

**HALIFAX**

# **Joint Public Hearing for Case 22450**

Amending Development Agreement for  
Bedford West, Sub Area 9 (Hogan Court)

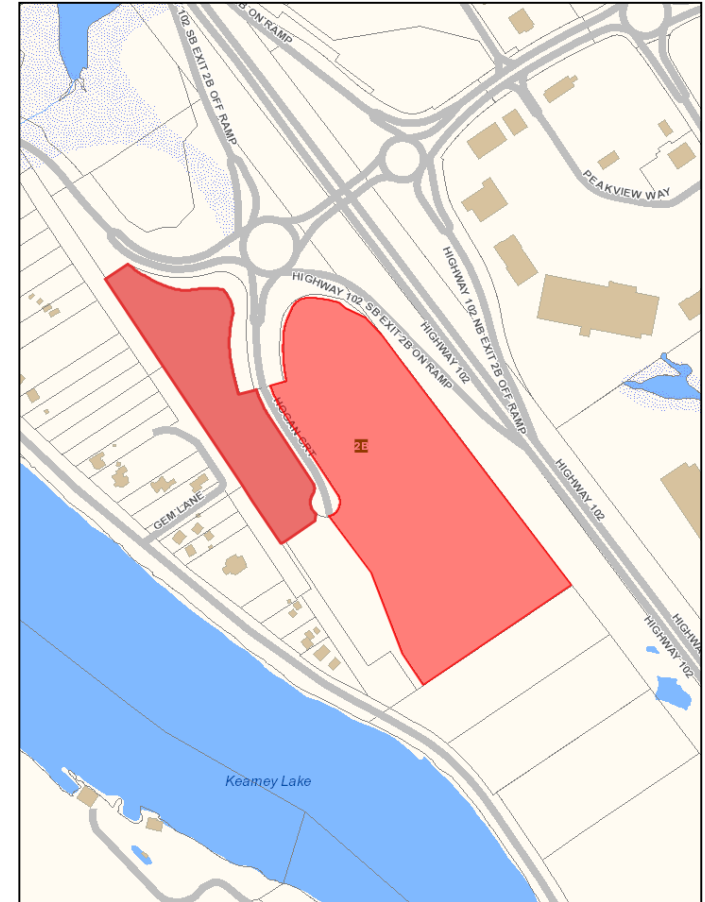
Halifax & West Community Council and  
North West Community Council  
November 26, 2020

# Applicant Proposal

**Applicant:** Cresco Holdings Ltd.

**Location:** Hogan Court, Bedford

**Proposal:** Substantive amendment to an existing development agreement to allow the reallocation of population density from the commercial population to the residential population.

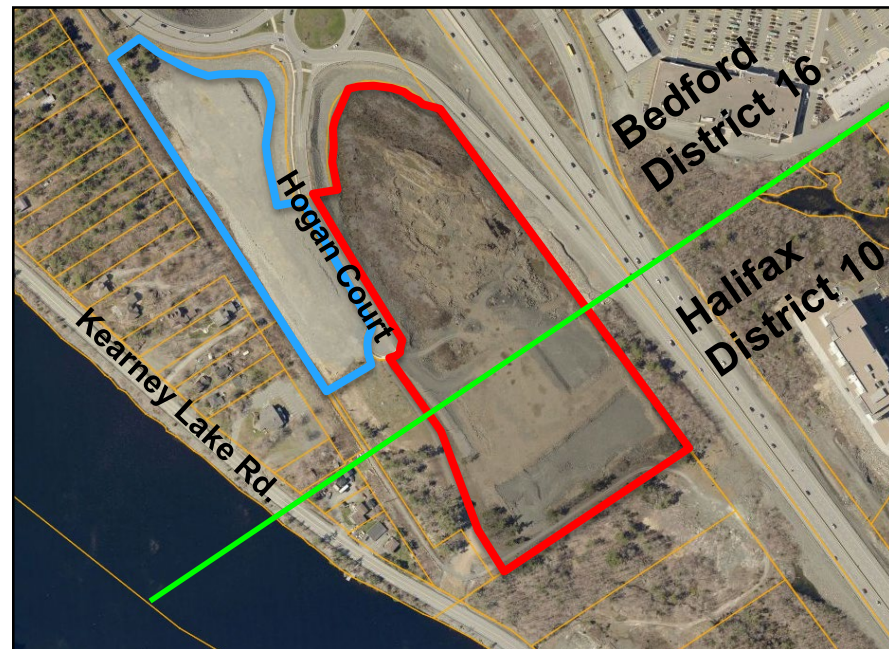


# Site Context

Hogan Court, Bedford



General Site Location



Cresco's lands are outlined in red and other affected lands in blue. The green line represents the boundary between Halifax and Bedford.

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# Site Context

Hogan Court, Bedford

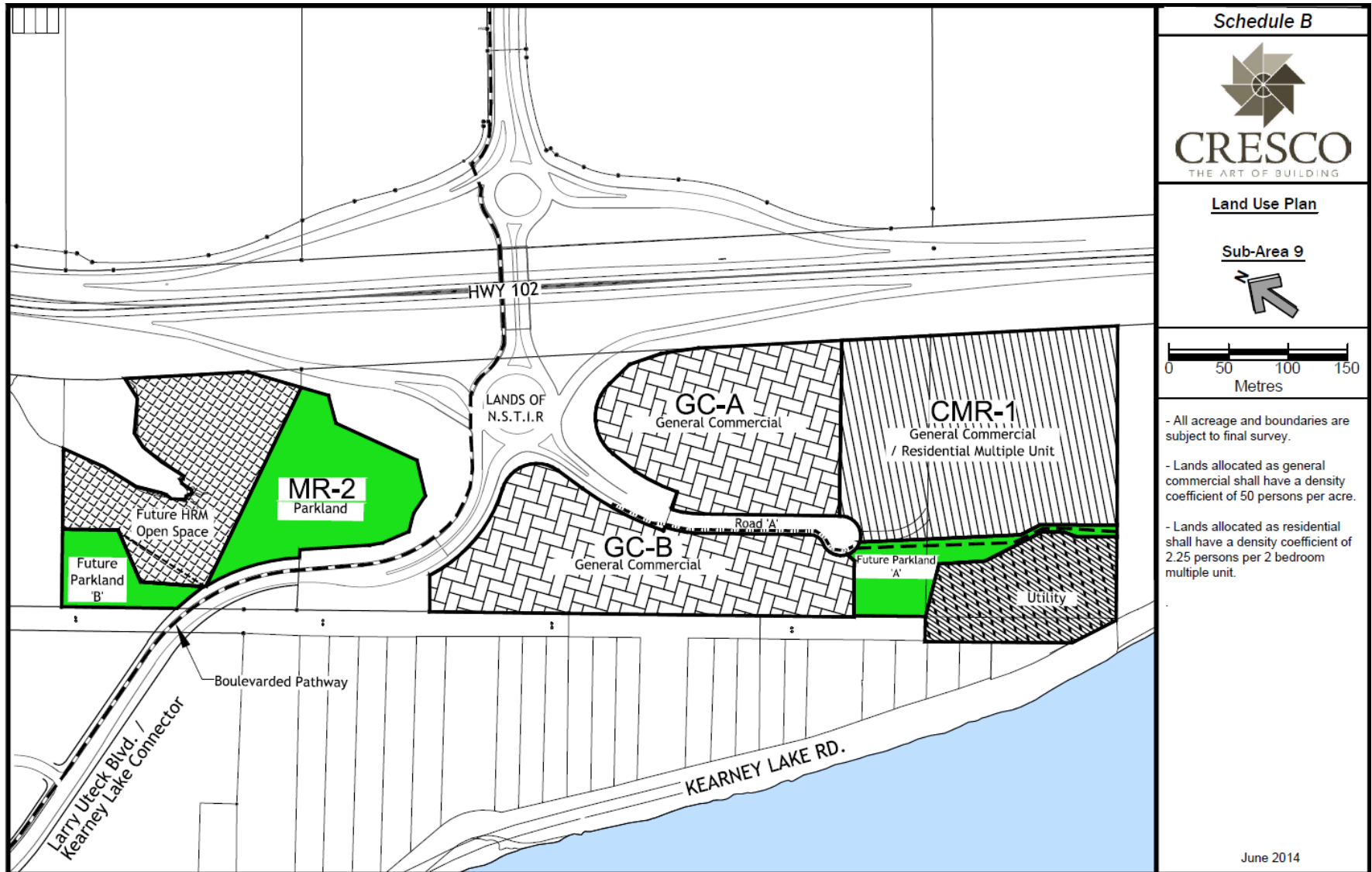
SLIDE 4





# Site Context

## Hogan Court, Bedford



# Site Context

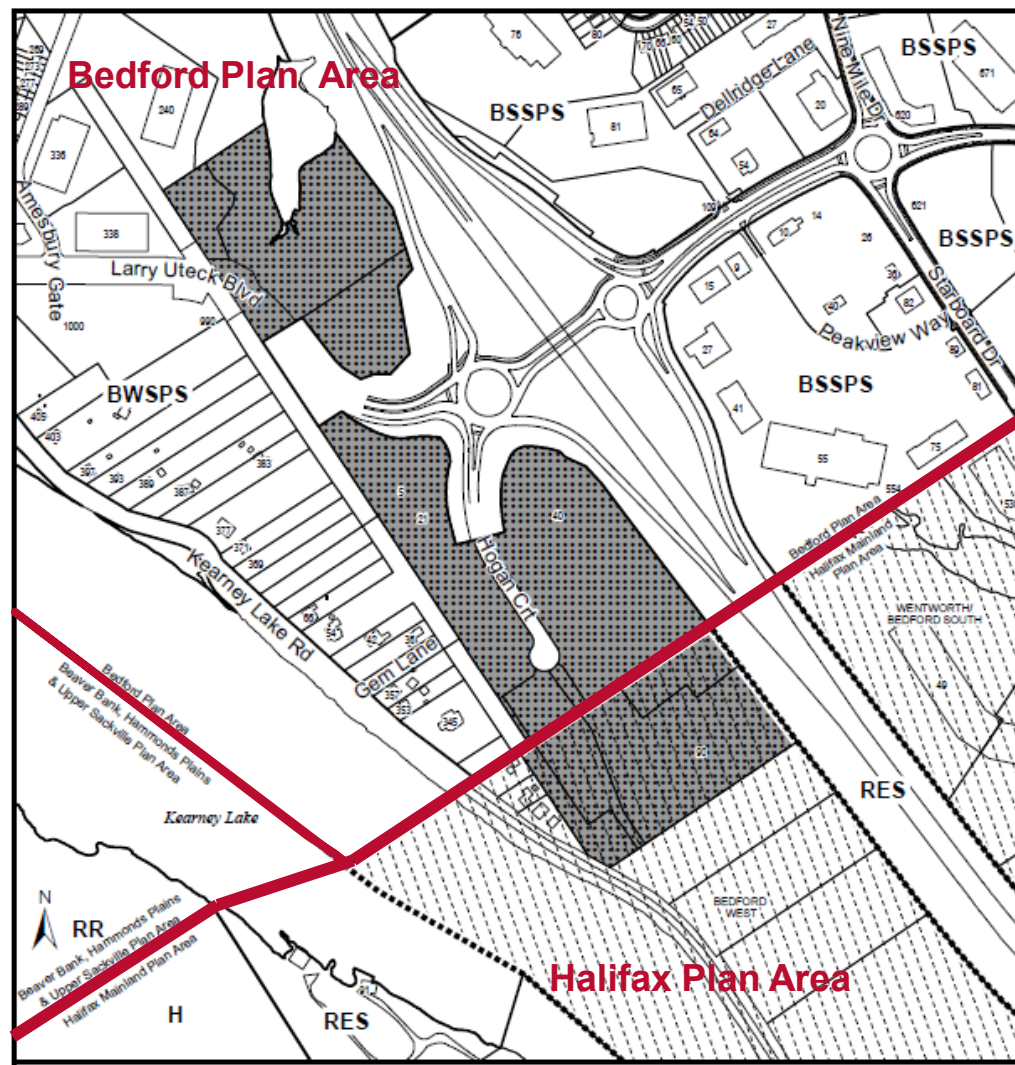


Looking southeast on Hogan Court

# Planning Policy

## Halifax & Bedford Municipal Planning Strategy

- **Designation**
  - BWSPS (Bedford West Secondary Planning Strategy)
- **Enabling Policy**
  - BW-21D (Halifax MPS)
  - BW-39C (Bedford MPS)
- **Zone**
  - BWCDD
- **Existing Agreement**





# Policy Consideration

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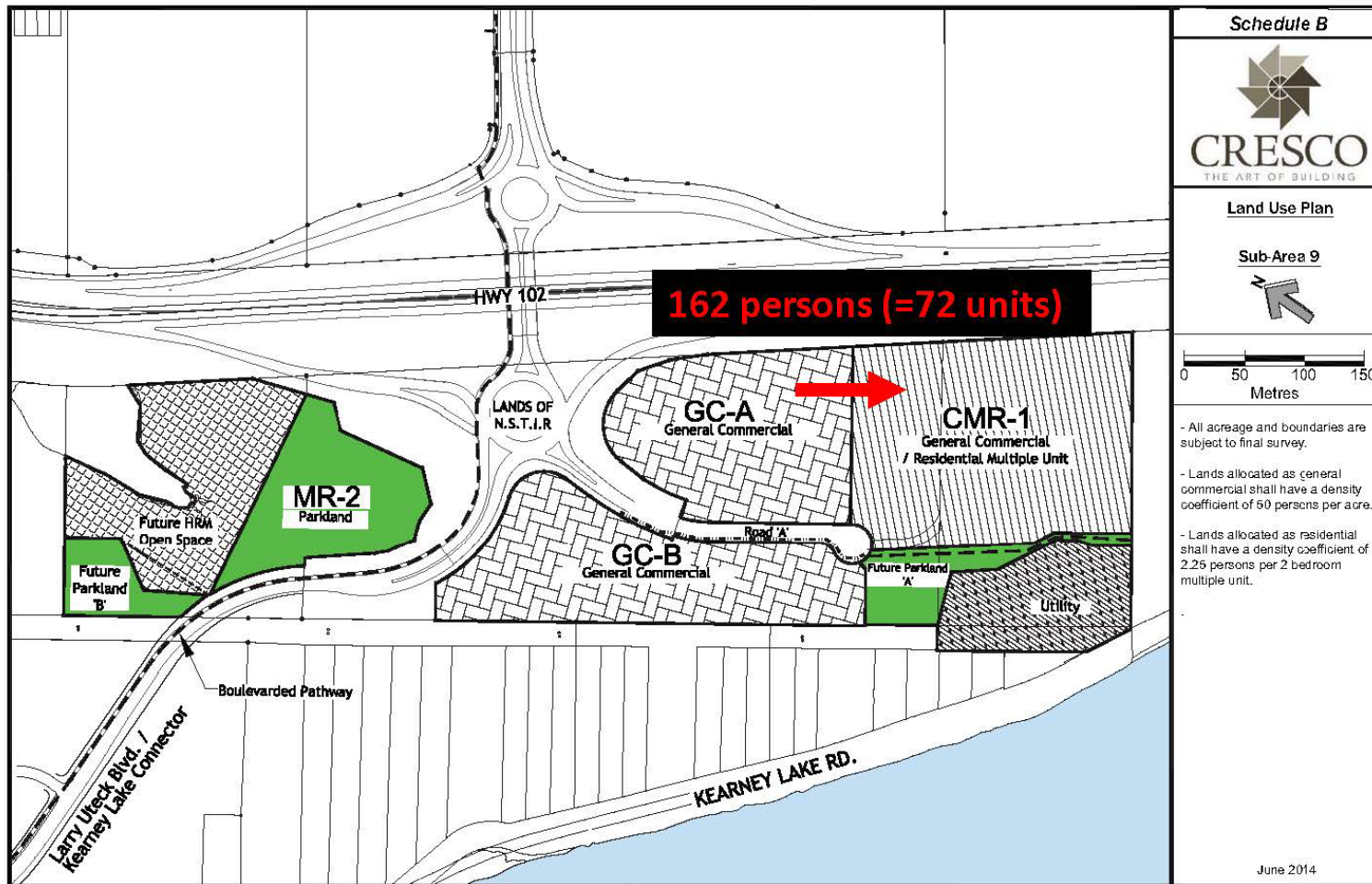
**Policies BW-21D (Halifax MPS) & BW-39C (Bedford MPS):** Within the Sub Area, population assigned under BW-16B (Halifax MPS) and BW-16A (Bedford MPS) may be redistributed throughout the Sub Area covered by development agreement provided the intent of all of the policies is maintained.

Other policies speak to:

- Maximum permitted population density;
- Allocation of specific land uses across the Sub Area;
- Range of uses permitted provided consideration is given to the design of buildings and site; and
- Application of the CDD zone and requirement for a DA.



# Applicant Proposal



**Schedule B**

**Land Use Plan**

**Sub-Area 9**

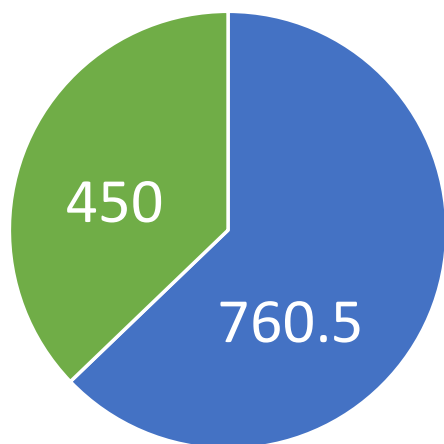
0 50 100 150  
Metres

- All acreage and boundaries are subject to final survey.
- Lands allocated as general commercial shall have a density coefficient of 50 persons per acre.
- Lands allocated as residential shall have a density coefficient of 2.25 persons per 2 bedroom multiple unit.

June 2014

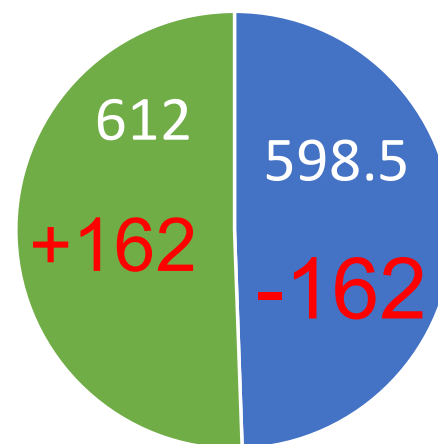
# Applicant Proposal

Population Density (Persons) - Current



■ Commercial ■ Residential

Population Density (Persons) - Requested



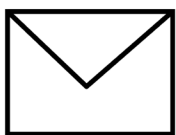
■ Commercial ■ Residential

The total permitted population would remain 1210.5 persons.

# Public Engagement Feedback

- Level of engagement completed was consultation achieved through a public information meeting. There was a mail out notifying surrounding property owners of the meeting, a newspaper ad about the meeting, a webpage, and signs on the subject lands.
- Feedback from the community generally included the following:
  - Concerns about worsening traffic congestion in the area
  - Questions about potential changes to existing roads
  - Questions about what will be built in the Sub Area

Notifications  
Mailed



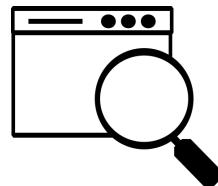
647

Meeting  
Attendees



Approx. 15

Webpage  
Views



1737

Letters/Emails  
Received



2

Calls  
Received



9



# Traffic

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- A Traffic Impact Statement (TIS) was reviewed and accepted by HRM's Development Engineering and Nova Scotia Department of Transportation and Infrastructure Renewal.
- The TIS compares the impact of the proposed development in relation to the impacts identified for the original concept for Sub Area 9.
- The TIS concluded the proposal will generate a minor increase in trips along Hogan Court. The analysis of the Larry Uteck interchange indicated the additional trips can be accommodated at the interchange.
- A review of individual development applications will be completed at permitting.

# North West PAC Recommendation

November 13, 2019

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The North West Planning Advisory Committee received information from staff regarding Case 22450 at their November 13, 2019 meeting. The following recommendation was approved:

*THAT the North West Planning Advisory Committee has reviewed the application for Case 22450 and recommends approval of the application as presented.*

# Summary: Key Aspects of Proposed Amendments

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- Increase the maximum permitted number of multi-unit dwelling units from 200 to 272 units.
- Overall density for Sub Area 9 to remain 1210.5 persons.



# Staff Recommendation

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Staff recommend that Halifax and West Community Council and North West Community Council:

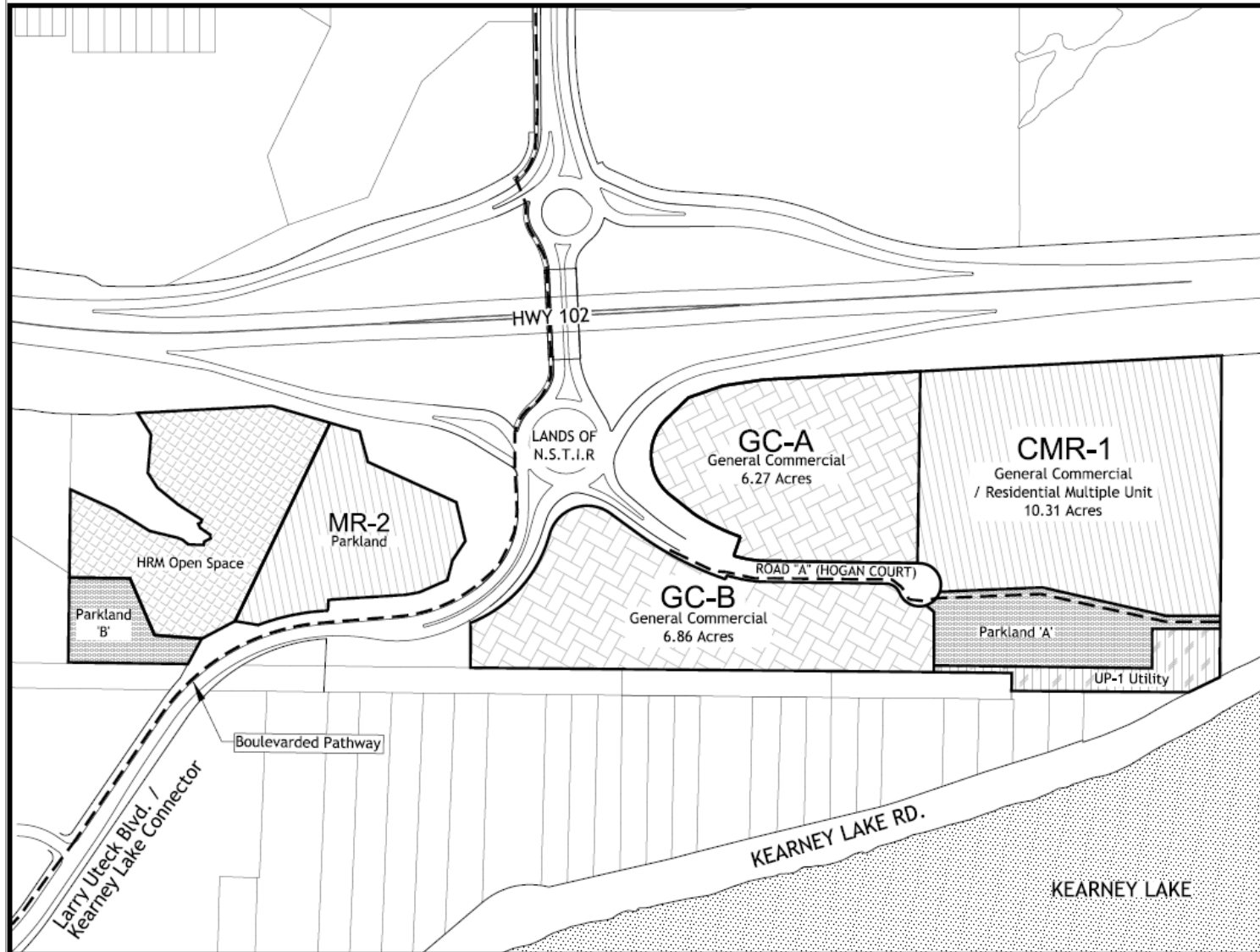
1. Approve the proposed amending agreement, which shall be substantially of the same form as set out in Attachment A;  
and
2. Require the amending agreement be signed by the property owner within 240 days, or any extension thereof granted by Council on request of the property owner, from the date of final approval by Council and any other bodies as necessary, including applicable appeal periods, whichever is later; otherwise this approval will be void and obligations arising hereunder shall be at an end.

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**Thank You**

# Site Context

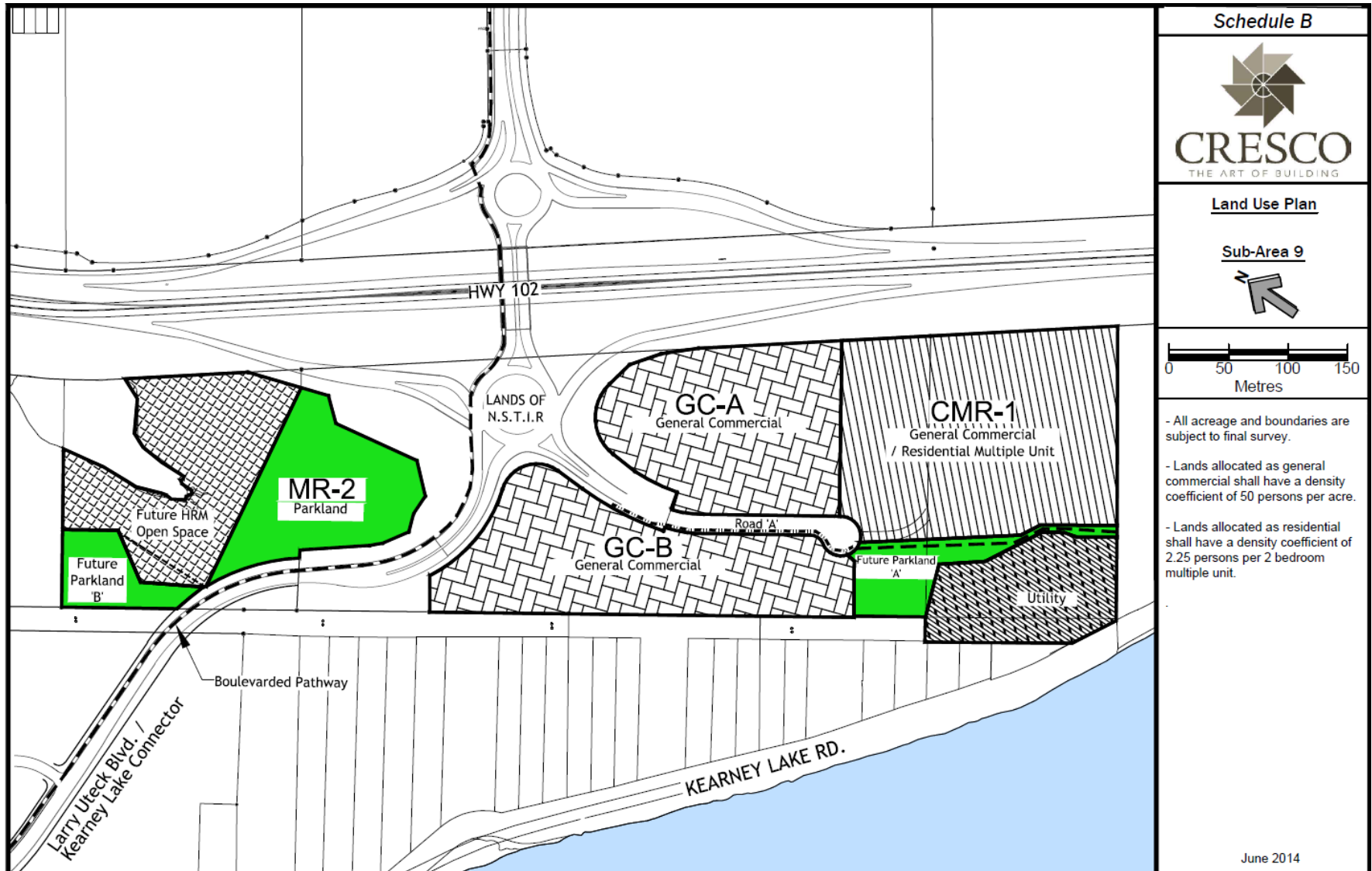
Hogan Court, Bedford





# Site Context

## Hogan Court, Bedford



# Land Use By-law

## Halifax Mainland & Bedford Land Use By-law

- **Zone**
  - **BWCDD**  
(Bedford West Comprehensive Development District Zone)

