

HALIFAX

Case 21584

Development Agreement for 18 & 22
Rosedale Drive, Dartmouth

Harbour East-Marine Drive
Community Council
November 12, 2020

Applicant Proposal

Applicant: Fathom Studio

Location: 18 & 22 Rosedale Drive, Floral Avenue and Fraser Street, Dartmouth

Proposal: Two mixed use buildings atop a shared semi-underground parking garage with the following elements:

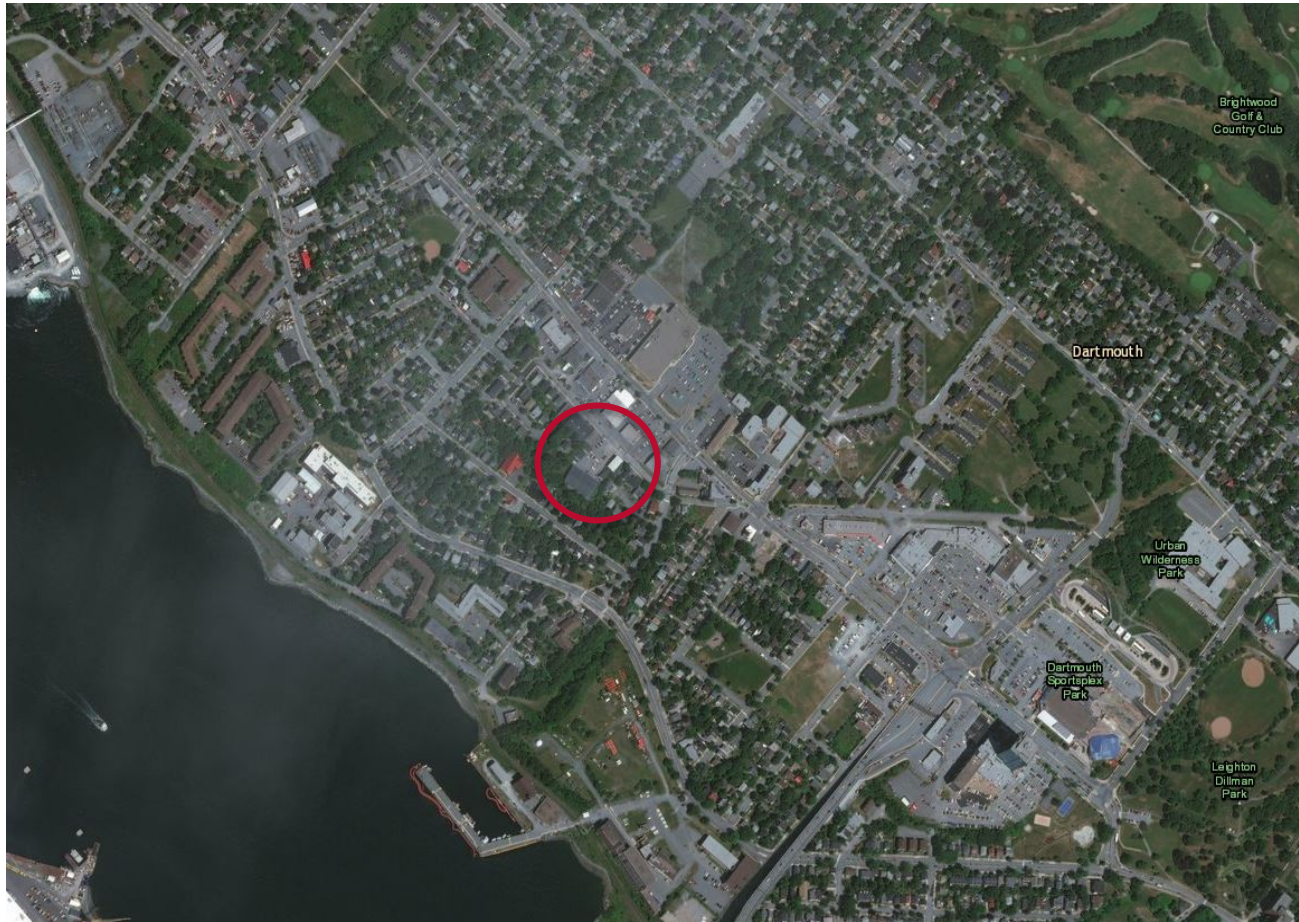
- Building A: 9 stories with 3 storey streetwall facing Rosedale Drive
- Building B: 11 stories with 4 storey streetwall facing Rosedale Drive
- 205 residential units
- ground floor commercial in both buildings;
- Underground parking-184 spaces;
- Townhouse form units face shared private open space;
- Landscaped shared private open space between the two buildings.



Hester Street View

Site Context

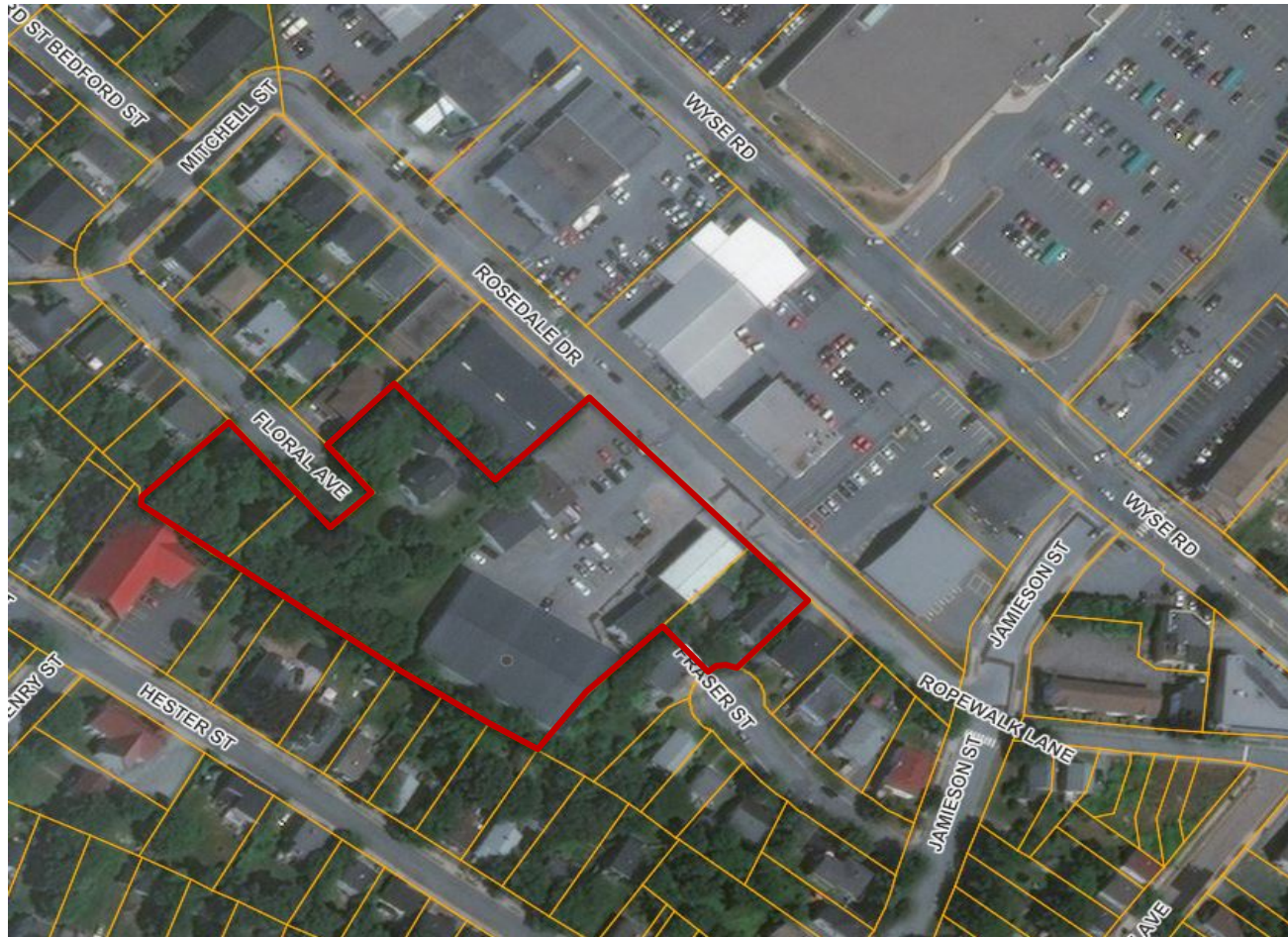
18 & 22 Rosedale Drive, Dartmouth



General Site Location

Site Location

18 & 22 Rosedale Drive, Dartmouth



Site Boundaries in Red

Local Site Context



Subject site seen from the centreline of Rosedale Drive near corner of Halifax Welders

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Local Site Context



Subject site seen from Rosedale Drive looking towards Mitchell Street

Local Site Context



Subject site seen from the centreline of Fraser Street

Local Site Context



Subject site seen from the centreline of Floral Avenue

Proposal

Schedule C: Landscape Plan



Proposed Site Plan

Proposal



Rendering of view from Floral Avenue towards 11 storey building

Proposal



Rendering of view from Fraser Street towards 9 storey building at right and 11 storey in the centre.

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Transition to the Centre Plan

10.10.1 POLICY ENABLED DEVELOPMENT AGREEMENTS

Policy 10.25

In addition to Policy 10.27, complete applications for development agreements on file with the Municipality on or before the date of the first publication of the notice of the intention of Council to adopt this Plan shall be considered under the policies in effect on the date of that notice. Where any such application is withdrawn, significantly altered, or refused by Council, any new development applications shall be subject to all applicable requirements of this Plan and the Land Use By-law. Applications that have not proceeded to public hearing within 24 months of the adoption of this Plan shall be subject to all applicable requirements of this Plan and the Land Use By-Law.

Policy 10.26

Applications approved pursuant to Policy 10.25 shall include project commencement dates not exceeding three years, and project completion dates not exceeding six years from the date the agreement is filed at the Land Registry Office.

Policy & By-law Overview

Dartmouth Municipal Planning Strategy – Dartmouth LUB

- **Zone**

- C-2 (General Business), R-3 (Multiple Family Residential, R-1 (Single Unit Dwelling) Zones

- **Designation**

- Residential, Commercial

- **Existing Use**

- Commercial, Industrial, Residential, Parking

- **Enabling Policy**

- IP-1, IP-5, CH-16 (RMPS – Abutting Heritage Property)

Staff Review

Staff have reviewed the proposal in terms of all relevant policy criteria and find the proposal is not reasonably consistent with the intent of the MPS:

- is not compatible with the character of the neighbourhood for reasons of height, mass and scale that are the main elements that disrupt the urban form;
- is not consistent with the existing urban form of the surrounding neighbourhood because it does not show continuity in terms of character (including heritage), coherence and architectural language of the buildings;
- the major attributes that contribute to the consistency of the urban form should be in agreement overall with the local form; and
- as detailed in the staff report dated August 5, 2020.

Staff Recommendation

It is recommended that Harbour East - Marine Drive Community Council: 1. Refuse the proposed development agreement enabling the development of a mixed use building with nine and eleven storey towers on a shared podium, as set out in Attachment A of this report.

Centre Plan Height Precincts



Centre Plan Urban Structure

