

HALIFAX

Design Review Committee

Case 21538:

Maritime Centre Addition –
Barrington Street, Halifax

March 8, 2018

Location



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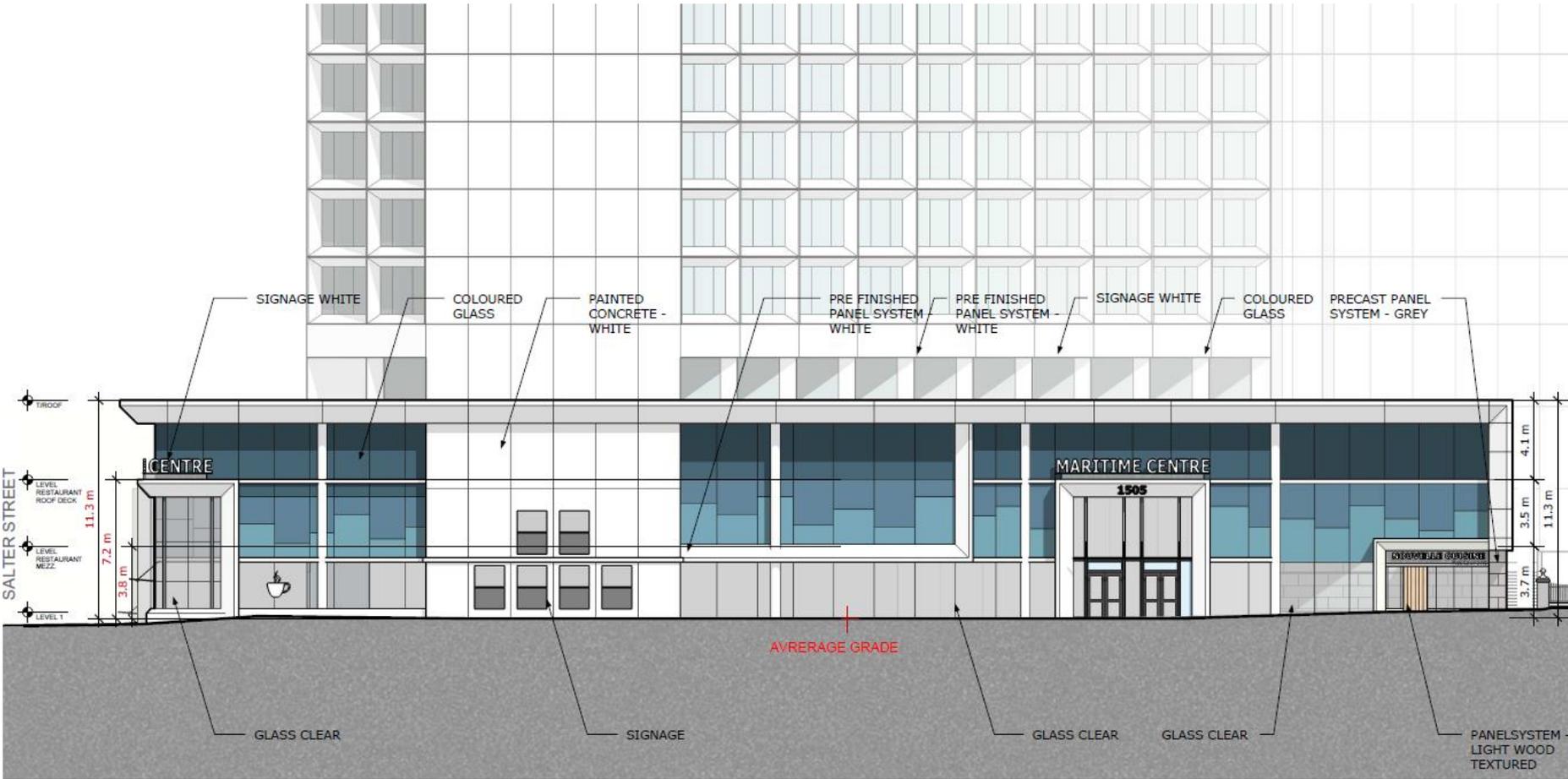
Proposal

- Ground floor entrance lobby, retail commercial and potential restaurant uses at Barrington Street facade;
- Ground floor entrance lobby at Barrington and Salter Streets;
- Underground parking with 100 new vehicular parking spaces; and
- U/G parking exit only from Salter Street.

Exterior Building Materials

- Curtain wall systems with clear vision glass at pedestrian level;
- Curtain wall system with tinted glass at mid and upper facade;
- Pre-finished cladding;
- Pre-cast panel system on south elevation (St. Matthew's).

West Elevation

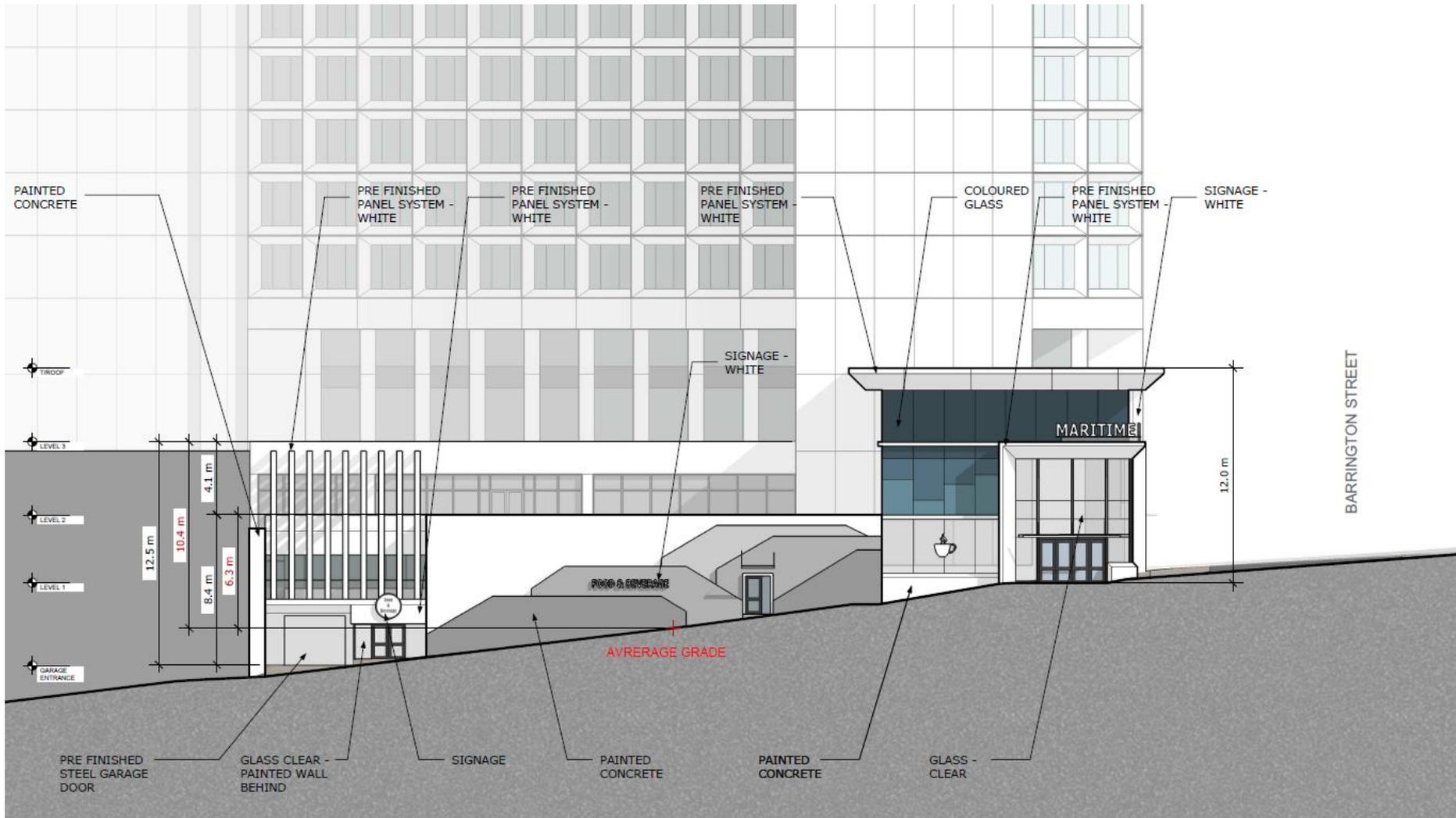


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North Elevation

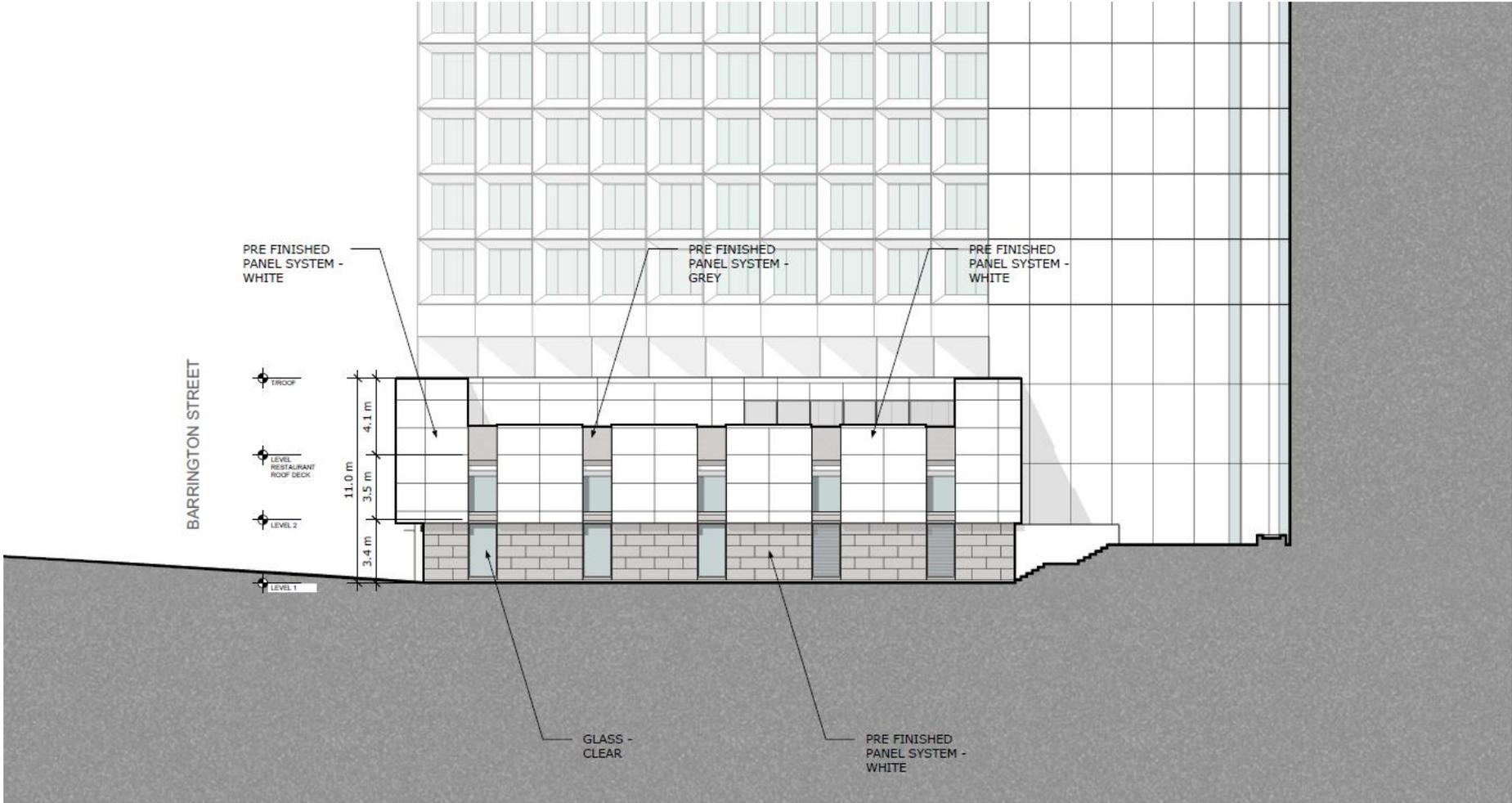


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South Elevation



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Barrington Street View from Spring Garden Road



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Barrington Street/Salter Street View



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Salter Street View



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Salter Street View



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Barrington Street View from mid-street, front of St Matthew's



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Discussion

Items from Design Manual identified for discussion purposes:

- Awnings and canopies;
- Prominent Frontages and View Termini; and
- Developments abutting a heritage property.

Awnings and Canopies

- Design Manual encourages awnings and canopies along sidewalks and building frontages for weather protection
- No permanent canopy or awning proposed above the restaurant entrance at Barrington Street
- The square arch is a positive feature for wind control and in combination with the overall wind mitigation pedestrian comfort should be enhanced.
- Any obstructions such as planters or screens on both sides of the entrance would improve wind conditions

Prominent Frontages and View Termini

- Prominent Visual Terminus Site for two Termini; the Spring Garden Road intersection with Barrington Street, and the Granville Street intersection with Salter Street.
- The main entrance at Barrington Street has been aligned to the Spring Garden Road view axis in accordance with the Design Manual.
- At the Salter Street east end of the existing building a new parking garage door (exit only) onto Salter Street will terminate the Granville Street view corridor.
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- A vertically slotted projection over the garage door, is proposed in response to the Design Manual's guidelines direction to provide distinctive architectural treatment
- Staff do not believe the guideline has been met: there is a lost opportunity for a signature or landmark architectural treatment/features in this location, and the obligation for the highest possible design and material quality have not been met.

Developments Abutting a Heritage Property

- The Design Manual attaches a great deal of importance to a building transition to an abutting heritage property;
- The site abuts St. Matthew's Church on the south and the Freemason's Hall north on Barrington Street. The design responds to the transitioning guidelines by proposing:
 - Streetwall with similar height as the cornice line of buildings on Barrington Street and cornice of St. Matthew's church;
 - Ground floor of the new building, expressed in clear glass, of similar height to the first storey datum line on Barrington Street;
 - Varying width vertical bays along the streetwall emulate the existing grain on Barrington Street; and
 - Barrington Street and Salter Street new entrances at sidewalk edge provide depth and texture and break down the building mass to a pedestrian scale.

Wind Assessment

- A qualitative wind assessment was prepared to inform the design and improve pedestrian wind comfort and safety conditions by mitigating existing wind impact on and around the proposed development site.
- The assessment concludes that the proposed addition is a positive design feature for wind control:
 - Improved conditions expected for all pedestrian areas around the tower;
 - Lower wind speeds predicted at walkway and green area next St. Matthew's church;
 - Low wind speeds comfortable for sitting at second floor balcony (over the proposed garage door);
 - Overall suitable wind conditions expected at Barrington Street entrances; and
 - Reduced wind speed at the corner plaza (Barrington and Salter).

Staff Recommendation

1. Approve the qualitative elements of the substantive site plan approval application for the commercial development on lands located at 1505 Barrington Street, Halifax, as contained in Attachment A, with the condition that:
 - a) the proposed garage door exit at Salter Street not be permitted;

Staff Recommendation

Continued...

2. Accept the findings of the qualitative Wind Impact Assessment, as contained in Attachment C.

Resources Slides

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Roof Landscape



Site Plan

