



P.O. Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

Item No. 10.1.2
Halifax and West Community Council
December 13, 2017
January 23, 2018

TO: Chair and Members of Halifax and West Community Council

SUBMITTED BY: Original Signed
Kelly Denty, Acting Director, Planning and Development

DATE: November 7, 2017

SUBJECT: Case 20894: Substantive Amendments to an Existing Development Agreement for 5511 Bloomfield Street, Halifax

ORIGIN

Application by WSP Canada Inc.

LEGISLATIVE AUTHORITY

Halifax Regional Municipality Charter (HRM Charter), Part VIII, Planning & Development.

RECOMMENDATION

It is recommended that Halifax and West Community Council:

1. Give notice of motion to consider the proposed amending development agreement, as set out in Attachment A of this report, to allow substantive amendments to a mixed-use development at 5511 Bloomfield Street, Halifax and schedule a public hearing;
2. Approve the proposed amending development agreement, which shall be substantially of the same form as set out in Attachment A of this report; and
3. Require the amending development agreement be signed by the property owner within 120 days, or any extension thereof granted by Council on request of the property owner, from the date of final approval by Council and any other bodies as necessary, including applicable appeal periods, which is later; otherwise this approval will be void and obligations arising hereunder shall be at an end.

BACKGROUND

WSP Canada Inc. applied for substantive amendments to an existing development agreement (Municipal Case No. 18254) that enables a mixed-use development located at 5511 Bloomfield Street, Halifax.

Subject Site	5511 Bloomfield Street, Halifax
Location	Northwest corner of Bloomfield Street and Gottingen Street, Halifax
Regional Plan Designation	Urban Settlement
Community Plan Designation (Map 1)	Major Commercial – Peninsula North, Halifax
Zoning (Map 2)	C-2 (General Business) Zone – Halifax Peninsula
Size of Site	22,205 square feet
Street Frontage	Approximately 324 feet
Current Land Use(s)	70 unit mixed-use building (under construction)
Surrounding Use(s)	Residential, commercial, and institutional uses

Proposal Details

The applicant has applied for substantive amendments to the existing development agreement that enables an eight-storey mixed-use development. The major aspects of the proposal are as follows:

- Increase the maximum number of residential units permitted from 70 to 95 units;
- Increase the minimum number of units having two or more bedrooms from 22 to 40 units;
- Remove the surface parking lot (16 spaces) and locate all parking underground;
- Construct a four storey addition fronting Almon Street;
- Remove the parking entrance from Almon Street;
- Increase the minimum number of required parking spaces from 70 to 72 spaces;
- Re-locate the outdoor amenity space from the rooftop and second level podium to a landscaped podium on the fifth floor of the proposed addition;
- Expand the penthouse level to allow three residential units;
- Extend the streetwall on Bloomfield Street; and
- Extend the building footprint to cover the majority of the lot.

Enabling Policy and LUB Context

The subject site is designated Major Commercial under the Halifax Municipal Planning Strategy (MPS), Peninsula North Secondary Planning Strategy, Sub Area 5 and zoned C-2 (General Business) under the Halifax Peninsula Land Use By-law (LUB). On July 22, 2013, Halifax and West Community Council (HWCC) approved a Land Use By-law (LUB) amendment to apply Schedule Q to the subject site. This approved development is now under construction on the site. Schedule Q sites are identified in the land use by-law as opportunity sites for commercial and residential redevelopment.

Schedule Q policies 2.3, 2.3.1, 2.3.2, and 2.3.3 of Section XI under the MPS allow Council to consider mixed-use developments with more than four residential units through comprehensive site planning and by development agreement. Through comprehensive site planning, Council can evaluate the proposal's compatibility with and impact on adjacent developments, in terms of massing, density, open space, materials and overall design. Comprehensive site planning allows for more appropriate developments than what is permitted as-of-right. HWCC approved a development agreement for the site on September 23, 2013 that enables an 8-storey mixed-use development with a penthouse level. Council can consider the proposed amendments to this development agreement under the same Schedule Q policies.

Existing Development Agreement

An 8-storey mixed use development and penthouse level is permitted under the existing agreement. The existing agreement permits a maximum of 70 residential units, minor commercial uses and a lounge on the ground level, a landscaped rooftop at the penthouse level, second level landscaped podium, and surface parking lot along Almon Street. Architectural requirements and parking requirements are also provided in the existing agreement.

The building that was approved under the existing development agreement is currently under construction. None of the proposed amendments can be constructed unless Council approves them and a revised permit is issued. The current proposal includes non-substantive and substantive amendments to the existing agreement. Under Section 6.2 of the existing agreement, changes to the landscaping requirements are considered non-substantive. All other amendment requests within the current application are considered substantive.

COMMUNITY ENGAGEMENT

The community engagement process is consistent with the intent of the HRM Community Engagement Strategy. The level of community engagement was consultation, achieved through providing information and seeking comments through the HRM website, signage posted on the subject site, and postcards mailed to property owners within the notification area. The public comments received include the following topics:

- Inadequate separation distance between the proposed addition and abutting Northwood building; and
- Lack of parking provided on the site.

A public hearing must be held by Halifax and West Community Council before they can consider approval of the proposed development agreement. Should Community Council decide to proceed with a public hearing on this application, in addition to the published newspaper advertisements, property owners within the notification area shown on Map 2 will be notified of the hearing by regular mail.

The proposal will potentially impact local residents.

DISCUSSION

Staff have reviewed the proposal relative to all relevant policies and advise that it is reasonably consistent with the intent of the MPS. Attachment B provides an evaluation of the proposed development agreement in relation to the relevant MPS policies.

Proposed Development Agreement

Attachment A contains the proposed amending development agreement for the subject site. The proposed agreement addresses the following matters:

- permitting a four-storey addition, changes to the streetwall along Bloomfield Street, the addition of three residential dwelling units at the penthouse level, and a reduction in parking requirements;
- amending the landscaping requirements to relocate the landscaped areas to the fifth level of the proposed addition (amendments to the landscaping requirements are considered non-substantive under the existing agreement);
- allowing an increase in the total number of units and the number of two or more bedroom units; and
- repealing the lighting plan.

Of the matters addressed by the proposed amending development agreement to satisfy the MPS criteria as shown in Attachment B, the following have been identified for detailed discussion.

Neighbourhood Compatibility

A mix of residential, commercial and institutional land uses surround the subject site. The Canadian Forces Base Stadacona is across the street from the subject site, fronting Gottingen Street. Buildings are predominantly two and three storeys high. A four-storey residential complex abuts the subject site, fronting Almon Street, while two other Schedule Q developments were approved in proximity to the site. In 2013, Council approved a seven-storey mixed-use development on the corner of Isleville Street and Almon Street, which has since been constructed. In 2016, Council approved another seven-storey mixed-use

development on another corner of Isleville Street and Almon Street; this building has not been constructed to date.

The approved mixed-use development on the subject site is eight-storeys high with an additional penthouse level. No habitable space is shown on the approved schedules for the penthouse level. Three penthouse residential units are proposed within this amendment. The number of storeys of the building is not changing but the proposed floor area of the penthouse level is twice the size of the approved penthouse level. Stepbacks from the Gottingen Street and Almon Street elevations are being reduced, but the stepback from the Bloomfield Street elevation is the same.

The current proposal includes infilling the previously approved surface parking lot along Almon Street with a four-storey addition with ground floor commercial. The four-storey addition is compatible with the abutting four-storey residential complex and adjacent Schedule Q developments. Infilling the parking lot creates a continuous streetwall along Almon Street and offers a transition from the two and three storey residential buildings to the approved eight-storey portion of the building and other Schedule Q mixed-use developments along Almon Street. Furthermore, extending the streetwall along Bloomfield Street is more appropriate for the adjacent two and three storey residential context and offers a better transition toward the eight-storey portion of the building.

Building Design

The design and materials used for the four-storey addition along Almon Street and the extension of the Bloomfield streetwall are similar to that approved for the three-storey portion of the building along Gottingen and Bloomfield Streets. The materials used for the expansion of the penthouse level are compatible with and complement other materials approved for the building and include aluminum glazing systems, fiber cement panels and aluminum/glass railings. Streetwalls along Bloomfield and Almon Streets are articulated with a variety of materials, in addition to balconies, and commercial entrances at the ground level. A portion of the building facing Almon Street appears as a blank wall due to Building Code requirements. The agreement includes architectural provisions for blank walls.

The massing of the proposed addition, in terms of building height, setbacks, and lot coverage, is compatible with the approved building and adjacent properties. The four-storey addition is setback 3.3 feet from Almon Street which leaves room for planter boxes and other landscaping features that improve the public realm. Staff advise that four storeys is appropriate along Almon Street, close to the Gottingen Street corridor.

Landscaped Open Space

The existing development agreement requires a combined area of 3,043 square feet of landscaped open space on the rooftop and second level podium. The current application proposes to relocate all landscaped open space to the fifth level of the proposed addition, which has an area of 3,370 square feet. An additional 327 square feet is proposed in the amending development agreement. Balconies are also provided which offer private amenity space for all the units.

Parking

Under the existing agreement, a combination of underground parking and surface parking is required to accommodate at least 70 spaces. The proposed amendments include relocating the parking entirely underground and increasing the minimum number of required spaces to 72. While the proposed number of residential units is also increasing, there are alternative transportation options available in proximity to the site. Transit buses run every thirty minutes along Gottingen Street and bicycle parking is provided in a dedicated space shown on the parking plan that meets the requirements of the land use by-law.

Lighting

The existing agreement has general provisions for lighting. The intent of the lighting plan was to ensure the surface parking lot was well lit. Where the surface lot is being infilled under the current proposal, the lighting plan is no longer necessary.

Halifax Peninsula Planning Advisory Committee

On July 24, 2017, the Halifax Peninsula Planning Advisory Committee (PAC) recommended that the application be rejected. PAC felt the height and massing of the building, setback from the western property boundary, and increase in lot coverage were inappropriate. PAC also commented on street trees, bicycle parking and landscaped open space. A report from the PAC to Community Council will be provided under a separate cover.

The developer has not made any changes to the proposal in response to PAC's recommendation. Staff advise that the proposal meets the intent of the policy and offer the following comments for clarification:

The height of the building shown on the proposed schedules is slightly taller than what was approved under Case 18254. This slight increase in height attributes to a more comfortable internal parking area, greater ceiling heights for the commercial ground level along Gottingen Street, and a structural slab between the street wall and the upper storeys of the building. The building is still shown as eight storeys with a penthouse level. The height of the proposed four-storey addition is compatible with the two and three storey adjacent residential buildings and meets the policy intent.

There is no setback proposed from the western property boundary; however, a minimum distance of 24.5 feet is maintained from the abutting four-storey residential building. No setbacks are required under the current zoning. Lot coverage is approximately 94.5 percent compared to 75 percent approved under the original agreement. Under the C-2 Zone, commercial developments can occupy 100 percent lot coverage.

Infilling the parking lot and allowing for landscaping treatments parallel to the sidewalk improves the pedestrian experience along Almon Street. Bicycle parking areas shown on the schedules meet the requirements of the land use by-law and additional landscaped open space is provided under the current proposal.

Conclusion

Staff have reviewed the proposal in terms of all relevant policy criteria and advise that the proposal is reasonably consistent with the intent of the MPS. The proposed addition, changes to the streetwalls and landscaped open space provide better quality design and improve the public realm along Bloomfield Street and Almon Street. Therefore, staff recommend that the Halifax and West Community Council approve the proposed development agreement.

FINANCIAL IMPLICATIONS

There are no budget implications. The applicant will be responsible for all costs, expenses, liabilities and obligations imposed under or incurred in order to satisfy the terms of this proposed development agreement. The administration of the proposed development agreement can be carried out within the approved 2017/2018 C310 Planning Applications budget and with existing resources.

RISK CONSIDERATION

There are no significant risks associated with the recommendations contained within this report. This application may be considered under existing MPS policies. Community Council has the discretion to make decisions that are consistent with the MPS, and such decisions may be appealed to the N.S. Utility and Review Board. Information concerning risks and other implications of adopting the proposed amending development agreement are contained within the Discussion section of this report.

ENVIRONMENTAL IMPLICATIONS

No environmental implications are identified.

ALTERNATIVES

1. Halifax and West Community Council may choose to approve the proposed amending development agreement subject to modifications. Such modifications may require further negotiation with the applicant and may require a supplementary report or another public hearing. A decision of Council to approve this development agreement is appealable to the N.S. Utility & Review Board as per Section 262 of the *HRM Charter*.
2. Halifax and West Community Council may choose to refuse the proposed amending development agreement, and in doing so, must provide reasons why the proposed agreement does not reasonably carry out the intent of the MPS. A decision of Council to refuse the proposed development agreement is appealable to the N.S. Utility & Review Board as per Section 262 of the *HRM Charter*.

ATTACHMENTS

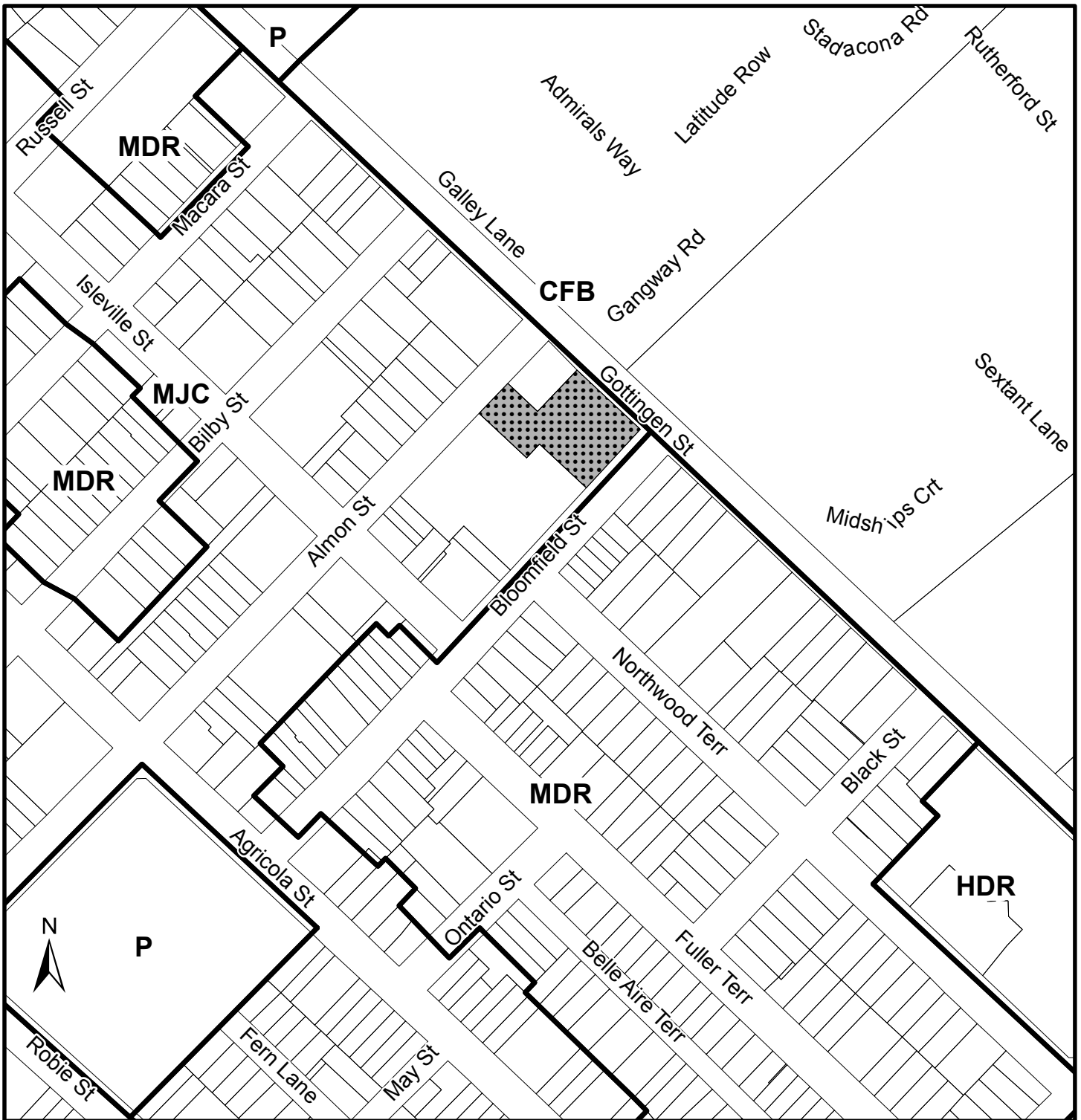
Map 1:	Generalized Future Land Use
Map 2:	Zoning and Notification Area
Attachment A:	Proposed Development Agreement
Attachment B:	Review of Relevant MPS Policies

A copy of this report can be obtained online at halifax.ca or by contacting the Office of the Municipal Clerk at 902.490.4210.

Report Prepared by: Stephanie Salloum, Planner II, Current Planning, 902.490.4223

Report Approved by: Original Signed


Carl Purvis, Program Manager, Current Planning, 902.490.4797



Map 1 - Generalized Future Land Use

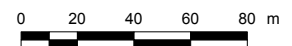
HALIFAX

5511 Bloomfield Street
Halifax

 Subject Property

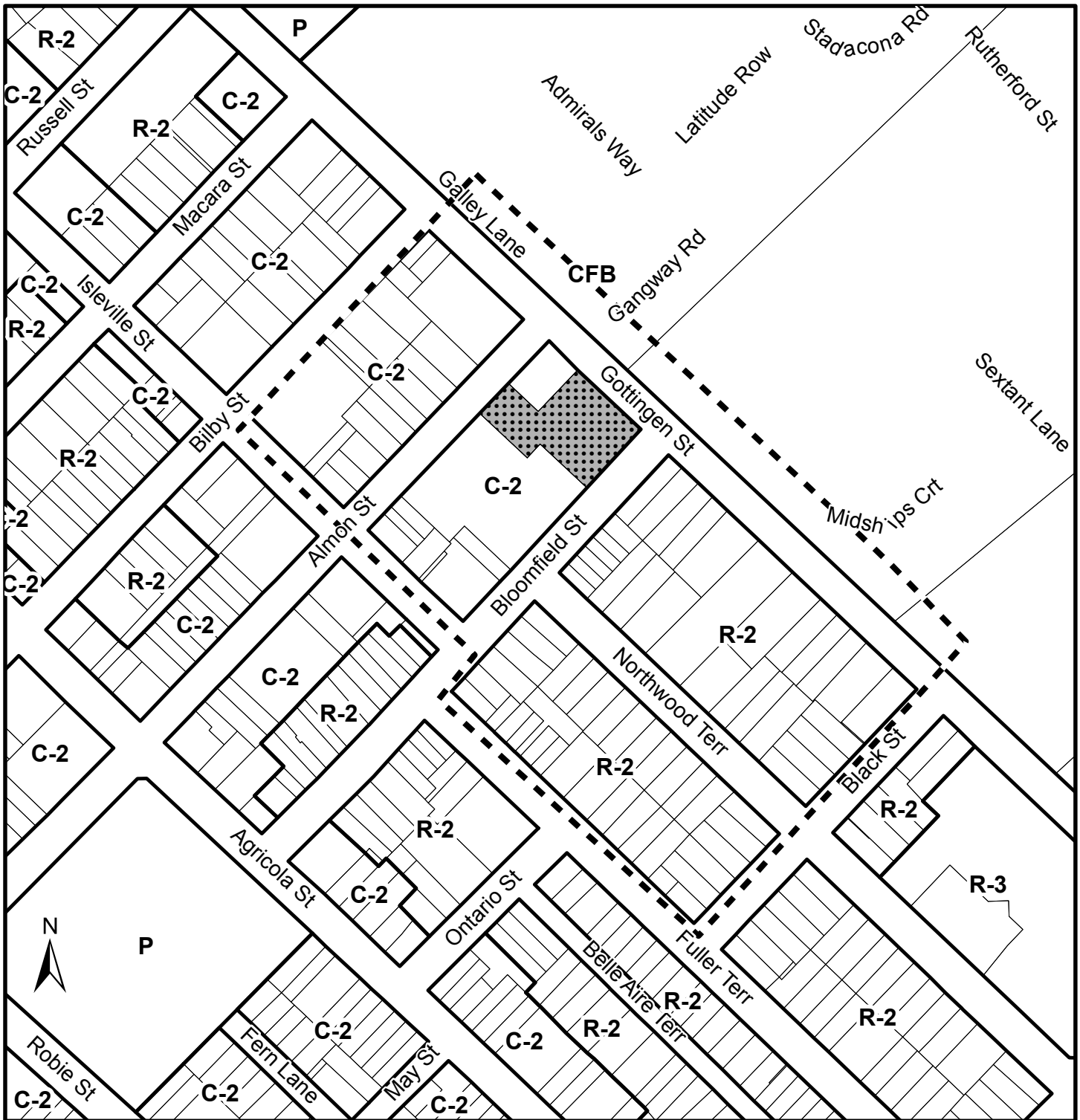
Designation

- MDR Medium Density Residential
- HDR High Density Residential
- MJC Major Commercial
- P Park and Institutional
- CFB Canadian Forces Base



This map is an unofficial reproduction of a portion of the Generalized Future Land Use Map for the plan area indicated.


HRM does not guarantee the accuracy of any representation on this plan.



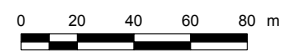
Map 2 - Zoning

5511 Bloomfield Street
Halifax

HALIFAX

 Subject Property

- Zone
- R-2 General Residential
 - R-3 Multiple Dwelling
 - C-2 General Business
 - P Park and Institutional
 - CFB Canadian Forces Base



This map is an unofficial reproduction of a portion of the Zoning Map for the plan area indicated.

HRM does not guarantee the accuracy of any representation on this plan.

ATTACHMENT A: PROPOSED AMENDING DEVELOPMENT AGREEMENT

THIS FIRST AMENDING AGREEMENT made this day of , 20 ,

BETWEEN:

[Insert Name of Corporation/Business LTD.]
a body corporate, in the Province of Nova Scotia
(hereinafter called the "Developer")

OF THE FIRST PART

- and -

HALIFAX REGIONAL MUNICIPALITY
a municipal body corporate, in the Province of Nova Scotia
(hereinafter called the "Municipality")

OF THE SECOND PART

WHEREAS the Developer is the registered owner of certain lands located at 5511 Bloomfield Street, Halifax and which said lands are more particularly described in Schedule A hereto (hereinafter called the "Lands");

AND WHEREAS the Halifax and West Community Council for the Municipality approved an application to enter into a development agreement to allow an 8 storey mixed use development on the Lands on September 23, 2013 (municipal case number 18254), which said Development Agreement was registered at the Halifax County Land Registration Office as Document Number 104785226 (hereinafter called the "Original Agreement");

AND WHEREAS the Developer has requested substantive amendments to the Original Agreement to allow for an addition to the approved building and an increase in the number of residential units on the Lands pursuant to the provisions of the *Halifax Regional Municipality Charter* and pursuant to Polices 2.3.1, 2.3.2 & 2.3.3 of the Halifax Municipal Planning Strategy and Section 92 of the Halifax Peninsula Land Use By-law;

AND WHEREAS the Halifax and West Community Council for the Municipality approved this request at a meeting held on **[Insert - Date]**, referenced as Municipal Case Number **20894** (hereinafter called the "First Amending Agreement");

THEREFORE, in consideration of the benefits accrued to each party from the covenants herein contained, the Parties agree as follows:

1. Except where specifically varied by this First Amending Agreement, all other terms, conditions and provisions of the Original Agreement shall remain in effect.

2. Section 2.2.1 (a) of the Original Agreement shall be amended by deleting the text shown in ~~strikeout~~ and inserting the text shown in bold, as follows:

2.2.1 (a) ~~'streetwall' means the three storey portions the building facing and abutting a street, which does not include minor recesses for elements such as doorways or intrusions such as bay windows.~~
'streetwall' means the three and four storey portions of the building facing and abutting a street, which do not include minor recesses for elements such as doorways or intrusions such as bay windows.

3. Section 3.1 of the Original Agreement shall be amended by deleting the text shown in ~~strikeout~~ and inserting the text shown in bold, as follows:

3.1 The Developer shall develop the lands in a manner, which in the opinion of the Development Officer, conforms with the following Schedules attached to the First Amending Agreement and filed in the Halifax Regional Municipality as Case Number ~~18254~~ **20894**:

Schedule A	Legal Description of the Lands
Schedule B	Site Plan
Schedule C	Landscape Plan
Schedule D	Parking Garage Plan
Schedule E	First Floor Plan
Schedule F	Roof Deck
Schedule G	East Elevation
Schedule H	South Elevation
Schedule I	West Elevation
Schedule J	North Elevation
Schedule K	Exterior Building and Parking Lot Lighting
Schedule B.1	Site Plan
Schedule C.1	First and Fifth Level Landscape Plan
Schedule D.1	Parking Garage Plan
Schedule E.1	First Floor Plan
Schedule F.1	Penthouse Plan
Schedule G.1	East Elevation
Schedule H.1	South Elevation
Schedule I.1	West Elevation
Schedule J.1	North Elevation

4. The schedules of the Original Agreement shall be amended by deleting Schedule B, Schedule C, Schedule D, Schedule E, Schedule F, Schedule G, Schedule H, Schedule I, Schedule J, and Schedule K and inserting Schedule B.1 (attached), Schedule C.1 (attached), Schedule D.1 (attached), Schedule E.1 (attached), Schedule F.1 (attached), Schedule G.1 (attached), Schedule H.1 (attached), Schedule I.1 (attached), and Schedule J.1 (attached).

5. The Original Agreement shall further be amended by:

- a) deleting all references to "Schedule B" and replacing each with a reference to "Schedule B.1"
- b) deleting all references to "Schedule C" and replacing each with a reference to "Schedule C.1"
- c) deleting all references to "Schedule D" and replacing each with a reference to "Schedule D.1"

- d) deleting all references to "Schedule E" and replacing each with a reference to "Schedule E.1"
 - e) deleting all references to "Schedule F" and replacing each with a reference to "Schedule F.1"
 - f) deleting all references to "Schedule G" and replacing each with a reference to "Schedule G.1"
 - g) deleting all references to "Schedule H" and replacing each with a reference to "Schedule H.1"
 - h) deleting all references to "Schedule I" and replacing each with a reference to "Schedule I.1"
 - i) deleting all references to "Schedule J" and replacing each with a reference to "Schedule J.1"
 - j) deleting all references to "Schedule K"
6. Section 3.4.2 of the Original Agreement shall be amended by deleting the text shown in ~~strikeout~~ and inserting the text shown in bold, as follows:
- 3.4.2 A maximum of ~~70~~ **95** residential dwelling units shall be permitted within the multiple-unit residential portion of the building.
7. Section 3.4.3 of the Original Agreement shall be amended by deleting the text shown in ~~strikeout~~ and inserting the text shown in bold, as follows:
- 3.4.3 A minimum of ~~22~~ **40** of the residential units shall consist of 2 or more bedrooms.
8. Section 3.5.6 of the Original Agreement shall be amended by deleting the text shown in ~~strikeout~~, as follows:
- 3.5.6 Notwithstanding Section 3.5.5, the ~~second and third storey balcony guardrails shown on the Gottingen Street and Bloomfield Street~~ associated with the streetwall shall be constructed as shown on the Schedules.
9. Section 3.5.8 of the Original Agreement shall be amended by deleting the text shown in ~~strikeout~~ and inserting the text shown in bold, as follows:
- 3.5.8 Large blank or unadorned walls shall not be permitted. The scale of large walls shall be tempered by the introduction of artwork (murals), textural plantings and trellises, ~~and or~~ architectural detail to create shadow lines (implied windows, cornice lines, offsets in the vertical plane, **horizontal vertical strip patterns, varying masonry materials** etc.).
10. Section 3.5.11 of the Original Agreement shall be deleted.
11. Section 3.6.1 of the Original Agreement shall be amended by deleting the text shown in ~~strikeout~~ and inserting the text shown in bold, as follows:
- 3.6.1 The multiple-unit residential portion of the building shall include outdoor landscaped open space for the residents of the building. Outdoor landscaped open space shall be provided on the ~~second~~ **fifth** floor podium ~~and the building rooftop~~ as shown on the Schedules.
12. Section 3.6.6 of the Original Agreement shall be deleted.
13. Section 3.6.7 of the Original Agreement shall be amended by deleting the text shown in ~~strikeout~~ and inserting the text shown in bold, as follows:
- 3.6.7 Planting on ~~rooftops and~~ podiums above structures shall be carefully selected for their ability to survive in rooftop environments. ~~Rooftop~~ **Podium** trees shall be located in planting

beds or containers. Approximately 50 percent of the plant material shall be evergreen or material with winter colour and form. Deciduous trees shall have a minimum size of 45 mm caliper (1.8 inch diameter). Coniferous trees shall be a minimum of 1.5 m (5 ft.) high and upright shrubs shall have a minimum height of 60 cm. (2 ft.). It is the responsibility of the Developer to ensure that the underground parking structures or other structures are capable of supporting loads from all landscaping as well as the anticipated mature weight of the plant material on any rooftop and podium.

14. Section 3.8.1 of the Original Agreement shall be deleted.
15. Section 3.8.2 of the Original Agreement shall be amended by deleting the text shown in strikeout, as follows:
 - 3.8.2 Lighting ~~required pursuant to Section 3.8.1~~ shall be directed away from adjacent lots and buildings and shall use a full cut-off design. Lighting shall be shown on the site plan and building drawings prior to the issuance of a Development Permit. Lighting required for each multiple unit dwelling shall be installed prior to the issuance of an Occupancy Permit.
16. Section 3.14.1 of the Original Agreement shall be amended by deleting the text shown in strikeout and inserting the text shown in bold, as follows:
 - 3.14.1 Vehicular parking shall include ~~a combination of~~ underground parking ~~and exterior surface parking~~ to accommodate a minimum of ~~70~~ **72** vehicular parking spaces. Up to 25 percent of the parking spaces may be reduced in size to 8 feet by 17 feet.
17. Section 6.2(c) of the Original Agreement shall be deleted.

IN WITNESS WHEREAS the said parties to these presents have hereunto set their hands and affixed their seals the day and year first above written.

SIGNED, SEALED AND DELIVERED in the presence of:

(Insert Registered Owner Name)

Witness

Per: _____

SIGNED, DELIVERED AND ATTESTED to by the proper signing officers of Halifax Regional Municipality, duly authorized in that behalf, in the presence of:

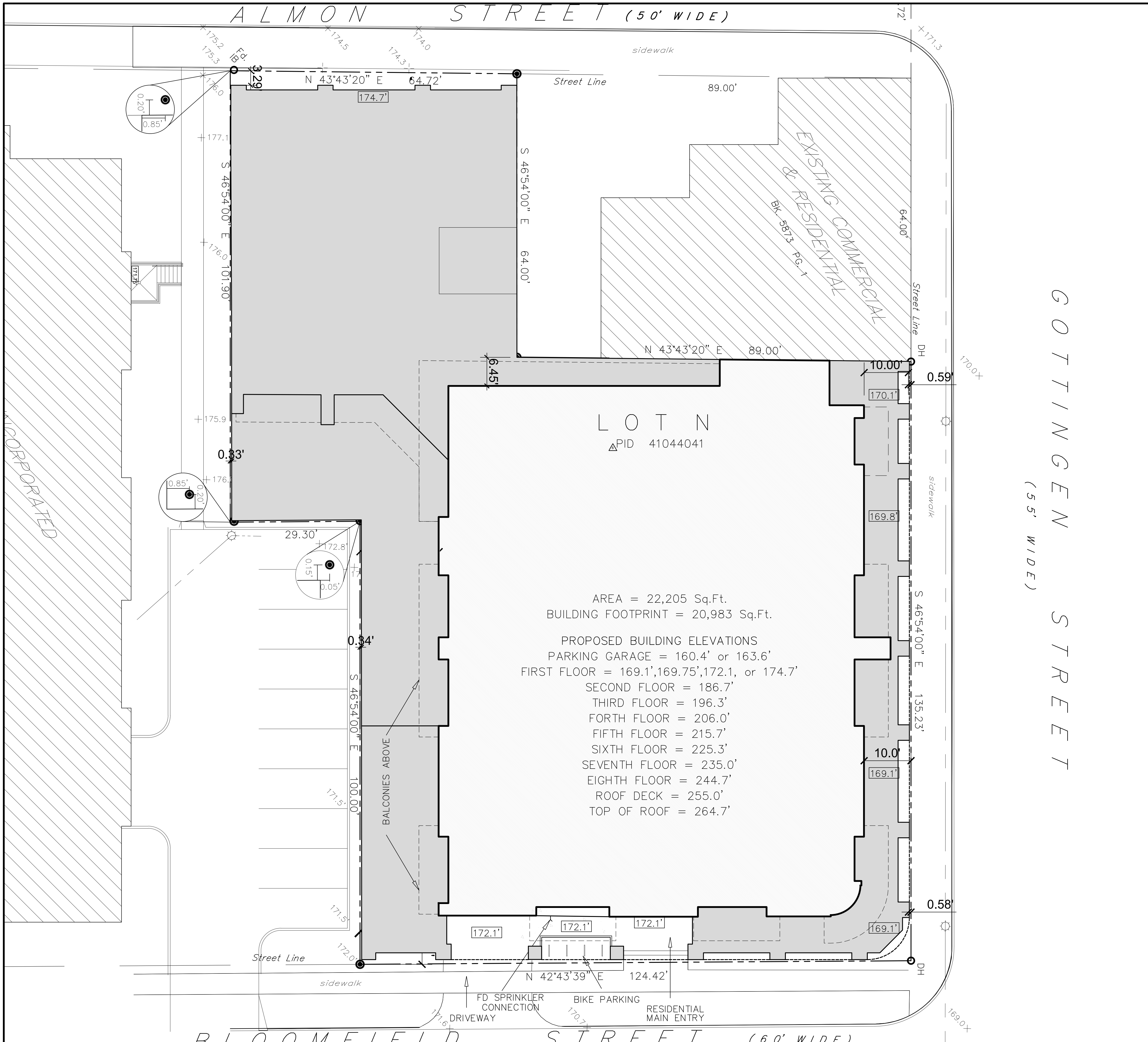
HALIFAX REGIONAL MUNICIPALITY

Witness

Per: _____
MAYOR

Witness

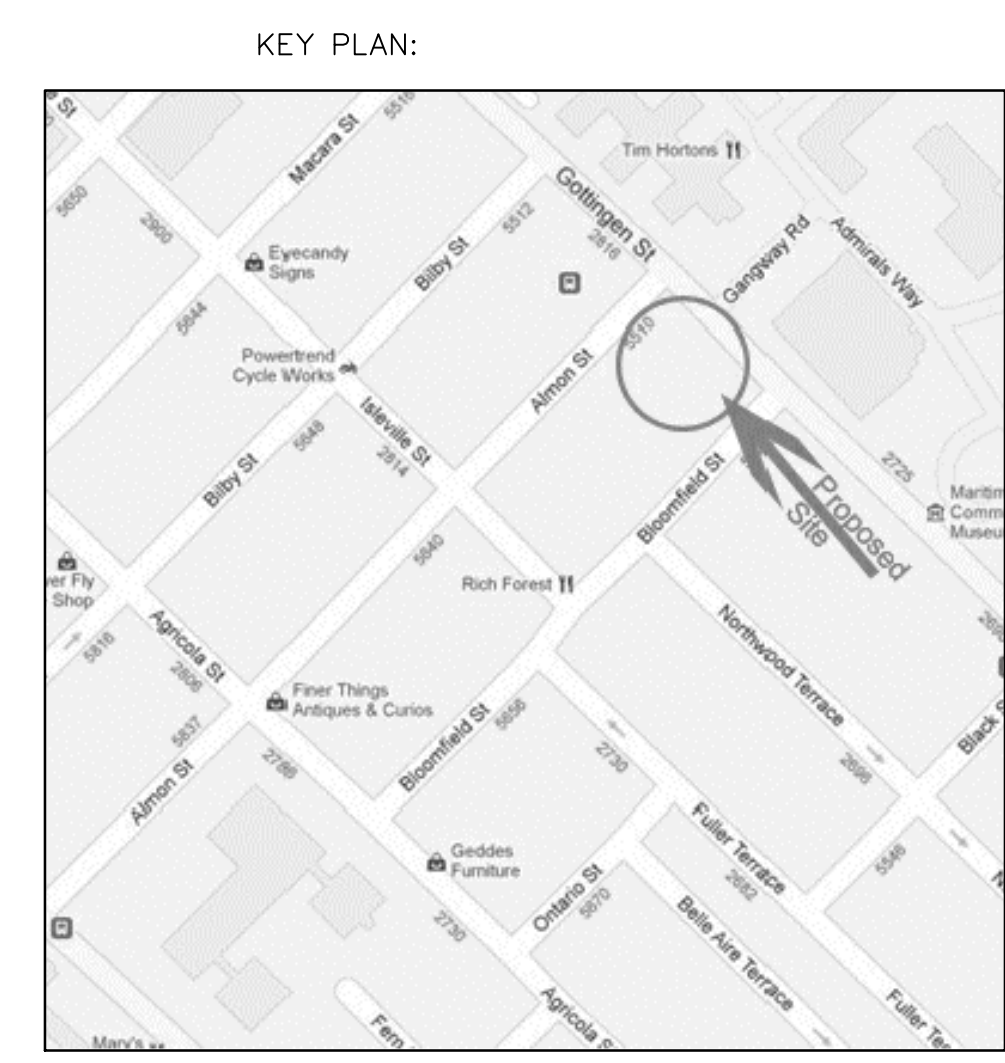
Per: _____
MUNICIPAL CLERK



LOT N
PID 41044041

AREA = 22,205 Sq.Ft.
 BUILDING FOOTPRINT = 20,983 Sq.Ft.
 PROPOSED BUILDING ELEVATIONS
 PARKING GARAGE = 160.4' or 163.6'
 FIRST FLOOR = 169.1', 169.75', 172.1, or 174.7'
 SECOND FLOOR = 186.7'
 THIRD FLOOR = 196.3'
 FORTH FLOOR = 206.0'
 FIFTH FLOOR = 215.7'
 SIXTH FLOOR = 225.3'
 SEVENTH FLOOR = 235.0'
 EIGHTH FLOOR = 244.7'
 ROOF DECK = 255.0'
 TOP OF ROOF = 264.7'

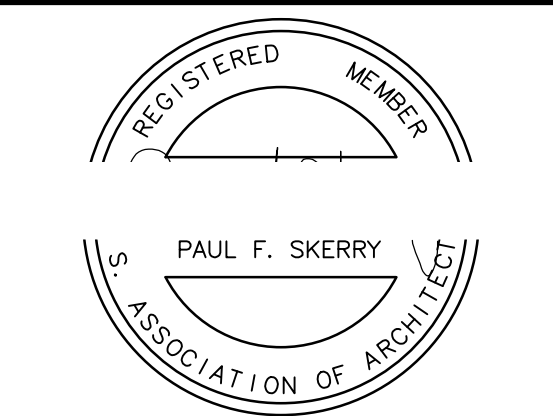
Schedule B.1



LEGEND:
 +175.9 EXISTING ELEVATION
 170.5' PROPOSED ELEVATION

- NOTES:
- 1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING.
 - 2) DO NOT SCALE FROM DRAWINGS. USE FIGURED DIMENSIONS.
 - 3) DRAWING REPRESENTATIONS MAYBE IN VARIANCE W/ DETAILED SPECS. & SCHEDULES, IN WHICH CASE SPECS. & SCHEDULES OVERRIDE THE DRAWINGS.
 - 4) CHANGES FROM THESE PLANS & SPECS. MUST BE AGED TO IN WRITING, & APPROVED BY THE ARCHITECT & OWNER, BEFORE PROCEEDING.
 - 5) ONLY THOSE DRAWINGS MARKED APPROVED FOR CONSTRUCTION, SIGNED & DATED BY THE ARCHITECT ARE TO BE USED FOR CONSTRUCTION.
 - 6) THESE DRAWINGS ARE TO BE READ IN CONJUNCTION W/ THE SPECS.

Paul Skerry Associates Ltd.
ARCHITECTS
 5514 LIVINGSTONE PLACE
 HALIFAX N.S. B3K 2B9
 PHONE: 902-455-4361
 FAX: 902-455-7778
 EMAIL: pskerry@pskerry.ca



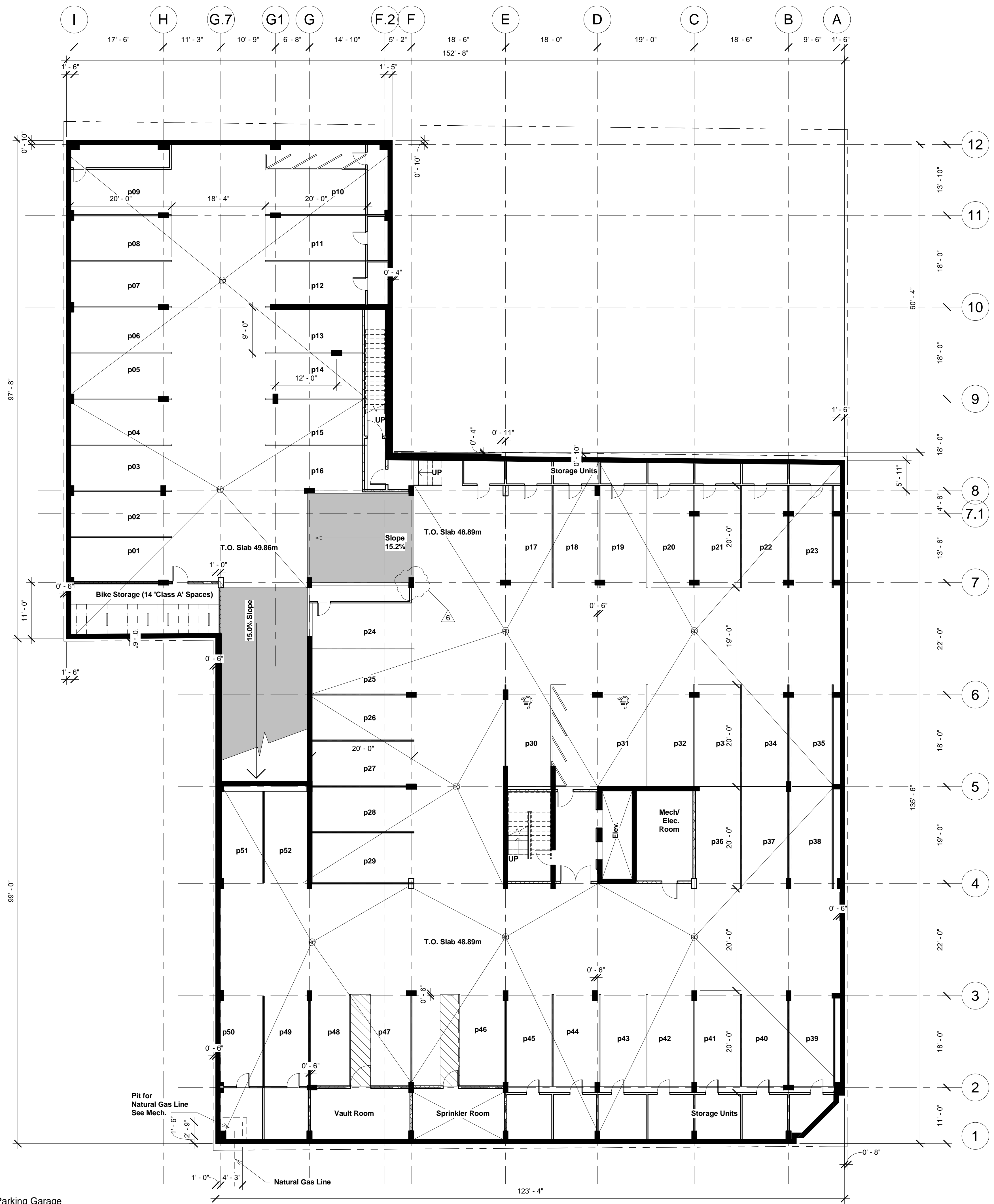
No.	DESCRIPTION	Date
	Change in DA	9/27/16
1	Revised FD Connection	3/10/17
2	Spot Elevations Corrected	5/23/17
6	Revised PIM	6/6/17

REVISIONS

PROJECT
 PROPOSED
 COMMERCIAL/APARTMENT
 LOT N GOTTINGEN ST.
 ALMON & BLOOMFIELD
 HALIFAX, N.S.

TITLE: **SITE PLAN**

drawn by: GJ	checked: PS
date: SEPT. 27, 2016	approved: PS
scale: 1"=10'	dwg #: A1
project #: 3022	

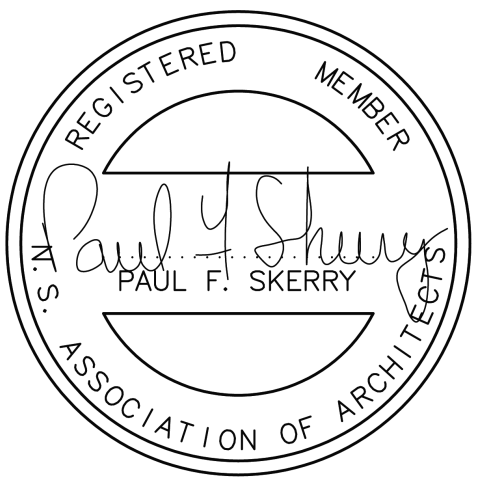


1 Parking Garage
3/32" = 1'-0"

Schedule D.1

NOTES:

- 1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING.
- 2) DO NOT SCALE FROM DRAWINGS USED FIGURED DIMENSIONS.
- 3) DRAWING REPRESENTATIONS MAYBE IN VARIANCE W/ DETAILED SPECS. & SCHEDULES. IN WHICH CASE SPECS. & SCHEDULES OVERRIDE THE DRAWINGS.
- 4) CHANGES FROM THESE PLANS & SPECS. MUST BE AGREED TO IN WRITING, & APPROVED BY THE ARCHITECT & OWNER, BEFORE PROCEEDING.
- 5) ONLY THOSE DRAWINGS MARKED APPROVED FOR CONSTRUCTION. ARE TO BE USED FOR CONSTRUCTION.
- 6) THESE DRAWINGS ARE TO BE READ IN CONJUNCTION W/ THE SPECS.



No.	Description	Date
	Change in DA	9/27/2016
	Issued for Building Permit	11/4/2016
1	Revised per HRM Comments	3/9/2017
	Issued for Construction	5/9/2017
2	Natural Gas Connection	5/23/2017
5	Rotate Column 7 F&E	6/5/2017
6	Revised per HRM Comments	6/6/2017

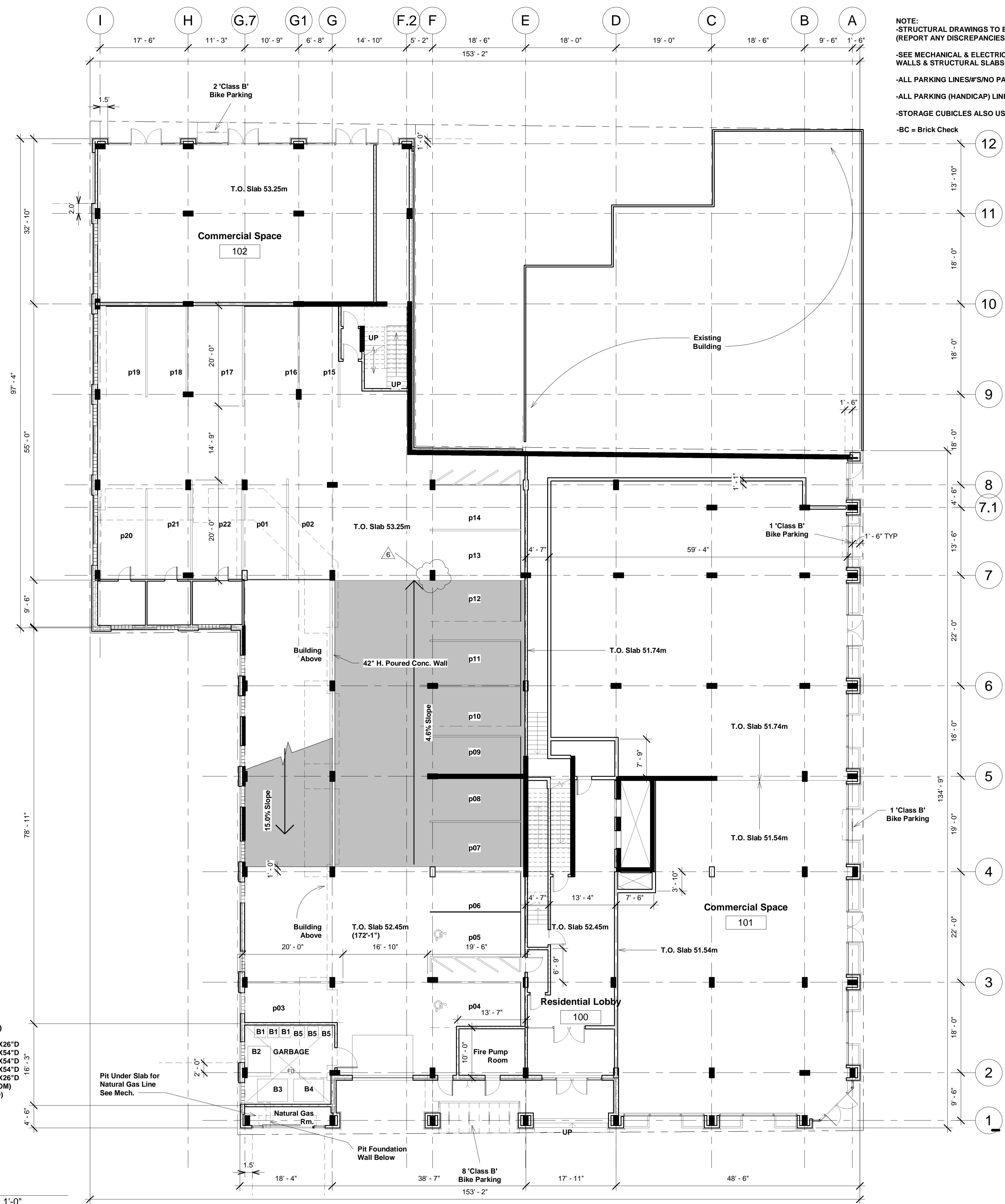
Proposed
Commercial/Apartment
Lot N
Almon & Bloomfield
Halifax, N.S.

Parking Garage

Scale	3/32" = 1'-0"
Date	September 27, 2016
Drawn by	GJ
Checked by	PS

A2.0

Project number	3022
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NOTE:
 -STRUCTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS. (REPORT ANY DISCREPANCIES IMMEDIATELY)
 -SEE MECHANICAL & ELECTRICAL DRAWINGS FOR LOCATION & SIZE OF ALL HOLES IN FOUNDATION WALLS & STRUCTURAL SLABS. (SOME HOLES ARE INDICATED ON ARCHITECTURAL, FOR FINAL LOCATIONS/SIZE SEE MECH/ELECT. DWGS.)
 -ALL PARKING LINES/#S/NO PARKING LINES TO BE PAINTED ON SLAB (YELLOW)
 -ALL PARKING (HANDICAP) LINES/#S/DESIGNATION TO BE PAINTED ON SLAB (BLUE)
 -STORAGE CUBICLES ALSO USED FOR BICYCLE STORAGE
 -BC = Brick Check

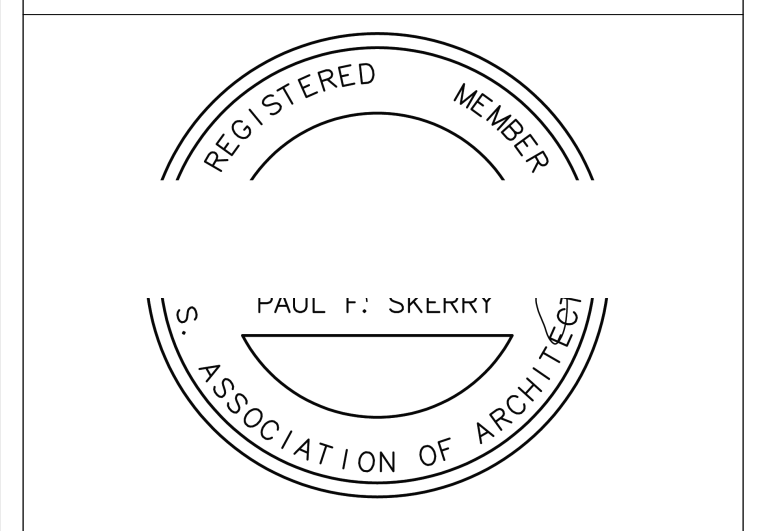
Schedule E.1

Paul Skerry Associates Ltd.
ARCHITECTS
 5514 LIVINGSTONE PLACE
 HALIFAX N.S. B3K 2B9

pskerry@pskerry.ca

PAUL SKERRY ASSOCIATES
 5514 Livingstone Place
 Halifax, Nova Scotia B3K 2B9
 ph: 902-455-4361
 fax: 902-455-7778
 email: drawing@pskerry.ca

- NOTES:**
- 1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL ALL DIMENSIONS ON SITE & REPORTING ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING.
 - 2) DO NOT SCALE FROM DRAWINGS USED FIGURED DIMENSIONS.
 - 3) DRAWING REPRESENTATIONS MAYBE IN VARIANCE W/ DETAILED SPECS. & SCHEDULES. IN WHICH CASE SPECS. & SCHEDULES OVERRIDE THE DRAWINGS.
 - 4) CHANGES FROM THESE PLANS & SPECS. MUST BE AGREED TO IN WRITING, & APPROVED BY THE ARCHITECT & OWNER, BEFORE PROCEEDING.
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No.	Description	Date
	Change in DA	9/27/2016
1	Revised per HRM Comments	3/9/2017
2	Natural Gas Connection	5/23/2017
4	Brick Check Heights	5/31/2017
5	Rotate Column 7 F&E	6/5/2017
6	Revised per HRM Comments & F7 Column Rotation	6/6/2017

Proposed
 Commercial/Apartment
 Lot N
 Almon & Bloomfield
 Halifax, N.S.

First Floor Plan

Scale 3/32" = 1'-0"
 Date September 27, 2016
 Drawn by GJ
 Checked by PS

A3.0

Project number 3022

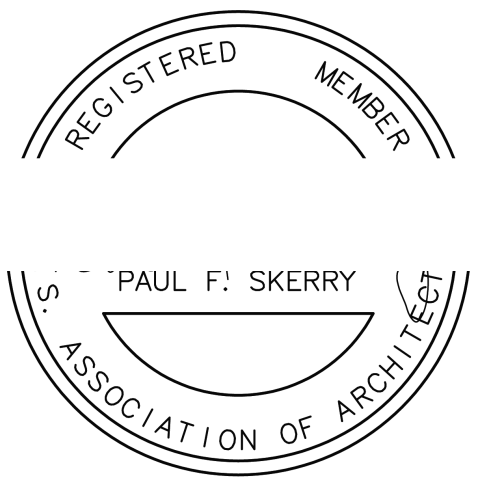
Schedule G.1

pskerry@pskerry.ca

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 fax: 902-455-7778
 email: drawing@pskerry.ca

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No.	Description	Date
	Change in DA	9/27/2016
1	Revised per HRM Comments	3/9/2017
6	Revised per HRM Comments	6/6/2017



LEGEND:

- 1 - PRECAST PANELS OR MASONRY BRICK - TYPE 1
- 2 - STONE BASE
- 3 - 42" H. ALUMINUM/GLASS RAILING
- 4 - VINYL WINDOW/DOOR
- 5 - ALUMINUM GLAZING SYSTEM
- 6 - EXTERIOR LIGHTING FIXTURE
- 7 - STUCCO BAND
- 8 - MASONRY BRICK - TYPE 2
- 9 - FIBER CEMENT SIDING
- 10- 42" H. METAL RAILING
- 11- FIBER CEMENT PANELS
- 12- PLANTER
- 13- PRECAST PANELS OR MASONRY BRICK - TYPE 3
- 14- NON-COMBUSTIBLE SCREEN
- 16- GLASS BLOCK (90 Min. Fire Rated)

1 East Elevation DA
 3/32" = 1'-0"

Proposed
 Commercial/Apartment
 Lot N
 Almon & Bloomfield
 Halifax, N.S.

East Elevation

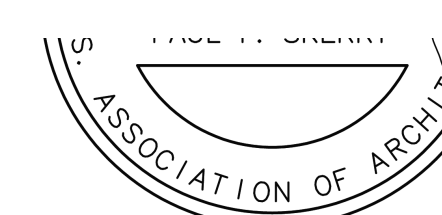
Scale	3/32" = 1'-0"
Date	September 27, 2016
Drawn by	GJ
Checked by	PS

A4.0

Project number	3022
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No.	Description	Date
	Change in DA	9/27/2016
1	Revised per HRM Comments	3/9/2017
3	Brick Checks	5/26/2017

Schedule H.1

LEGEND:

- 1 - PRECAST PANELS OR MASONRY BRICK - TYPE 1
- 2 - STONE BASE
- 3 - 42" H. ALUMINUM/GLASS RAILING
- 4 - VINYL WINDOW/DOOR
- 5 - ALUMINUM GLAZING SYSTEM
- 6 - EXTERIOR LIGHTING FIXTURE
- 7 - STUCCO BAND
- 8 - MASONRY BRICK - TYPE 2
- 9 - FIBER CEMENT SIDING
- 10- 42" H. METAL RAILING
- 11- FIBER CEMENT PANELS
- 12- PLANTER
- 13- PRECAST PANELS OR MASONRY BRICK - TYPE 3
- 14- NON-COMBUSTIBLE SCREEN
- 16- GLASS BLOCK (90 Min. Fire Rated)



① South Elevation DA
 3/32" = 1'-0"

Proposed
 Commercial/Apartment
 Lot N
 Almon & Bloomfield
 Halifax, N.S.

South Elevation

Scale	3/32" = 1'-0"
Date	September 27, 2016
Drawn by	GJ
Checked by	PS

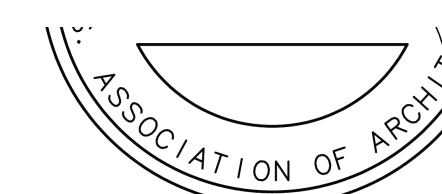
A4.1

Project number	3022
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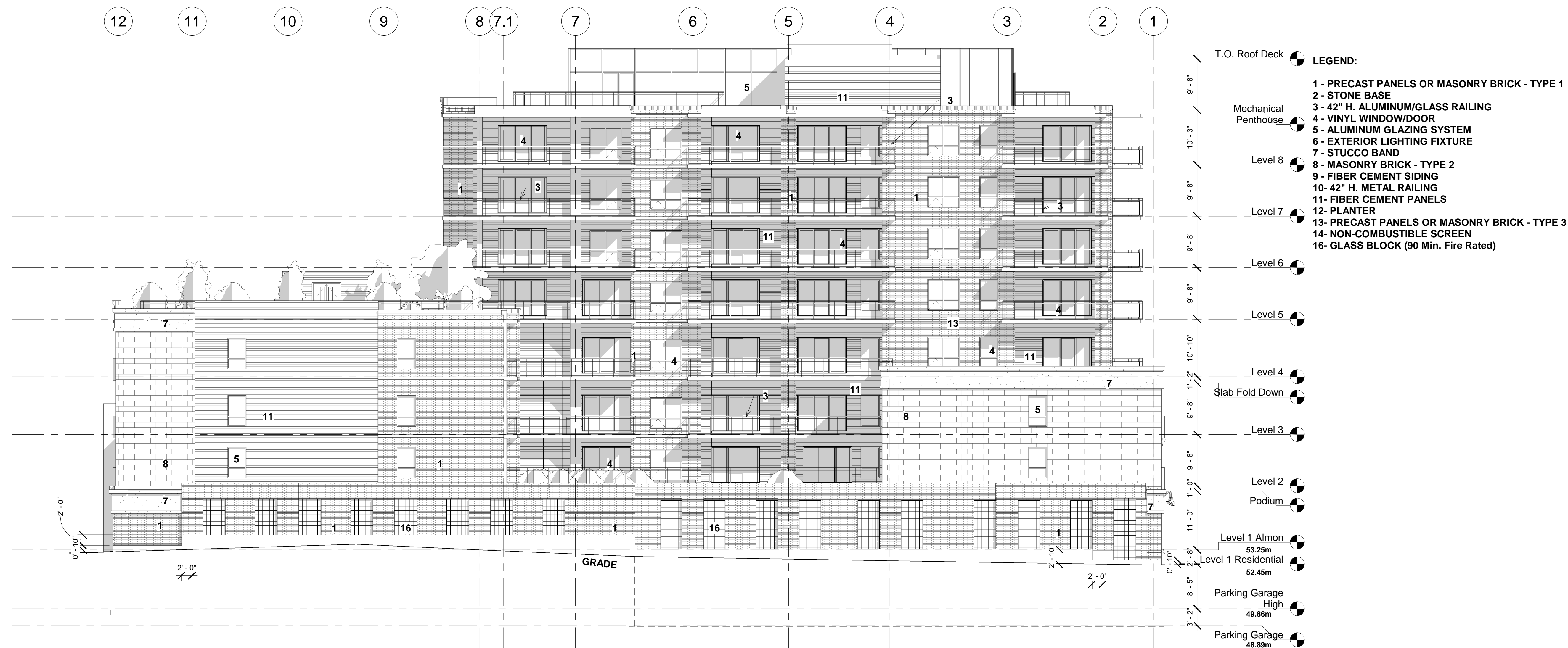
Schedule I.1

NOTES:

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No.	Description	Date
1	Change in DA	9/27/2016
1	Revised per HRM Comments	3/9/2017
3	Brick Checks	5/26/2017



1 West Elevation DA
 3/32" = 1'-0"

Proposed
 Commercial/Apartment
 Lot N
 Almon & Bloomfield
 Halifax, N.S.

West Elevation

Scale	3/32" = 1'-0"
Date	September 27, 2016
Drawn by	GJ
Checked by	PS

A4.2

Project number	3022
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Attachment B

Review of Relevant Sections of the Halifax Municipal Planning Strategy

Halifax MPS – Section XI (Peninsula North Secondary Planning Strategy)	
<u>Commercial Facilities – Policies 2.3.1, 2.3.2 & 2.3.3</u>	
<i>Objective: A variety of appropriately located commercial facilities to serve the needs of both the resident and working populations of Peninsula North and the City as a whole.</i>	
Policy Criteria:	Staff Comment:
<p>2.3 <i>In areas designated major commercial, uses consistent with Section II, Policy 3.1.3 shall be permitted.</i> <i>[Section II, 3.1.3: Major commercial centres should service a market area comprising most or all of the City. These centres may include major offices and hotels, in addition to uses suggested for minor commercial centres. The City should encourage parking facilities in these centres to serve several businesses in order to limit nuisance impact. The City's policy for major commercial centres in all other respects should be identical to Policy 3.1.2.]</i></p>	<p>Schedule 'Q' was established to address the challenge of introducing new residential uses into existing commercial and industrial areas. It should be noted that applying Schedule 'Q' to a property replaces the requirements of the C-2 Zone by requiring that projects of greater than 4 dwelling units be considered by Development Agreement.</p> <p>This policy driven approach to development allows modification of the standards of the land use by-law requirements and enables Council to consider impacts of any development proposal on a case-by-case basis through the planning process. The proposed amendments to the Existing Development Agreement can be administered by the Development Officer if approved by Council.</p> <p>The original agreement permits a surface parking lot with 16 spaces; however, the current proposal is to infill the surface lot with a four-storey addition and locate all parking underground. Alternative transportation options are available at this location. Transit buses run every thirty minutes along Gottingen Street. Bicycle parking is also provided for the development as per the requirements of the land use by-law.</p>
<p>2.3.1 <i>In order to promote investment in commercial and residential redevelopment and to prevent conflict between new and existing uses the city may, through the land use by-law, identify areas that provide an opportunity for and will benefit from comprehensive site planning.;</i></p>	<p>Comprehensive site planning was required as part of the planning application process under the existing development agreement (DA).</p>
<p>2.3.2 <i>In those areas identified in the land use by-law pursuant to Policy 2.3.1 all residential and mixed residential-commercial development over four units shall be by agreement.</i></p>	<p>The request is for substantive amendments to the Existing Development Agreement enabling a mixed use residential-commercial development which is subject to the same process as a Development Agreement.</p>
<p>2.3.3 <i>In considering agreements pursuant to Policy 2.3.2, Council shall consider the following:</i></p>	
<p><i>(i) the relationship of new development to adjacent properties and uses; and, the mitigation of impacts on the amenity, convenience and development potential of adjacent properties through effective urban design and landscape treatment;</i></p>	<p>The subject site is located on the block bounded by Gottingen St., Bloomfield St., Isleville St., and Almon St. This block and the block to the north are designated and zoned for major commercial uses. The block to the west is partially designated and zoned for major commercial uses and is partially designated and zoned for medium density uses. The block to the south is designated medium density residential and zoned R-2, which</p>

	<p>includes a local commercial use located immediately south of the site (southwest corner of Gottingen Street and Bloomfield Street). The block to the east is designated and zoned Canadian Forces Base.</p> <p>A mix of commercial, residential, and military uses surround the subject site. The proposed changes to the development do not impact adjacent developments any more than the approved development. Overall, the proposed amendments offer better urban design, more landscaped open space, an improved transition from surrounding lower density residential buildings, and are more pedestrian friendly. The proposed changes to the development do not impact the development potential of adjacent properties.</p> <p>The proposed amendments seek to alter the site plan by removing the approved surface parking lot (16 spaces) and infilling this area with a four-storey addition. Continuity is felt important on street frontage and the visual void or gap of the parking lot will be replaced by a façade that transitions between the two existing building heights along Almon St. The effect will create a street presence defined by the new frontage that provides a better pedestrian experience while avoiding a monolithic edge between two existing buildings. A distance of 24.5 feet is maintained between the Northwood building and the addition.</p> <p>The proposed expanded footprint will also re-locate the outdoor amenity space, identified as the landscaped podium on Schedule C of the existing DA, to the 5th floor of the proposed addition. An additional 327 square feet of landscaped open space will be provided with the proposed amendment.</p> <p>Extending the streetwall along Bloomfield St. allows for a better transition from the lower density residential building across the street to the eight-storey building. The streetwall extension is more appropriate in relating to the fine grain nature and scale of the buildings on the other side of Bloomfield Street.</p> <p>The proposed addition along Almon Street is setback approximately 3.3 feet from the property line allowing space for outdoor patio space for potential restaurant or café tenants and additional landscaping along the sidewalk. A variety of materials are proposed for this façade including masonry brick, aluminum glazed systems, and stucco. Infilling this area with the landscaping treatments provides a better pedestrian experience along Almon Street.</p>
<p><i>(ii) the appropriate integration of the development into the traditional grid street system of the Peninsula;</i></p>	<p>The proposed four storey addition, with ground floor commercial use, fronting on Almon Street provides a stepped transition from the existing structure at the corner of Almon and Gottingen Streets to the taller portion of the proposed building. This extended footprint brings the building to the edge of the public realm rather than the parking lot approved under the existing Development Agreement. Most of the commercial, residential</p>

	<p>and mixed use buildings located on the subject block and surrounding blocks within the grid street system have building edges parallel and close to the streetline. Infilling the previously approved parking lot with building is more compatible with the traditional grid system.</p> <p>The proposed changes to the streetwalls along Almon Street and Bloomfield Street are reasonably consistent with the existing grain. They provide greater articulation along the street than the approved development, through the introduction of more balconies, window openings and materials along the street.</p>
<p><i>(iii) the design and layout of the development should encourage vehicular traffic to use Principal Streets and discourage traffic from infiltrating through existing neighbourhoods;</i></p>	<p>Gottingen Street is identified in the MPS as a principal street. The Existing Development Agreement authorized driveways on both Almon and Bloomfield Streets. The amendments propose one driveway access to underground parking off Bloomfield Street which minimizes infiltration through neighbourhoods. An amendment or addendum to the original Traffic Impact Study (TIS), prepared by the developer's consultant, was reviewed by HRM and deemed acceptable.</p>
<p><i>(iv) the creation of high quality design detail at street level through attention to such matters as landscaping, signs, building entrances, and vehicle layby areas;</i></p>	<p>The approved agreement requires adherence to landscaping requirements, which includes the provision of landscape planters at street level along Gottingen Street and part of Bloomfield Street. The proposed landscape plan includes additional landscaping along Almon Street and Bloomfield Street that the existing agreement does not require.</p> <p>Signs are limited fascia and are not back-lit, with the exception of channel letter signs on the north side of the building near the roofline.</p> <p>Recessed building entrances are proposed for aesthetic purposes. There will be no on-street vehicle lay-bys. Instead, internal drop-off and loading areas will be utilized.</p>
<p><i>(v) the provision of high quality open space and leisure areas of a size and type adequate for the resident population;</i></p>	<p>The approved 2nd floor landscaped podium of the existing Development Agreement is proposed to be relocated to a landscaped podium on the 5th floor. An additional 327 sq. ft. of landscaped open space is provided on the proposed 5th floor podium in comparison to the approved 2nd floor podium. Additional balconies are proposed along Bloomfield St. and Almon St. The additional open space is adequate for the proposed increase in units.</p>
<p><i>(vi) residential and commercial densities consistent with municipal services;</i></p>	<p>A sewer capacity analysis prepared by the developer is required at the time of permitting that will address the proposed increased residential and commercial densities.</p>
<p><i>(vii) encouraging high quality exterior construction materials such as masonry; and</i></p>	<p>Proposed exterior materials for the addition and extension of the streetwall along Bloomfield St. are of high quality and include masonry brick, stone, fibre cement panels, and glass with metal rails.</p>
<p><i>(viii) other relevant land use considerations which are based on the policy guidance of this Section.</i></p>	<p>None identified.</p>