

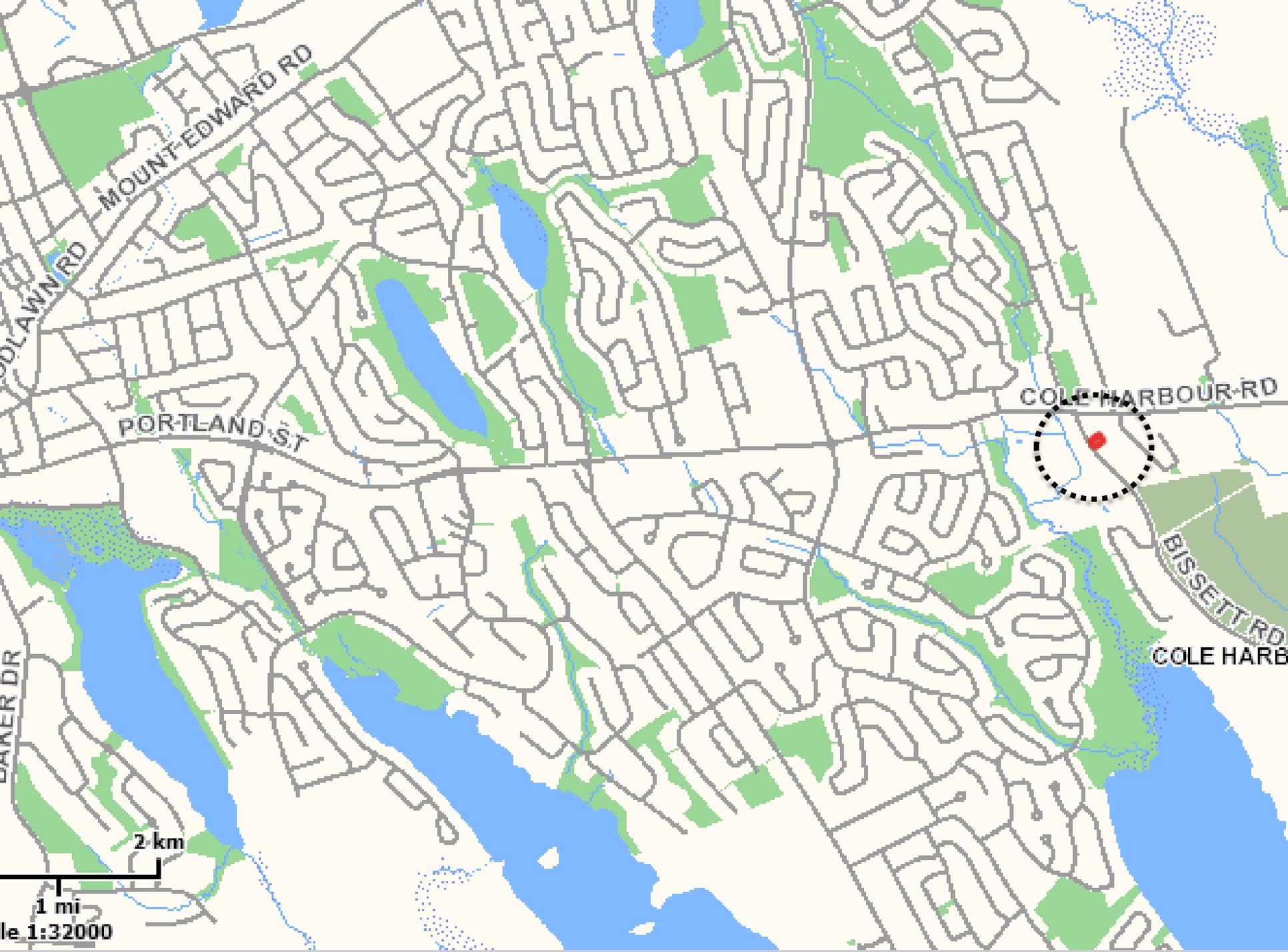
HALIFAX

PUBLIC HEARING

**Case 20136: Application to
Rezone 26 Bissett Road
from R-2 (Two Unit Dwelling)
Zone to R-4 (Multiple Unit
Dwelling) Zone in Cole
Harbour**

Shayne Vipond, Planner III

Date January 5, 2017



MOUNT EDWARD RD

PORTLAND ST

COLE HARBOUR RD

BISETT RD

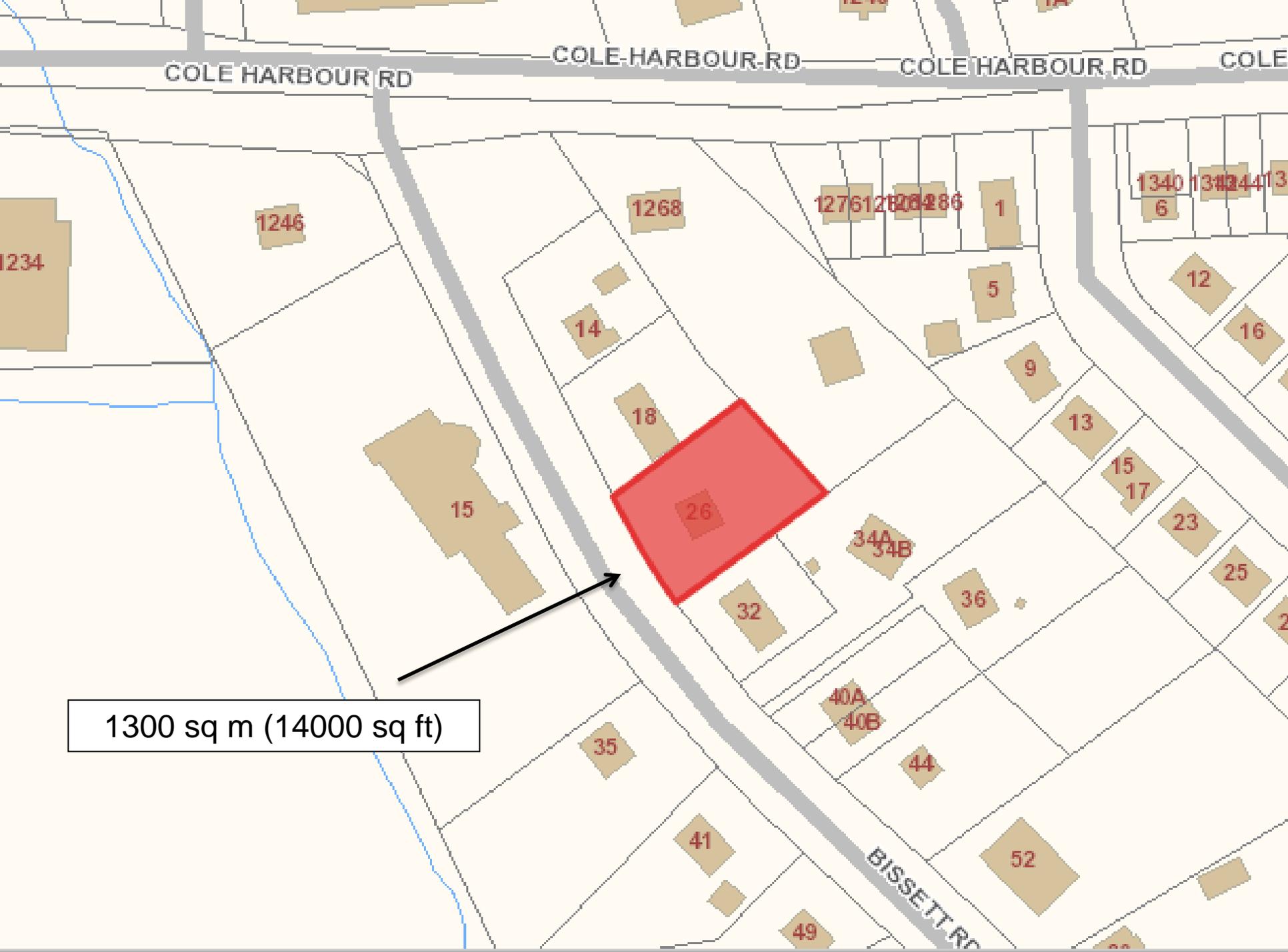
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COLE HARBOUR RD

COLE HARBOUR RD

COLE HARBOUR RD

COLE

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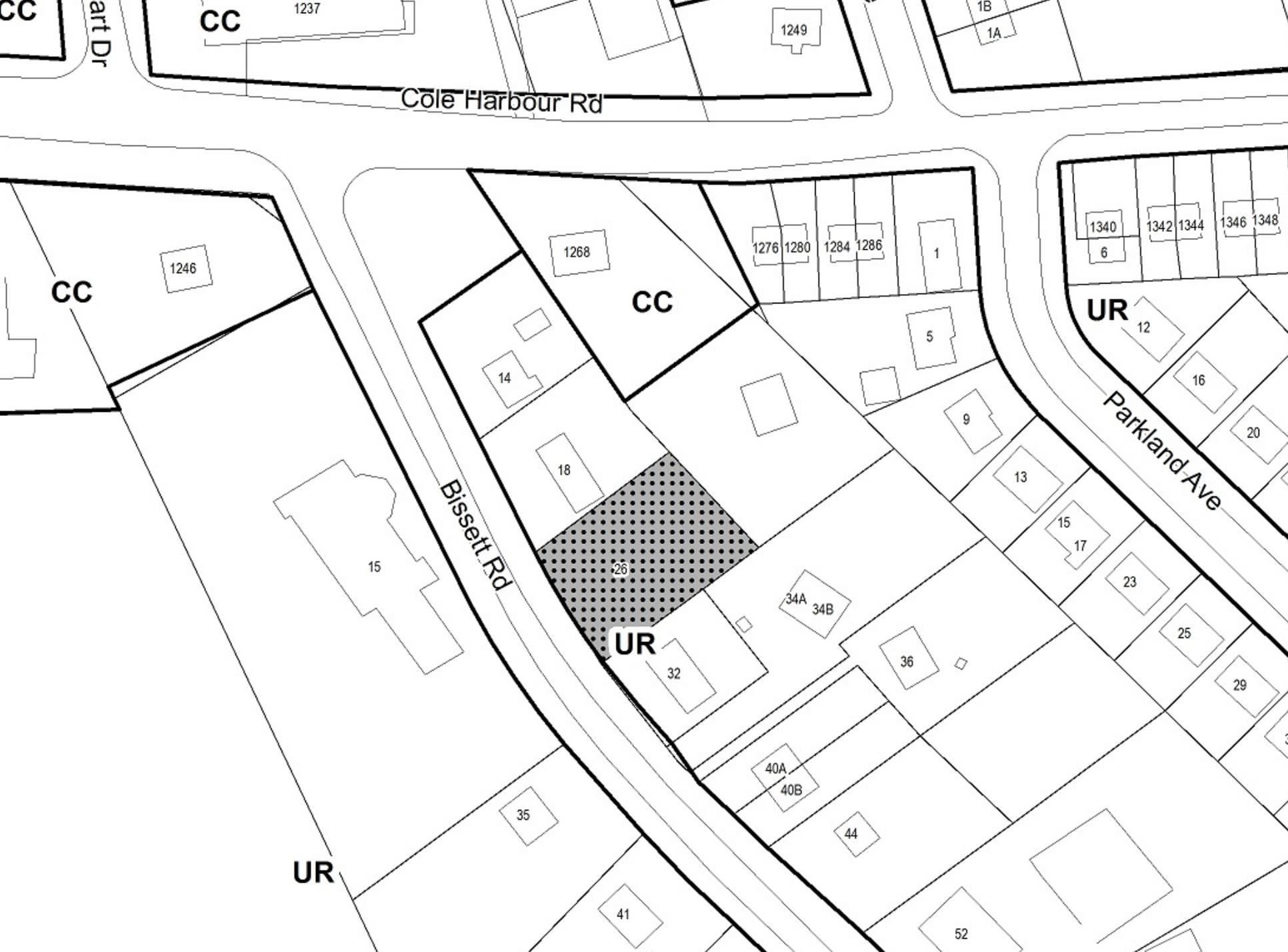
41

52

49

BISSETT RD

1300 sq m (14000 sq ft)





Southern Comfort's Proposal

- The change in zoning is requested to allow the development of a multiple unit dwelling containing four units.
- The rezoning may be considered by Council under Policies UR-9 and IM-11 of the Cole Harbour/ Westphal Municipal Planning Strategy.

MPS Policy UR-9 a new multiple unit dwelling to a maximum of six (6) units subject to the following:

- (a) **adequacy of separation** from low density residential developments;
- (b) height, bulk, lot coverage and appearance of any **building is compatible with adjacent land uses**;
- (c) **municipal central services** availability;
- (d) **direct access to a minor** or major collector;
- (e) the impact on **traffic circulation and sight distances** of site exits; and
- (f) impact of the development on **overall housing mix** within the community; and
- (g) the provisions of **Policy IM-11**.

Relevant Evaluation Criteria considered under MPS Policy IM-11

- housing type mix
- general character of community;
- capacity of municipal sewer and water
- stormwater and general drainage;
- schools,
- community facilities;
- road networks (to, or within)
- traffic generation, access to and egress;

- Impacts and/ or conflict with any adjacent or nearby land uses by reason of:
 - type of use;
 - height, bulk and lot coverage of any proposed building;
 - marshes or bogs and susceptibility to flooding;
 - buffering, landscaping, screening

- use, bulk, and scale of the proposal
- erosion or sedimentation control
- useable amenity space
- hours of operation
- any other relevant matter of planning concern.

Potential - Six (6) Unit Dwelling

- Once a property is rezoned, all land uses permitted under the new zone may be developed on the site subject to meeting the regulations of the LUB. The *HRM Charter* does not allow for conditions to be placed on a rezoning.
- Property could be sold – six units would be permitted.
To mitigate this risk staff has evaluated the proposal as though it were a six (6) unit building in accordance with the Cole Harbour/ Westphal MPS.

Zone Standards	R-2 Zone Two Unit Dwellings	R-4 Zone Up to Six Dwelling Units
Maximum Height of Main Building	10.7 m (35 feet)	10.7 m (35 feet)
Minimum Front or Flankage Yard	9.1 m (30 feet)	9.1 m (30 feet)
Minimum Rear or Side Yard	3 m (10 feet), and the side yard shall be reduced to zero (0) on the side being common with another dwelling unit	1/2 the height of the main building
Maximum Lot Coverage	35 percent	50 percent
Fencing, or visual and physical barrier requirements	None	Screen rear parking

Staff Recommendation

The proposal is consistent with the intent of the MPS. Therefore, staff recommend that the HEMDCC approve the proposed rezoning from R-2 (Two Unit Dwelling) Zone to R-4 (Multiple Unit Dwelling) Zone.

Questions