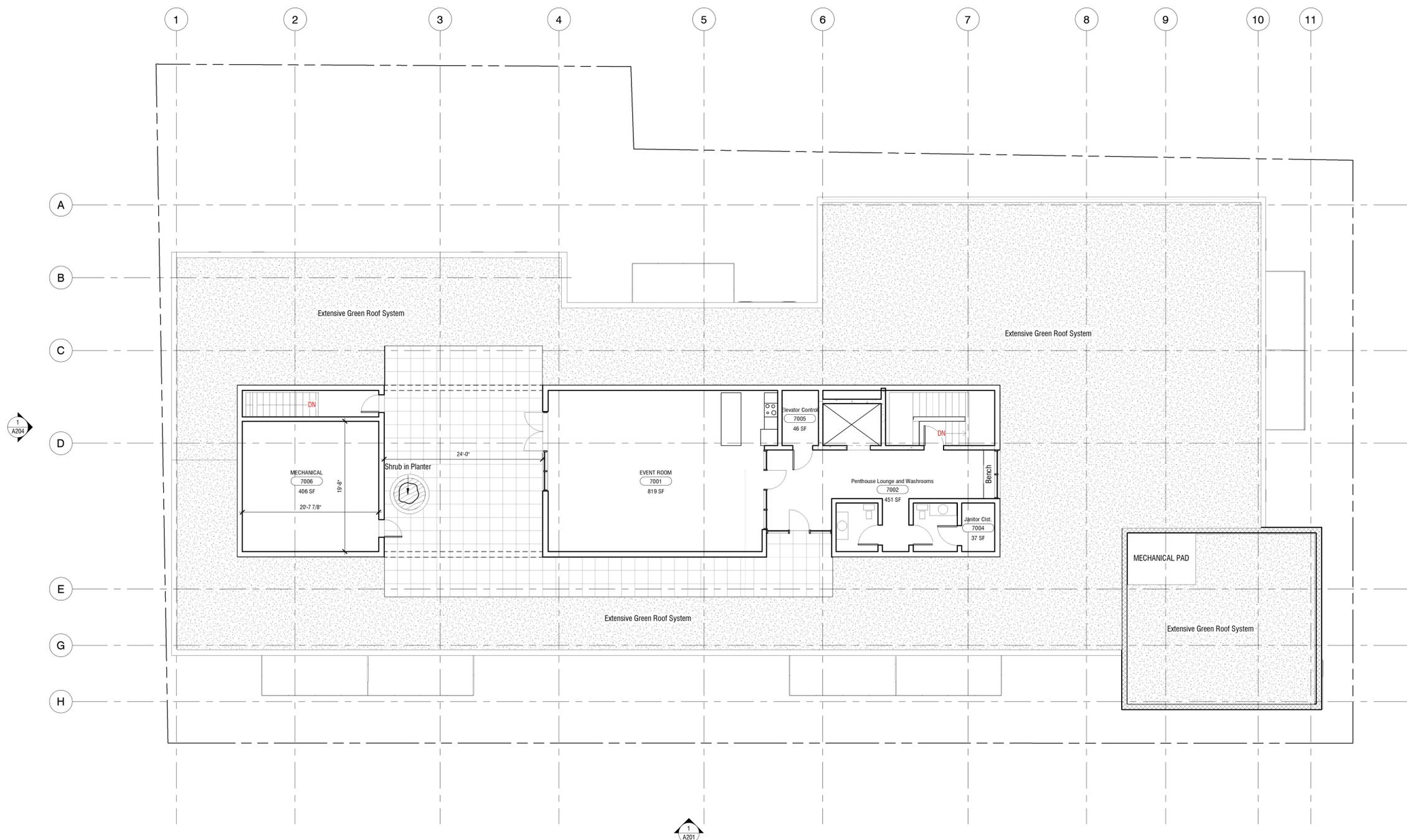
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DRAWN BY:

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SCALE:

1/8" = 1'-0"



1 Roof Plan
A201
1/8" = 1'-0"



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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A112
(sheet 97 of 105)

SHEET NAME:

Penthouse Roof Plan

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

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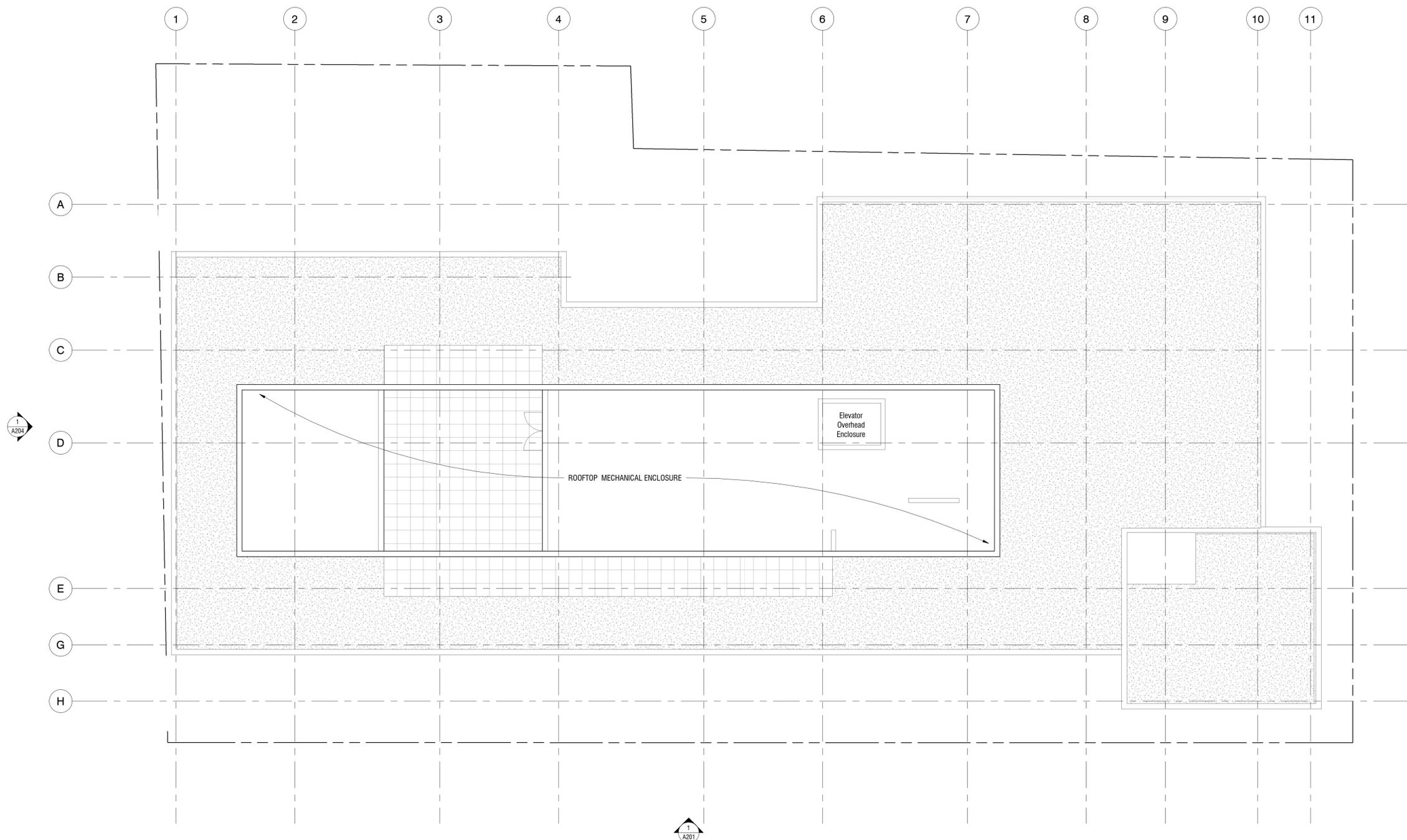
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SCALE:

1/8" = 1'-0"



1 Penthouse Roof Plan
1/8" = 1'-0"

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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A201

(sheet 98 of 105)

SHEET NAME:

West Elevation

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

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SCALE:

1/8" = 1'-0"



NOTE:
This drawing extends 15m through the neighbouring lot as a requirement of the site plan approval process. [LUB s. 17(9)]
Upon site plan approval, subsequent revisions will centre the elevation on the sheet for greater clarity.

1
A102
02 WEST
1/8" = 1'-0"

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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A202

(sheet 99 of 105)

SHEET NAME:

South Elevation

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

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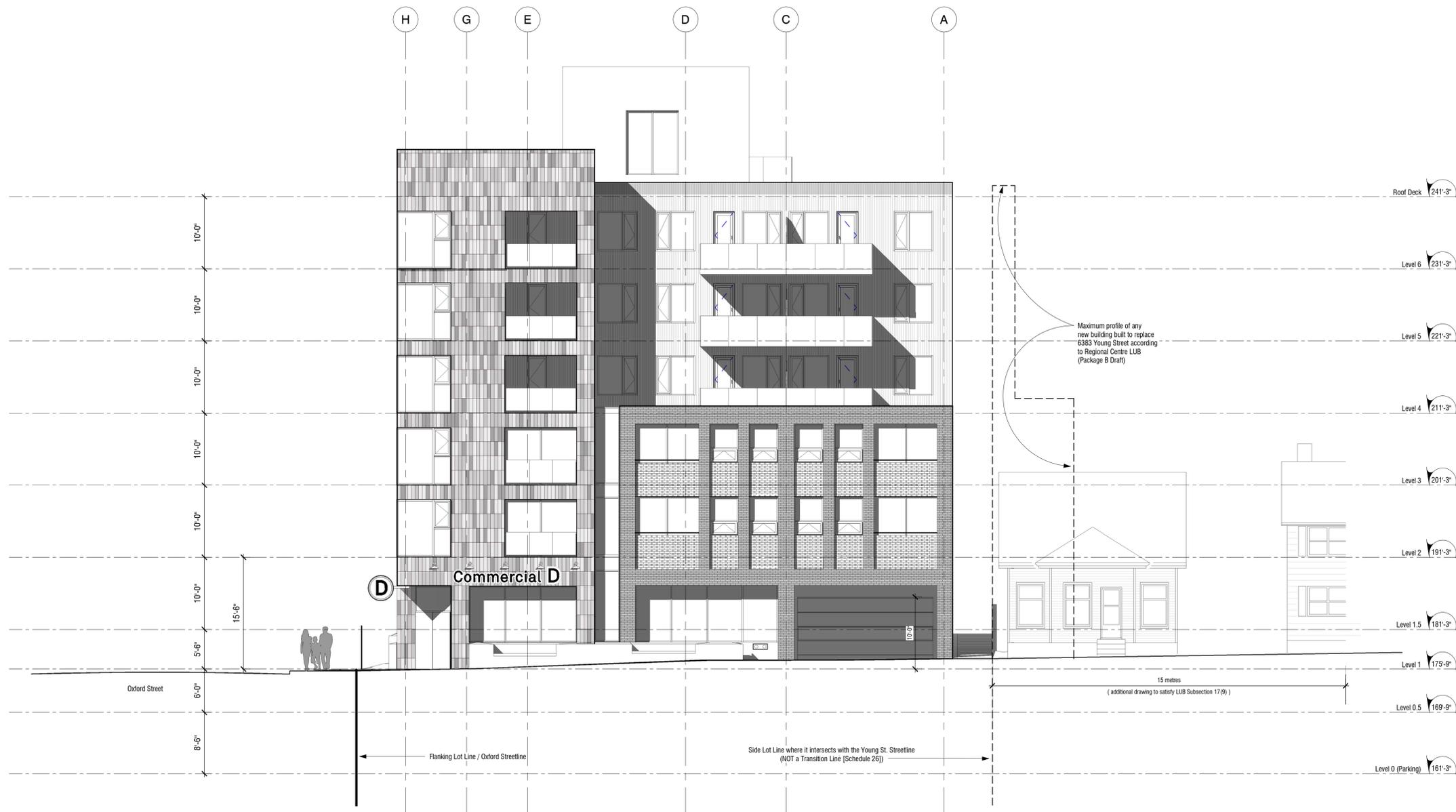
RS

DRAWN BY:

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SCALE:

1/8" = 1'-0"



1
A102
01 SOUTH
1/8" = 1'-0"

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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A203

(sheet 100 of 105)

SHEET NAME:

East Elevation

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

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CF

SCALE:

1/8" = 1'-0"



NOTE:
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PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A204

(sheet 101 of 105)

SHEET NAME:

North Elevation

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

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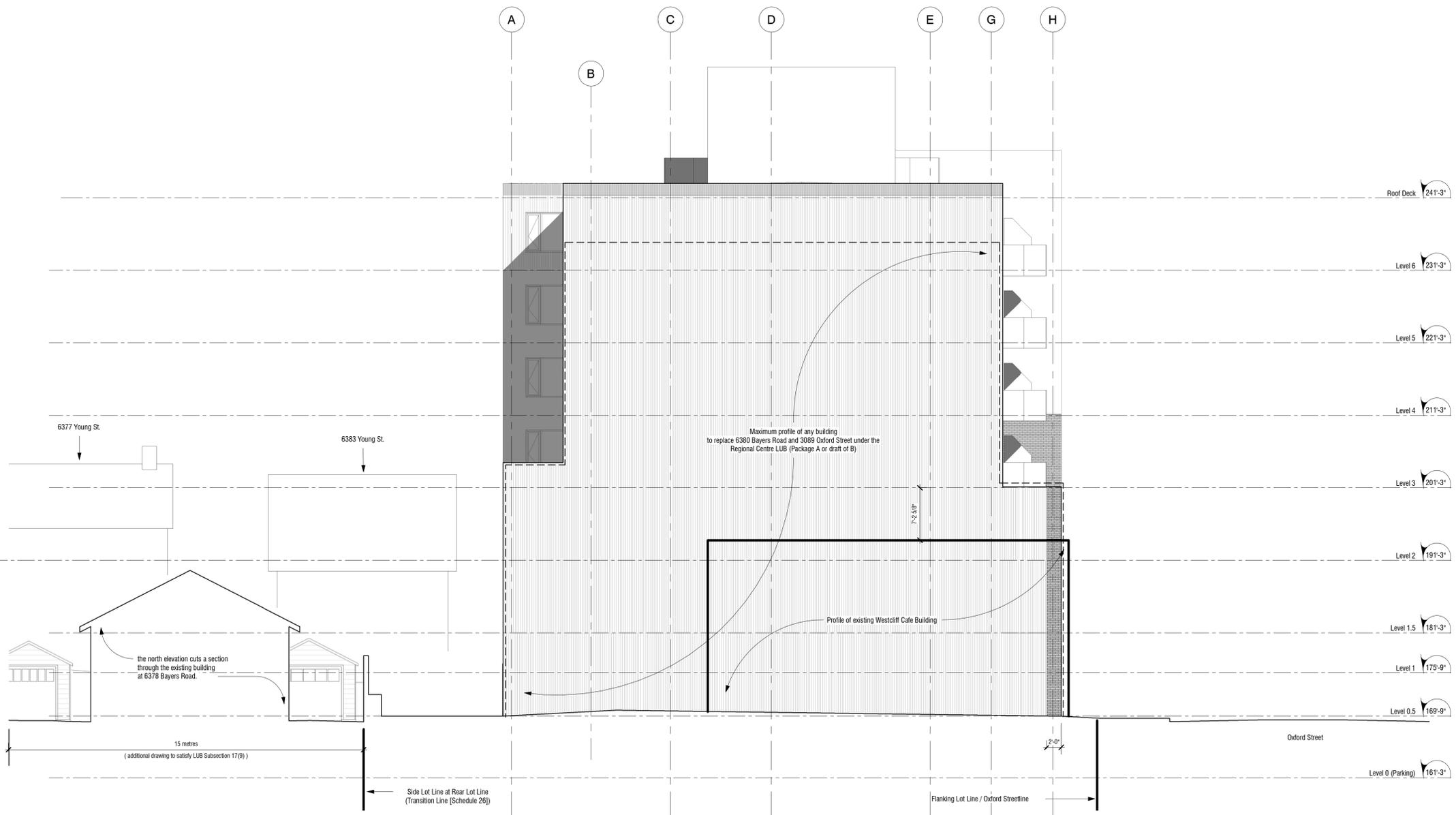
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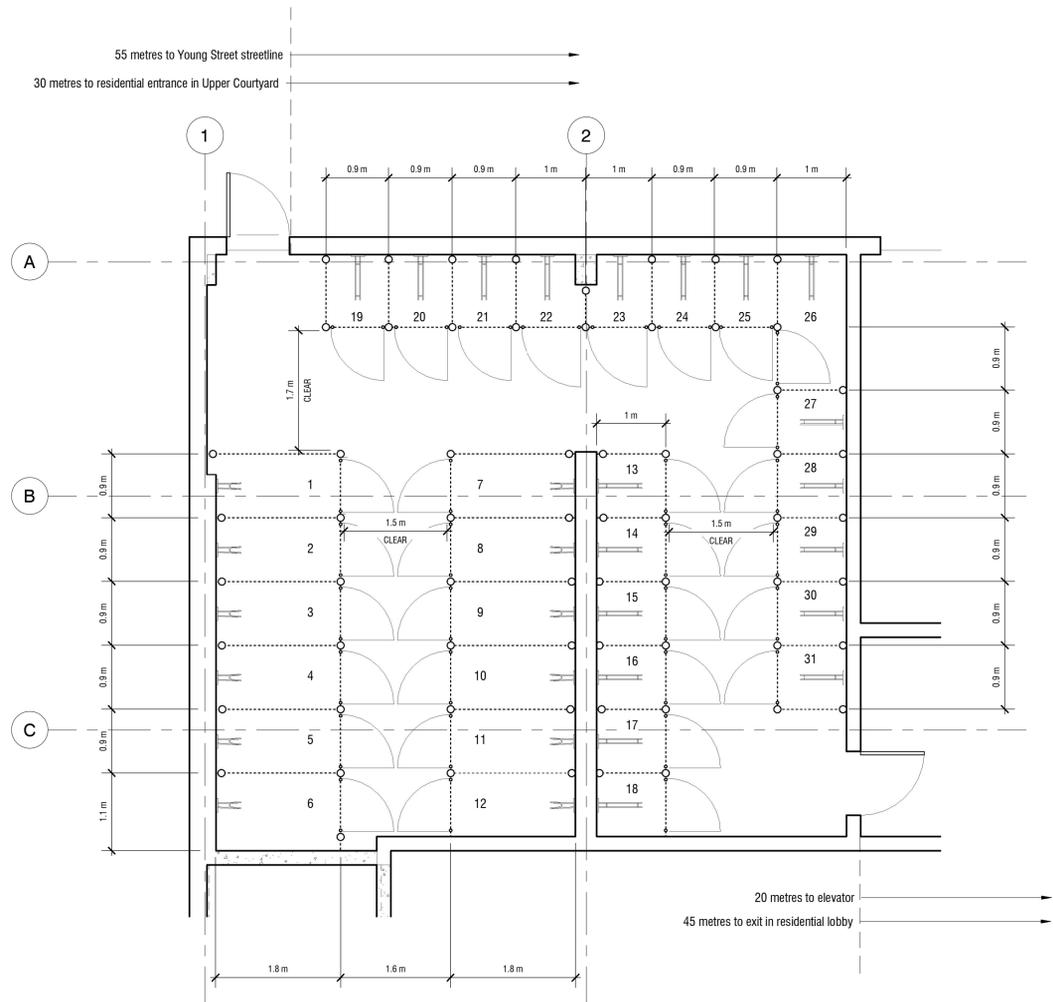
CF

SCALE:

1/8" = 1'-0"



1 03 NORTH
A102 1/8" = 1'-0"



1 Bicycle Room Floorplan
1/4" = 1'-0"

SCHEDULE A: INTERIOR BICYCLE RACKS

	HORIZONTAL RACK	VERTICAL RACK	LUB REFERENCE
PLAN VIEW			
MODEL	PARKER 3400	CYCLESAFE ORIGINAL WALL RACK	
MATERIAL	STAINLESS STEEL	STAINLESS STEEL	s. 208(2)
MOUNT TYPE	WALL-MOUNTED	WALL-MOUNTED	s. 208(2)
POINTS OF CONTACT (MIN 2)	THREE	THREE	s. 208(5)
LOCKABILITY	LOCATED IN LOCKABLE CHAINLINK LOCKER	LOCATED IN LOCKABLE CHAINLINK LOCKER	s. 208(5)
NUMBER REQUIRED	12	12	s. 210
PROVIDED	12	19	
RACK TYPE	WHEELWELL-SECURED	VERTICAL RACK, WALL MOUNTED	s. 211(2)
PHOTOGRAPH/DRAWING			

NOTES FOR BICYCLE ROOM

- FLOORS AND WALLS OF BICYCLE ROOM TO BE ILLUMINATED TO A MINIMUM OF 150 LUX
- DOORS OF BICYCLE ROOM TO BE HAVE CONTROLLED ACCESS RESTRICTED TO TENNANTS
- LOCKERS TO BE CHAIN LINK FENCING ANCHORED TO CEILING AND FLOOR
- LOCKERS TO BE LOCKABLE WITH PAD LOCKS
- WALLS TO BE PAINTED CONCRETE OR OTHER ABUSE RESISTANT MATERIALS

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PROJECT NAME:
Tony Gossen Oxford Apartments

SHEET NUMBER:
A501
(sheet 102 of 105)

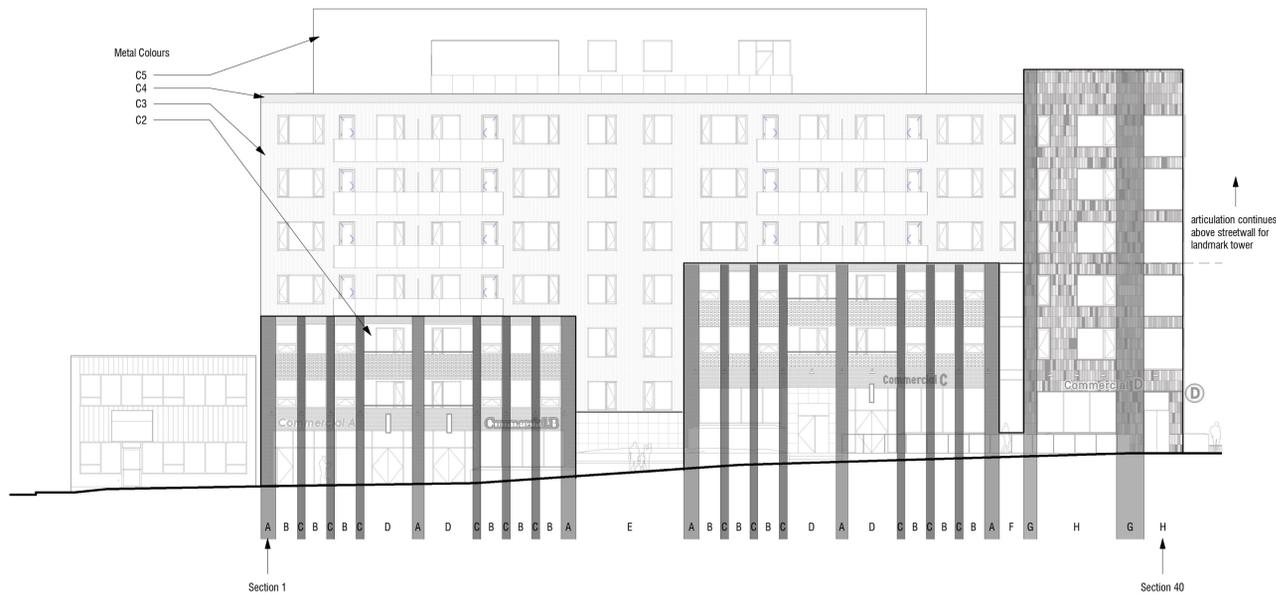
SHEET NAME:
Class A Bicycle Room

PROJECT NUMBER: **TG1901** DATE: **25 August 2020**

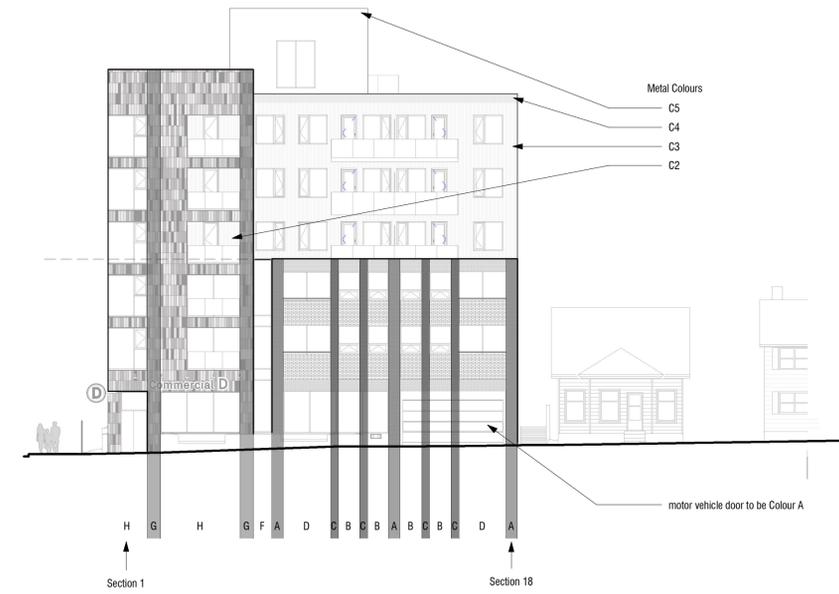
CHECKED BY: **RS** DRAWN BY: **CF**

SCALE: **As indicated**

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1 Diagram: Oxford Street Streetwall Articulation
A102 1/16" = 1'-0"



2 Diagram: Young Street Streetwall Articulation
A102 1/16" = 1'-0"

SCHEDULE A — FAÇADE COLOURS

Colour	Colour Material	Substrate Material	S (blackness)	C (chromaticness)	Hue	Gloss (60°)
A	Architectural Class II, anodized aluminum	extruded aluminum	very light tone (<10%)	neutral (2%)	R90B to B10G	high gloss (70-80%)
B1	earthenware pigments	brick	medium tone (40-70%)	neutral to muted (2-20%)	TBD	matte (5-30%)
B2	earthenware pigments	brick	light to medium tone (10-50%)	neutral to muted (2-20%)	TBD	matte (5-30%)
C1	ceramic pigment in polyvinylidene fluoride resin	extruded aluminum	light to medium tone (10-50%)	neutral to very muted (2-10%)	TBD	semi-gloss (40-60%)
C2	ceramic pigment in polyvinylidene fluoride resin	corrugated sheet steel	very light to light tone (0-30%)	neutral to moderate (2-40%)	TBD	semi-gloss (40-60%)
C3	ceramic pigment in polyvinylidene fluoride resin	corrugated sheet steel	light tone (10-25%)	neutral to very muted (2-10%)	TBD	semi-gloss (40-60%)
C4	ceramic pigment in polyvinylidene fluoride resin	corrugated sheet steel	medium light tone (20-30%)	neutral to very muted (2-10%)	TBD	semi-gloss (40-60%)
C5	ceramic pigment in polyvinylidene fluoride resin	corrugated sheet steel	very light tone (<10%)	neutral to very muted (2-10%)	TBD	semi-gloss (40-60%)
G1	Flat Glass Type 1, Class 1	glass	nil (<1%)	true neutral (<1%)	~B10G (if any)	very high gloss (~100%)
G2	glass opacifier	glass	very light to light tone (0-30%)	neutral to very muted (2-10%)	TBD	very high gloss (~100%)
G3	glass (glaze)	porcelain tile	light tone (5-20%)	very muted to moderate (5-40%)	TBD	matte to gloss (20-70%)
G4	glass (glaze)	porcelain tile	light tone (15-30%)	very muted to moderate (5-40%)	TBD	matte to gloss (20-70%)
G5	glass (glaze)	porcelain tile	medium light tone (25-40%)	very muted to moderate (5-40%)	TBD	matte to gloss (20-70%)
G6	glass (glaze)	porcelain tile	medium light tone (35-50%)	very muted to moderate (5-40%)	TBD	matte to gloss (20-70%)
G7	glass (glaze)	porcelain tile	medium tone (45-60%)	very muted to moderate (5-40%)	TBD	matte to gloss (20-70%)
G8	glass (glaze)	porcelain tile	medium dark tone (55-70%)	very muted to moderate (5-40%)	TBD	matte to gloss (20-70%)
S	chromium oxide	316 stainless steel	very light tone (<10%)	neutral (2%)	R90B to B10G	semi-gloss (40-60%)
W	non-yellowing clear top coat	blonde Accoya	very light tone (<10%)	neutral (2%)	G90Y to Y20R	matte (5-30%)

SCHEDULE A NOTES:
1. "Chromaticness", "Blackness" and "Hue" percentages follow the *Natural Color System*
2. "Gloss" percentages follow *ASTM D 523 Standard Test Method for Specular Gloss*, in this case using a 60° angle of measurement.
3. Specific hues are largely "to be determined" because colour work is a part of the construction detailing and specification process.

TABLE 1: STREETWALL ARTICULATION

	A	B	C	D	(A)	E	(A)	F	G	H
MATERIAL	Running Bond (Brick)	Running Bond (Brick) Glass Panels Aluminum Extrusions Staggered Sawtooth (Brick)	Running Bond (Brick) Glass Panels Aluminum Extrusions	Running Bond (Brick) Glass Panels Aluminum Extrusions Staggered Sawtooth (Brick) Stainless Steel Guard	Running Bond (Brick)		Running Bond (Brick)	Glass Panels Aluminum Extrusions		Glass Panels Aluminum Extrusions
COLOUR	Colour B1	Colour B1 Colour G1 Colour A Colour B2	Colour B1 Colour G1	Colour B1 Colour G1 Colour A Colour B Colour C1	Colour B1		Colour B1	Colour G1 Colour A		Colour G1 Colour A
RECESS		0.5 m - 6.9m (ground fl.)	0.5 m - 6.9m (ground fl.)	0.5 m - 6.9m (ground fl.) 2.5 m (balcony)				0.5 m (streetwall)		0.5 m - 6.9m (ground fl.)
	3	2	3	3	2	2	3	3	3	

total number of differentiated categories between distinct Sections of streetwall [LUB s. 121]

SCHEDULE B — EXTERIOR CLADDING

Cladding Material	Colour	Location	Note
Aluminum Extrusions	A	storefront curtain walls	
	A	window sashes and frames	
	A	projecting signs for commercial premises	(to match curtain walls)
	C1	louvers that bridge storefront volumes on Oxford	(vents will match and be within balconies)
Corrugated Sheet Metal	C2	recessed balconies	(vents will match and hidden among balconies)
	C3	main building volume	(all flashing and vents will match)
	C4	0.5 m cap flashing at main volume parapet	
	C5	penthouse volume	
Glass Panels (Transparent)	G1	window glass	
	G1	glass guards	
Glass Panels (Spandrel)	G2	spandrel panels	(to bridge landmark tower and streetwall volumes)
	G3-G8	landmark tower	(these materials will constitute public art and will require collaboration with a professional artist.)
Running Bond (Brick)	B1	streetwall volumes	
Staggered Sawtooth (Brick)	B2	spandrel panels in streetwall volumes	
Stainless Steel (316)	S	above brick guards in recessed balconies	
	S	as a part of all clear glass guards	
Wood (Accoya)	W	residential entrance	(to differentiate residential entrance from commercial entrances)

TABLE 2: WIDTHS OF DISTINCT STREETWALL SECTIONS (IN METRES)

Streetwall	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40
Young Street	0.7	0.8	4.6	0.8	1.1	0.7	2.7	0.5	1.2	0.5	1.2	0.7	1.2	0.5	1.2	0.5	2.7	0.7																						
Oxford Street	0.9	1.2	0.5	1.2	0.5	1.2	0.5	2.8	0.7	2.8	0.5	1.2	0.5	1.2	0.5	1.2	0.9	6.2	0.9	1.2	0.5	1.2	0.5	1.2	0.5	2.8	0.7	2.8	0.5	1.2	0.5	1.2	0.5	1.2	0.9	1.4	0.8	4.6	1.6	2.2

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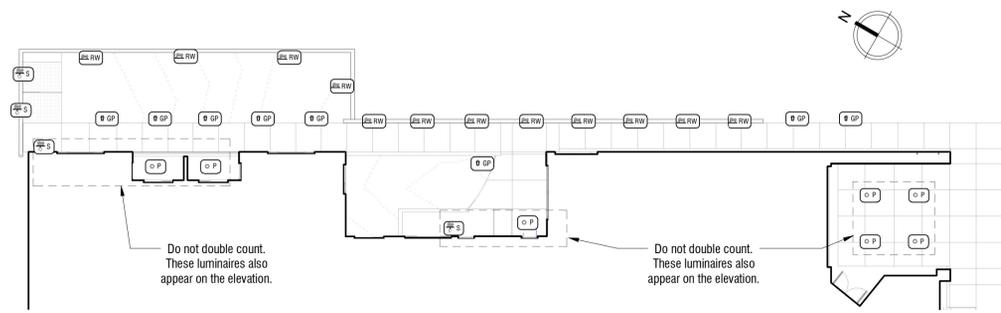
SHEET NUMBER:
A601
(sheet 103 of 105)

SHEET NAME:
Cladding Diagram and Schedule

PROJECT NUMBER: **TG1901** DATE: **25 August 2020**

CHECKED BY: **RS** DRAWN BY: **CF**

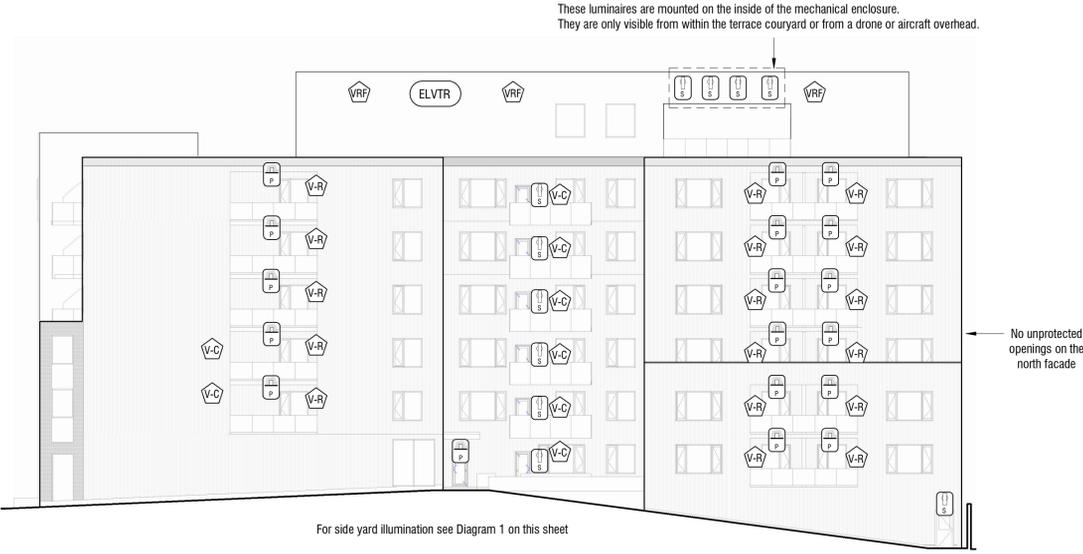
SCALE: **1/16" = 1'-0"**



1 Diagram: Mechanical and Electrical Features Not Visible on Elevations
1/16" = 1'-0"



2 Diagram: Mechanical and Electrical Features Visible on West Elevation
A102 1/16" = 1'-0"



3 Diagram: Mechanical and Electrical Features Visible on South Elevation
A102 1/16" = 1'-0"

4 Diagram: Mechanical and Electrical Features Visible on East Elevation
A102 1/16" = 1'-0"

TABLE 1: CONCEALMENT OF BUILDING UTILITIES⁽¹⁾

ELECTRICITY	CONNECTION TO GRID	UNDERGROUND	
		TRANSFORMER	ON LEVEL 0.5 ON OXFORD STREET, WITH VENTING THROUGH LOUVRES IN STREETWALL ARTICULATION (SHEET 601)
HVAC	OUTDOOR AIR UNITS	HVAC	OUTDOOR AIR UNITS SERVE ALL INTERIOR SPACES EXCEPT FOR RESIDENTIAL UNITS. THEY ARE CONCEALED BY THE OPAQUE SCREENING OF THE MECHANICAL PENTHOUSE ENCLOSURE.
	AIR EXCHANGERS	V-R VENT IN RECESSES	RESIDENTIAL AIR EXCHANGERS ARE INTERNAL TO THE UNIT. VENTS ARE CONCEALED IN RECESSES, BALCONIES AND NEAR WINDOW OPENINGS. THE COLOUR OF VENTS WILL MATCH THE SURROUNDING CLADDING MATERIAL
	HEAT PUMPS	V-C COLOUR VENT AS CLADDING	HIGH-VOLUME EXHAUST FOR PARKING IS POSSIBLE THROUGH UNUSED AREAS OF THE TRANSFORMER LOUVRES
WATER	POTABLE WATER IN	VRF OUTDOOR UNIT	THE RESIDENTIAL UNITS WILL LIKELY USE VARIABLE REFRIGERANT FLOW SYSTEMS. ONE OUTDOOR MODULE WILL SERVE A VERTICAL STACK OF UNITS. UNITS, THEREFORE ARE DISTRIBUTED ACROSS THE ROOF, BUT ALWAYS FULLY CONCEALED BY EITHER THE MECHANICAL PENTHOUSE ENCLOSURE OR THE PARAPET OF THE LANDMARK TOWER.
	HOT WATER	BR BOILER ROOM	INTERNAL TO THE BUILDING; BOILER IN ROOM IN MECHANICAL PENTHOUSE; VENTS WILL MATCH CLADDING
	WASTEWATER OUT	SC SEE SERVICE CONNECTION	TWO UNDERGROUND CONNECTIONS (SEWAGE AND NON SEWAGE; SEE SERVICING SCHEMATIC)
	SPRINKLER SYSTEM	SC SEE SERVICE CONNECTION	THE SPRINKLER SYSTEM IS INTERNAL TO THE BUILDING, WITH SIAMESE CONNECTIONS VISIBLE ON THE YOUNG STREET ELEVATION
OTHER	ILLUMINATION	ELVTR	SEE TABLE 2 AND OTHER DIAGRAMS ON THIS SHEET
	5-STREAM WASTE	SS	INTERNAL TO THE BUILDING
	ELEVATOR	ELVTR	ELEVATOR OVERRUN IS CONCEALED SEAMLESSLY WITHIN THE MECHANICAL PENTHOUSE

NOTES FOR TABLE 1: 1) These specifications are not the work of a Professional Engineer; they represent the Registered Architect's design intent and understanding of the LUB.



3 Diagram: Mechanical and Electrical Features Visible on South Elevation
A102 1/16" = 1'-0"

TABLE 2: EXTERIOR LUMINAIRES KEY AND GENERAL SPECS. FOR L.U.B. COMPLIANCE⁽¹⁾

ANNOTATION	DOWNWARD SCENCE	GOOSENECK LIGHT	POT LIGHT IN SOFFIT	GARDEN PATH LIGHT	STAIR TREAD LIGHT	RECESS. WALL LT.
	elevation plan	elevation	elevation plan	plan	elevation	elevation plan
BULB TYPE	LED	LED	LED	LED	LED	LED
FULL CUTOFF ⁽²⁾ FIXTURE	YES	YES	YES	YES	YES	YES
DIRECTED TOWARD NEIGHBOURS OR STREET	NO	NO	NO	NO	NO	MOSTLY NO ⁽³⁾
COLOUR TEMPERATURE LUMINOUS FLUX	TBD	TBD	TBD	TBD	TBD	TBD
MATERIAL AND FINISH	TBD	TBD	TBD	TBD	TBD	TBD
GENERIC EXAMPLE PHOTO						

NOTES FOR TABLE 2: 1) These lighting specifications are not the work of a Professional Engineer; they represent the Registered Architect's design intent and understanding of the LUB. 2) The designation "full cutoff" refers to that term as defined by the Illuminating Engineering Society of North America (IESNA). 3) Three wall lights, recessed into the planter on Young Street, illuminate the HRM sidewalk. A nearby HRM tree currently prevents illumination in this area.

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CONTRACTORS MUST:

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REVISIONS:

NO.	DESCRIPTION	DATE
1	FOR SITE PLAN APPROVAL (PRE APPLICATION)	19 MAY 2020
2	FOR SITE PLAN APPROVAL (PRE APPLICATION)	25 AUGUST 2020

PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A602

(sheet 104 of 105)

SHEET NAME:

Exterior Mechanical and Electrical Features

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

RS

DRAWN BY:

CF

SCALE:

As indicated

DRAFT:
-will add texture and material
-will add allowed entourage
-will approximate daylight conditions



3 01 Oxford Street Facade - Daytime

DRAFT:
-will add texture and material
-will add allowed entourage
-will approximate daylight conditions



2 02 Young Street Facade - Daytime

DRAFT:
-will add nighttime illumination
-will add texture and material
-will add allowed entourage



1 03 Oxford Street Facade - Nighttime

DRAFT:
-will add nighttime illumination
-will add texture and material
-will add allowed entourage



4 04 Young Street Facade - Nighttime

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REVISIONS:

NO.	DESCRIPTION	DATE
1	FOR SITE PLAN APPROVAL (PRE APPLICATION)	19 MAY 2020
2	FOR SITE PLAN APPROVAL (PRE APPLICATION)	25 AUGUST 2020

PROJECT NAME:

Tony Gossen Oxford Apartments

SHEET NUMBER:

A901

(sheet 105 of 105)

SHEET NAME:

Streetline Renderings

PROJECT NUMBER:

TG1901

DATE:

25 August 2020

CHECKED BY:

RS

DRAWN BY:

CF

SCALE: