

2009

Norman's Lane, Eastern Passage

Triplex(960 sq.ft)

-Designed for Seniors/People with  
mobility issues and 1<sup>st</sup> time home  
buyers

Sold between \$150,000-\$159,000

LEGEND

- EXISTING ELEVATION .....100
- PROPOSED ELEVATION .....101
- FOUNDATION WALL HEIGHT .....WH
- TOP OF WALL ELEVATION .....TV
- PROPOSED BASEMENT FLOOR ELEVATION .....BFL.E.L.
- CURB OPENING FOR DRIVEWAY .....
- DIRECTION OF DRAINAGE .....
- SWALE ON PROPERTY LINE .....
- WATER STAND PIPE .....VSP
- FIRE HYDRANT .....FH
- CATCH BASIN .....
- MANHOLE .....MH
- WATERMAIN .....
- SANITARY SEWER .....
- STORM SEWER .....
- PROPOSED LATERAL TRENCH .....
- CENTERLINE .....
- EXISTING CONTOUR .....90
- PROPOSED DOWNSPOUT .....DPS
- HYDROPOLE .....HP

NOTES

- 1) LANDSCAPING MUST BE PERFORMED IN SUCH A WAY TO ENSURE POSITIVE DRAINAGE OF STORMWATER FROM AROUND DWELLING.
- 2) SERVICE LATERALS MUST BE EXPOSED PRIOR TO EXCAVATION FOR FOOTINGS TO ENSURE A PROPER CONNECTION CAN BE MADE TO DWELLING.
- 3) MINIMUM VERTICAL DISTANCE FROM TOP OF FOUNDATION WALL TO GRADE TO BE 6" EXCEPT AT GARAGE ENTRANCES.
- 4) CONTRACTOR TO VERIFY FOUNDATION DIMENSIONS AGAIN WITH BUILDING PLANS PRIOR TO CONSTRUCTION.
- 5) CONTOURS ARE BASED ON TOPOGRAPHICAL SURVEYS WITH AN INTERVAL OF 2 FEET AND REPRESENT EXISTING GRADES PRIOR TO HOUSE CONSTRUCTION.
- 6) ALL DISTURBED AREAS TO BE FINISHED WITH EITHER GRAVEL, ASPHALT OR TOPSOIL AND SOD, UNLESS OTHERWISE INDICATED.
- 7) IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE BUILDER SHALL ADVISE THE DESIGNER IMMEDIATELY.

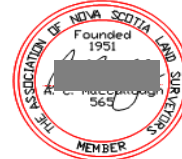
LOT GRADING PLAN SHOWING PROPOSED DWELLING LOCATION

LOT B1-1-A  
 NORMAN NAUGLE SUBDIVISION  
 CIVIC 4, NORMANS LANE  
 EASTERN PASSAGE  
 HALIFAX REGIONAL MUNICIPALITY  
 NOVA SCOTIA

ALLAN MacCULLOUGH  
 Nova Scotia Land Surveyor

SCALE: 1 in. = 20 ft.  
 DATE: June 23, 2008

ALLAN C. MacCULLOUGH N.S.L.S.



APPLICANT:  
 SOUTHERN COMFORT CONSTRUCTION  
 C/O Fred Southern

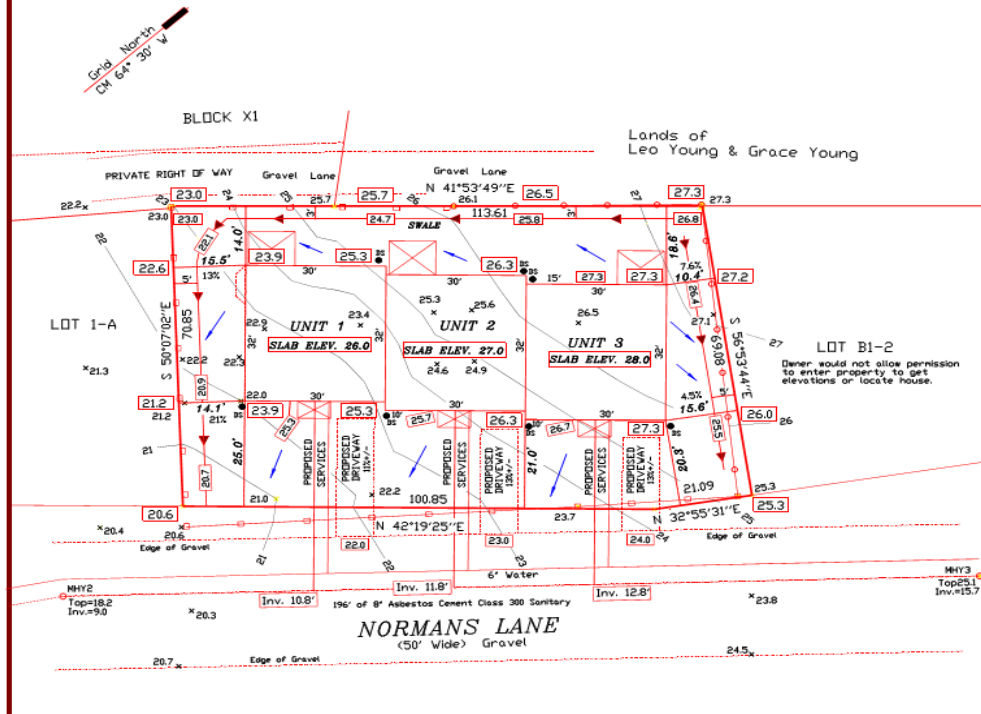
File No.08-23-06

MUNICIPALITY USE ONLY

- |                                       |   |
|---------------------------------------|---|
| 1) APPLICATION FOR LOT GRADING PERMIT | 2) PERMISSION IS GRANTED TO COMPLETE THE LOT GRADING AND DRAINAGE WORK IN COMPLIANCE WITH THIS PLAN AND THE LOT GRADING BY-LAW. |
| APPLICANT .....                       | ENGINEER .....  |
| DATE .....                            | DATE .....  |
| BUILDING PERMIT # .....               | CONDITIONS .....  |

SERVICE LATERALS

Sanitary ..... 5" PVC SDR28 (Minimum)  
 Water ..... 3/4" Type K copper





2010-2014

Silco sub-division

Ridding Road, Eastern Passage

Ranch Style homes (1400-1700sq.ft/1  
Floor living)

- Retiring/Down sizing/People with  
mobility issues

Sold between \$260,000-\$300,000



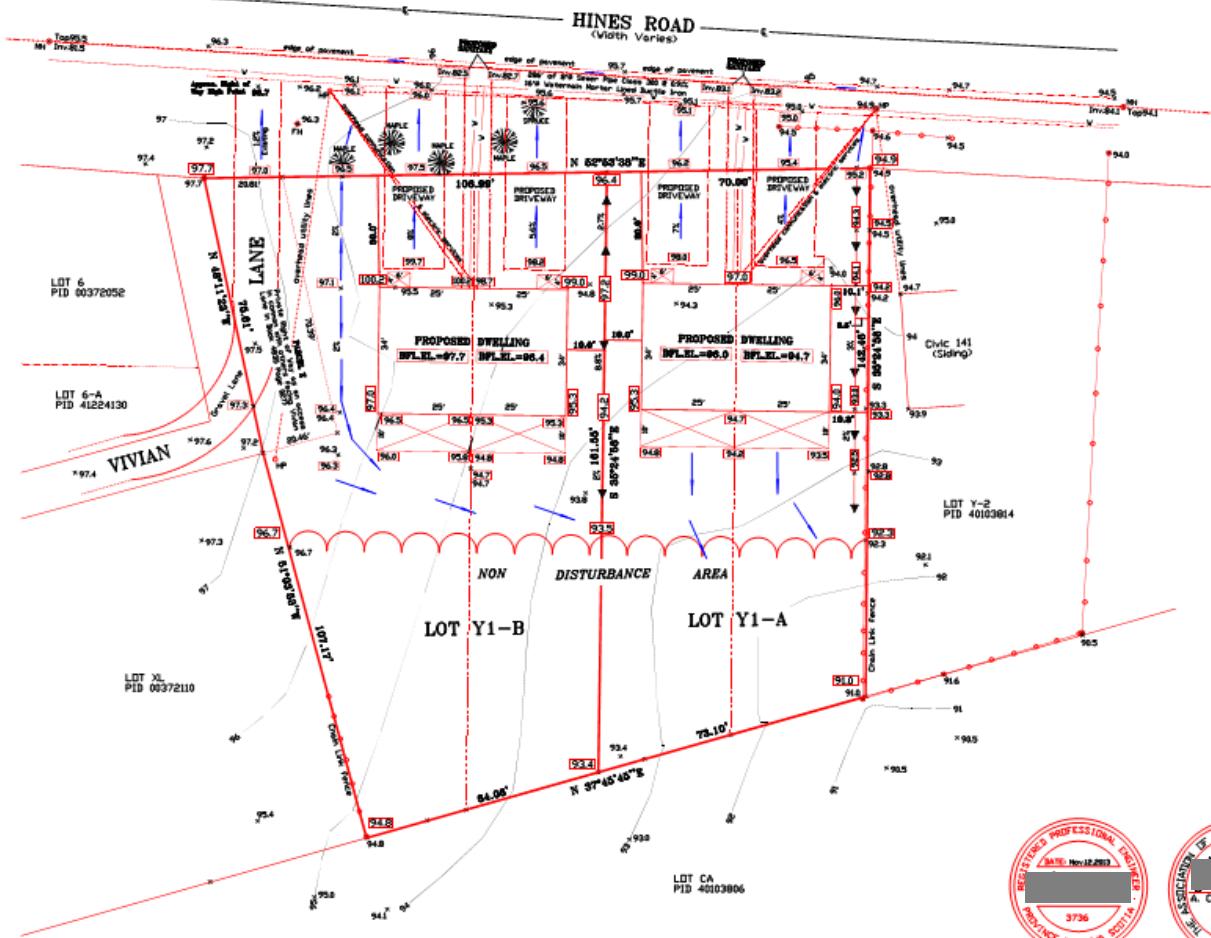
2015-2016

Hines Road, Shearwater

Ranch style semi-detached (1100  
sq.ft/1 Floor living)

- Seniors/People with mobility  
issues/1<sup>st</sup> time home buyers

Sold for \$199,000



Grid North  
 On 64° 30' 0"



KEY PLAN SCALE: 1" = 25,000'

LEGEND	NOTES
EXISTING ELEVATION	1) LANDSCAPING MUST BE PERFORMED IN SUCH A WAY TO ENSURE POSITIVE DRAINAGE OF STORMWATER FROM AROUND SWELLING.
PROPOSED ELEVATION	2) SERVICE LATERALS MUST BE EXPEDITED PRIOR TO EXCAVATION FOR FOUNDATION TO ENSURE A PROPER CONNECTION CAN BE MADE TO SWELLING.
FOUNDATION WALL HEIGHT	3) MINIMUM VERTICAL DISTANCE FROM TOP OF FOUNDATION WALL TO GRADE TO BE 6" EXCEPT AT GARAGE ENTRANCES.
TOP OF WALL ELEVATION	4) CONTRACTOR TO VERIFY FOUNDATION SWELLING SHOWN WITH BUILDING PLANS PRIOR TO CONSTRUCTION.
PROPOSED BASEMENT FLOOR ELEVATION	5) CONTIGUOUS AREAS BASED ON TOPOGRAPHICAL SURVEYS WITH AN INTERVAL OF 3 FEET AND REVISIONS TO EXISTING GRADES PRIOR TO HOUSE CONSTRUCTION.
CURB OPENING FOR DRIVEWAY	6) ALL RESTORED AREAS TO BE FINISHED WITH EITHER GRAVEL, ASPHALT OR TOPSOIL AND SOB, UNLESS OTHERWISE INDICATED.
DIRECTION OF DRAINAGE	7) IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE BUILDER SHALL ADVISE THE DESIGNER IMMEDIATELY.
SWALE ON PROPERTY LINE	
WATER STAB PIPE	
FIRE HYDRANT	
CATCH BASIN	
MANHOLE	
WATERMAIN	
SANITARY SEWER	
STORM SEWER	
PROPOSED LATERAL TRENCH	
CENTERLINE	
EXISTING CENTERLINE	
HYDRANT	
LARGE TREE	

**SUBDIVISION GRADING PLAN SHOWING PROPOSED DWELLING LOCATIONS ON PROPOSED LOT Y1-A & LOT Y1-B (VIVIAN NEGRUS SUBDIVISION) LANDS OF SOUTHERN COMFORT CONSTRUCTION INCORPORATED**



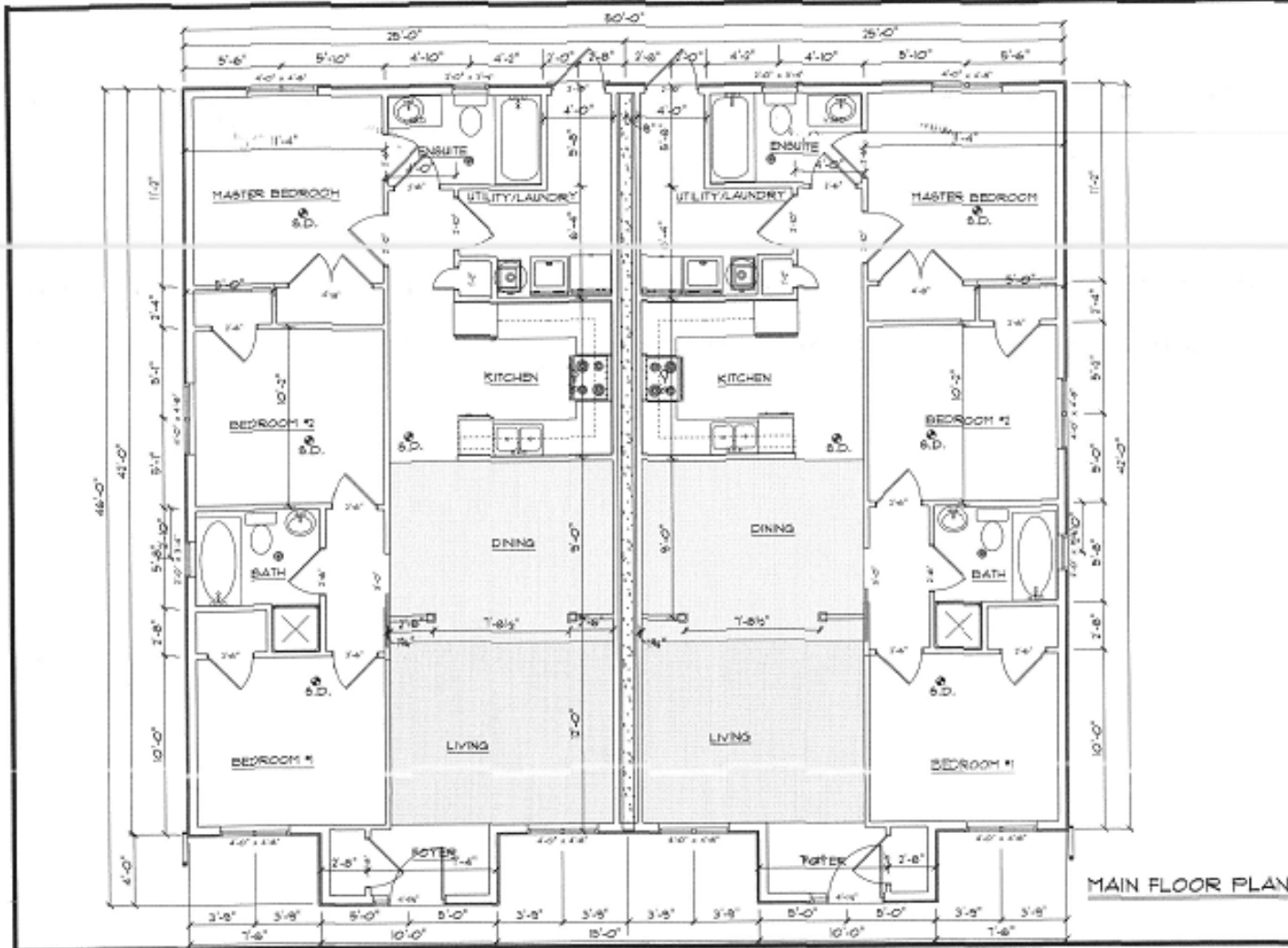
Scale 1 in. = 30 ft.  
 Date November 12, 2013

REVISED December 06, 2013  
 (Added large trees between property line and existing road)



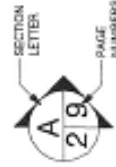
ALLAN C. MACCULLOUGH N.S.L.S.





MAIN FLOOR PLAN

SOUTHERN COMFORT CONSTRUCTION



**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

PIKE'S HOME DESIGN

MODEL: LOT 171-A  
SCALE: 3/16" = 1'-0"  
DATE: Friday, May 15, 2015

SECTION LETTER

PAGE NUMBERS

PAGE: 1/9







RENDERINGS

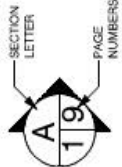
SOUTHERN COMFORT CONSTRUCTION

PAGE: 1/9

MODEL: LOT Y1-A

SCALE: 1" = 10'-0"

DATE: Friday, May 15, 2015



**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

PIKE'S HOME DESIGN



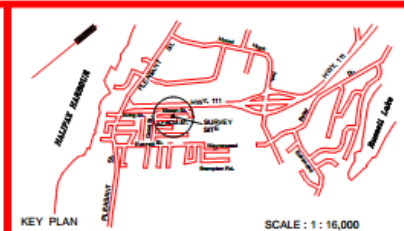
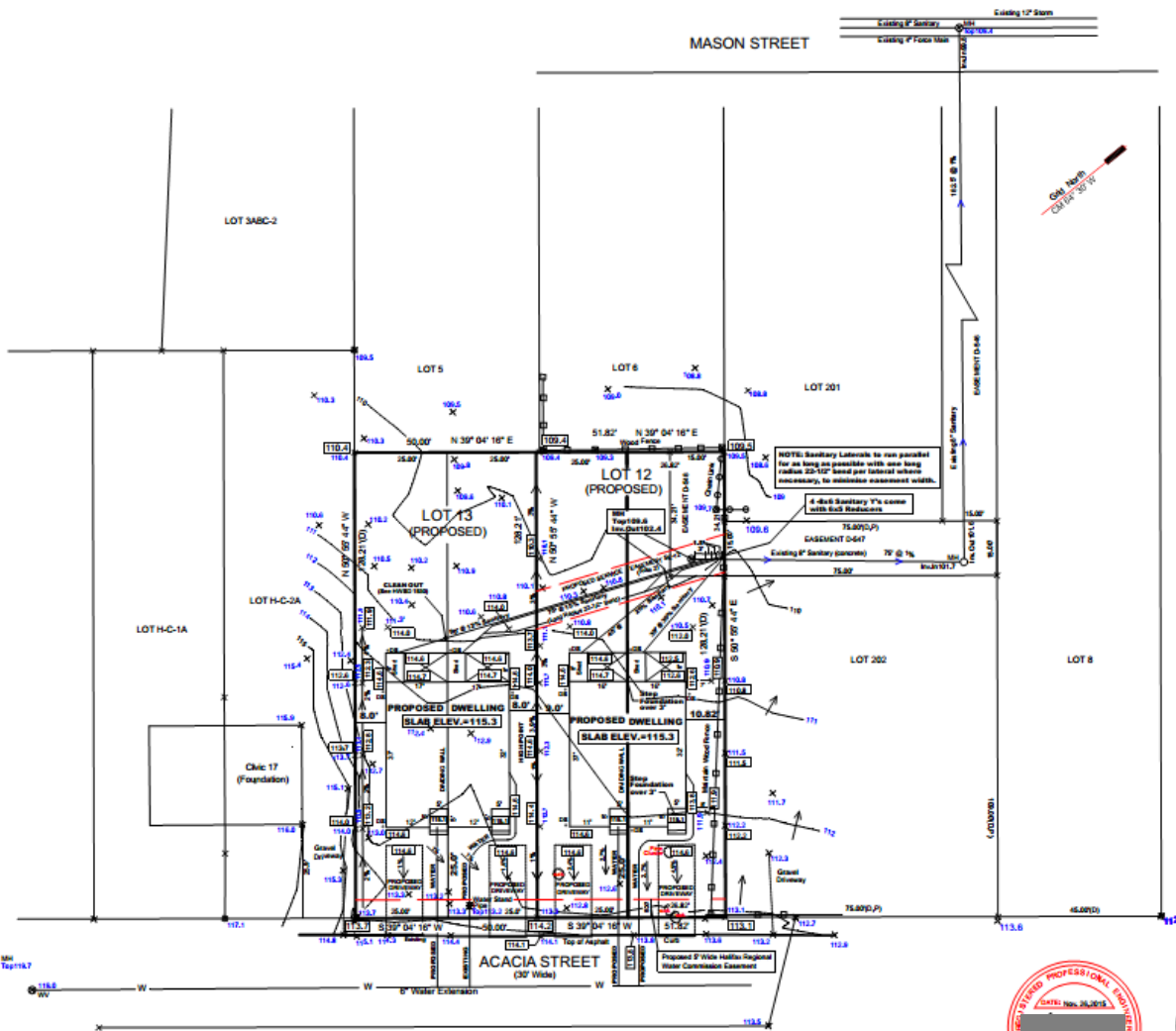
2016-2017

Acacia Street, Woodside

2 Story (1100sq.ft/no basements)

- 1<sup>st</sup> time home buyers

Selling price \$179,000-\$184,000



**LEGEND**

- EXISTING ELEVATION \_\_\_\_\_
- PROPOSED ELEVATION \_\_\_\_\_
- FOUNDATION WALL HEIGHT \_\_\_\_\_
- TOP OF WALL ELEVATION \_\_\_\_\_
- PROPOSED BASEMENT FLOOR ELEVATION \_\_\_\_\_
- CURB OPENING FOR DRAINWAY \_\_\_\_\_
- DIRECTION OF DRAINAGE \_\_\_\_\_
- BOUNDARY OF PROPERTY LINE \_\_\_\_\_
- WATER BOUND PIPE \_\_\_\_\_
- FIRE HYDRANT \_\_\_\_\_
- CYCLORAM \_\_\_\_\_
- MANHOLE \_\_\_\_\_
- WATER MAIN \_\_\_\_\_
- SANITARY SEWER \_\_\_\_\_
- STONE SEWER \_\_\_\_\_
- PROPOSED LATERAL TRENCH \_\_\_\_\_
- TREES (F'-) \_\_\_\_\_
- EXISTING CONTOUR \_\_\_\_\_
- PROPOSED CONTOUR \_\_\_\_\_
- HYDROPOLE \_\_\_\_\_

**NOTES**

- 1) LANDSCAPING MUST BE PERFORMED IN SUCH A WAY TO ENSURE POSITIVE DRAINAGE OF SCOURUTION FROM AROUND DWELLING.
- 2) BERRIDGE LATERALS MUST BE EXPOSED PRIOR TO EXCAVATION FOR FOOTINGS TO ENSURE A PROPER CONNECTION CAN BE MADE TO DWELLING.
- 3) MINIMUM VERTICAL DISTANCE FROM TOP OF FOUNDATION WALL TO GRADE TO BE 6" EXCEPT AT GARAGE ENTRANCES.
- 4) CONTRACTOR TO VERIFY FOUNDATION DIMENSIONS BEFORE WITH LANDING PLANS PRIOR TO CONSTRUCTION.
- 5) ELEVATIONS ARE BASED ON TOPOGRAPHICAL SURVEY TO WITHIN 0.1 FEET OF TRUE AND REPEATED EXISTING GRADES PRIOR TO HOUSE CONSTRUCTION.
- 6) ALL DISTURBED AREAS TO BE FINISHED WITH BETTER GRAVEL, ASPHALT OR TOPSOIL AND SOIL LAYERS OF BERRIDGE FIELDS.
- 7) IF USUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE SUBLEASER SHALL ADVISE THE DESIGN ARCHITECT.

**SUBDIVISION GRADING PLAN SHOWING PROPOSED DWELLING LOCATIONS ON PROPOSED LOT 12 & LOT 13 (HARRIETT VICTORIA GRANT SUBDIVISION) LANDS OF SOUTHERN COMFORT CONSTRUCTION INCORPORATED**

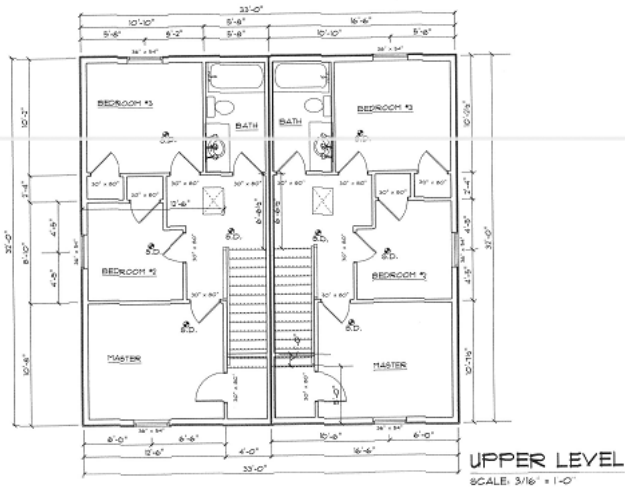


Scale 1 in. = 30 ft.  
Date September 29, 2015  
REVISED November 25, 2015  
(Add lines along the change of line.)

- NOTES**
1. Water Laterals to terminate under slabs.
  2. Easements for Sanitary lines to be created at time of subdivision after the foundation are in the ground.
  3. Sanitary Laterals to run parallel for as long as possible with one long radius 25'-1/2" bend per lateral, where necessary, to minimize Easement Width.



ALLAN C. MACCULLOUGH N.S.L.S



UPPER LEVEL  
SCALE: 3/16" = 1'-0"

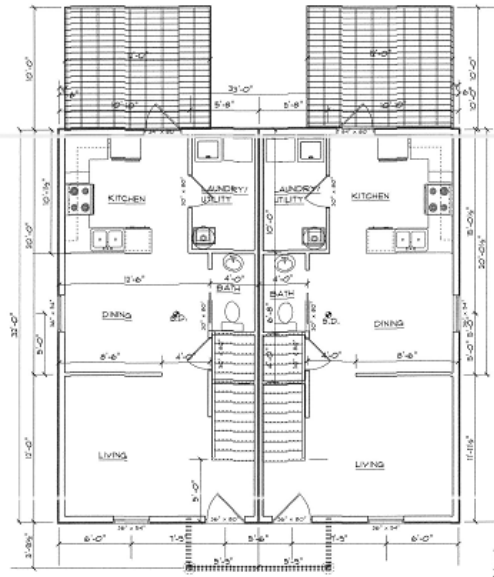


Southern Comfort Construction



Project: Lot 13 & 14 E. Lakeside Street  
DRAWN BY: T.M.C.F. / J.C.  
DATE: Thursday, May 05, 2016

PAGE: 4/10



MAIN FLOOR  
SCALE: 3/16" = 1'-0"



Pike's Home Design

Southern Comfort Construction



Project: Lot 13 & 14 E. Lakeside Street  
DRAWN BY: T.M.C.F. / J.C.  
DATE: Thursday, May 05, 2016

PAGE: 2/10



FRONT



REAR

# RENDERINGS

SCALE: N.T.S.

**BUILDER QUALIFICATIONS:**  
This plan is intended for use by persons knowledgeable in and familiar with generally accepted methods, techniques and standards necessary for the construction of this structure.

**BUILDING CODES:**  
All work to be completed in accordance with the current national building code (NBC) of Canada version 2010 Code 936. All federal, provincial and local ordinances, ect. Shall be considered as specifications for this building and shall take precedence over anything shown, described or implied, if and where variances occur. In the case of high snow loads or unusual site conditions, non-standard foundations or beam sizes beyond the scope of NBC part 9 tables, the owner/ builder may be required to provide at their expense, an engineer's report. Please consult with your local building authorities.

**ERRORS AND OMISSIONS**  
great care has been taken in the production of these plans for this project but there always exist a small possibility for errors it is very important that the builder carefully review and check all details and information on this plan including dimensioning prior to proceeding with construction. Responsibility must lie with the builder. However, any errors or omissions found should be reported immediately to PIKE'S HOME DESIGNS prior to construction.

Resale or reuse of this plan set is Prohibited without written permission from PIKE'S HOME DESIGNS.

**ELEVATION NOTES**  
All window heights to be 6"8" from floor to bottom edge of window top frame unless noted otherwise (header installation to suit)  
Window sizes noted are approx. finish sizes for "rough opening" (R.O.) dimensions refer to window supplier/manufacturer specifications.

**ROOF NOTES**  
Roof framing to be designed and/or confirmed by roof truss designer/supplier/manufacturer.

**FOUNDATION NOTES**  
Contractor to confirm that soil bearing and footing sizes conform to ARTICLE 9.15.3.1 of the NBC 2007. Slope grade away from foundation. All slab drains to be vented as per local regulations. (See 9.16.3.3 of the NBC)

**FLOOR PLAN NOTES**  
All exterior walls to be vented as per unless noted otherwise.  
All interior load bearing partitions to be 2x6 studs @ 16" o.c. unless noted otherwise.  
All interior non-bearing partitions to be 2x4 studs @ 16" o.c.  
All floor framing components including beams to be designed and/or confirmed by floor truss designer/supplier/manufacturer or structural engineer as required.  
All exterior dimensions are to outside face of studs and all interior dimensions are to center of studs unless noted otherwise.

**ELECTRICAL NOTES**  
Wire in smoke alarms c/w battery back up see NBC 2007(9.10.19.2) sd/co  
Exhaust kitchen & bathroom fans to outside.  
Carbon monoxide detector required when fuel burning appliance is present and/or present and/or attached garage. See NBC 2007 (9.32.3.9)  
Location of electrical panel to be determined on site.

**MECHANICAL NOTES**  
Heating systems and heat recovery unit (HRV) to be installed by certified by certified installer.

Computerized Drafting Services

**Pike's Home Design**



**Southern Comfort Construction**

Project: Lot 13 A & B Acacia Street  
DRAWN BY: \_\_\_\_\_  
DATE: Thursday, May 05, 2016

PAGE:  
**1/10**



FOR SALE



By  
**KEITH KENNY**  
602-877-8178

2017-Forward

1436 Main Road, Eastern Passage

6 Unit self contained

building(860/960sq.ft)

3 Lower units-seniors/People with  
mobility issues

3 upper units-couples/small families

To lease at \$900-\$995/month



**LOT GRADING PLAN**

**LEGEND**

EXISTING ELEVATION	.....100
PROPOSED ELEVATION	.....101
FOUNDATION WALL HEIGHT	.....WH
TOP OF WALL ELEVATION	.....TW
PROPOSED BASEMENT FLOOR ELEVATION	.....BFL ELEV.
CURB OPENING FOR DRIVEWAY	.....
DIRECTION OF DRAINAGE	.....
SWALE ON PROPERTY LINE	.....
WATER STAND PIPE	.....Ooc
FIRE HYDRANT	.....
CATCH BASIN	.....
SANITARY MANHOLE	.....
STORM MANHOLE	.....
SANITARY/COMBINED MANHOLE	.....
WATER MAIN	.....W
SANITARY SEWER	.....
STORM SEWER	.....
PROPOSED LATERAL TRENCH	.....
EXISTING CONTOUR	.....-98-
PROPOSED DOWNSPOUT	.....ODS
HYDROPOLE	.....OH-IP
TREE(°*) - HEDGE	.....O - OOO

- NOTES**
- 1) LANDSCAPING MUST BE PERFORMED IN SUCH A WAY TO ENSURE POSITIVE DRAINAGE OF STORMWATER FROM AROUND DWELLING.
  - 2) SERVICE LATERALS MUST BE EXPOSED PRIOR TO EXCAVATION FOR FOOTINGS TO ENSURE A PROPER CONNECTION CAN BE MADE TO DWELLING.
  - 3) MINIMUM VERTICAL DISTANCE FROM TOP OF FOUNDATION WALL TO GRADE TO BE 0.7' EXCEPT AT GARAGE ENTRANCES.
  - 4) CONTRACTOR TO VERIFY FOUNDATION DIMENSIONS SHOWN WITH BUILDING PLANS PRIOR TO CONSTRUCTION.
  - 5) CONTOURS ARE BASED ON TOPOGRAPHICAL SURVEYS WITH AN INTERVAL OF 2 FEET AND REPRESENT EXISTING GRADES PRIOR TO HOUSE CONSTRUCTION.
  - 6) ALL DISTURBED AREAS TO BE FINISHED WITH EITHER GRAVEL, ASPHALT OR TOPSOIL AND SOO, UNLESS OTHERWISE INDICATED.
  - 7) IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE BUILDER SHALL ADVISE THE DESIGNER IMMEDIATELY.

LOT GRADING PLAN SHOWING PROPOSED DWELLING LOCATION  
**BLOCK 1**  
**PID 00374587**

Lands of  
**SOUTHERN COMFORT CONSTRUCTION INC.**

ALLAN MacCULLOUGH  
 Nova Scotia Land Surveyor

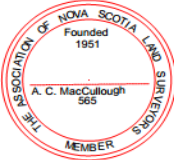


ALLAN C. MacCULLOUGH N.S.L.S.

SCALE: 1 in. = 30 ft.  
 DATE:

NOVEMBER 4, 2016

APPLICANT:  
 Fred Southern

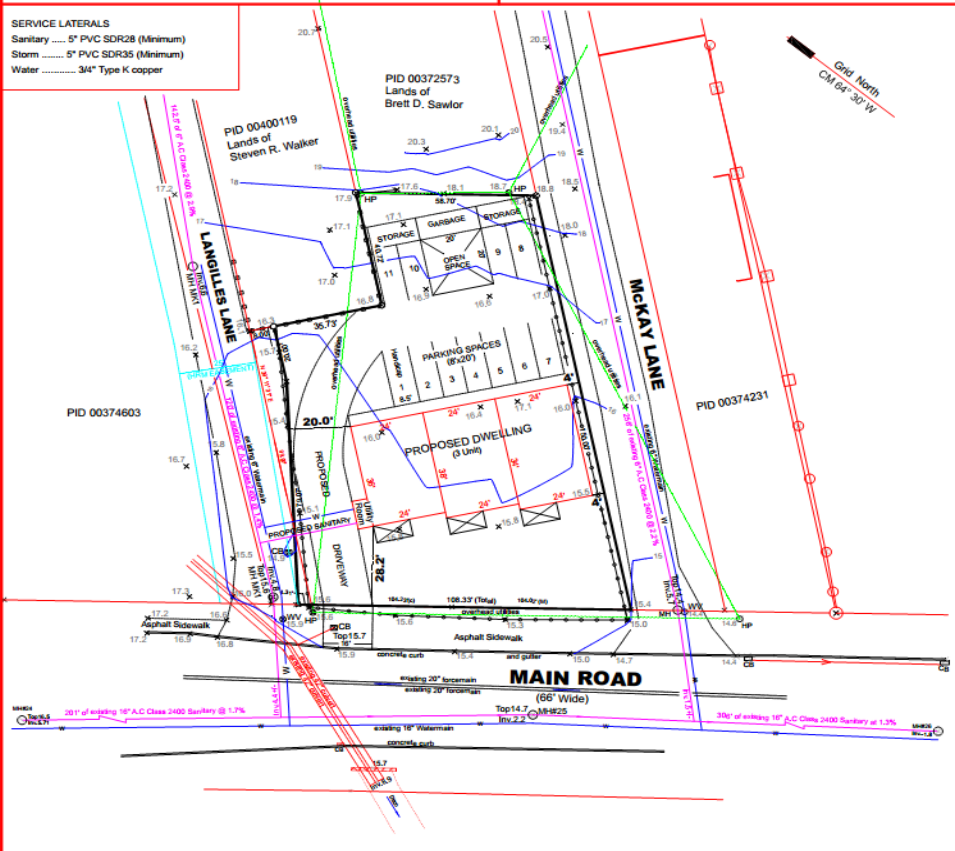


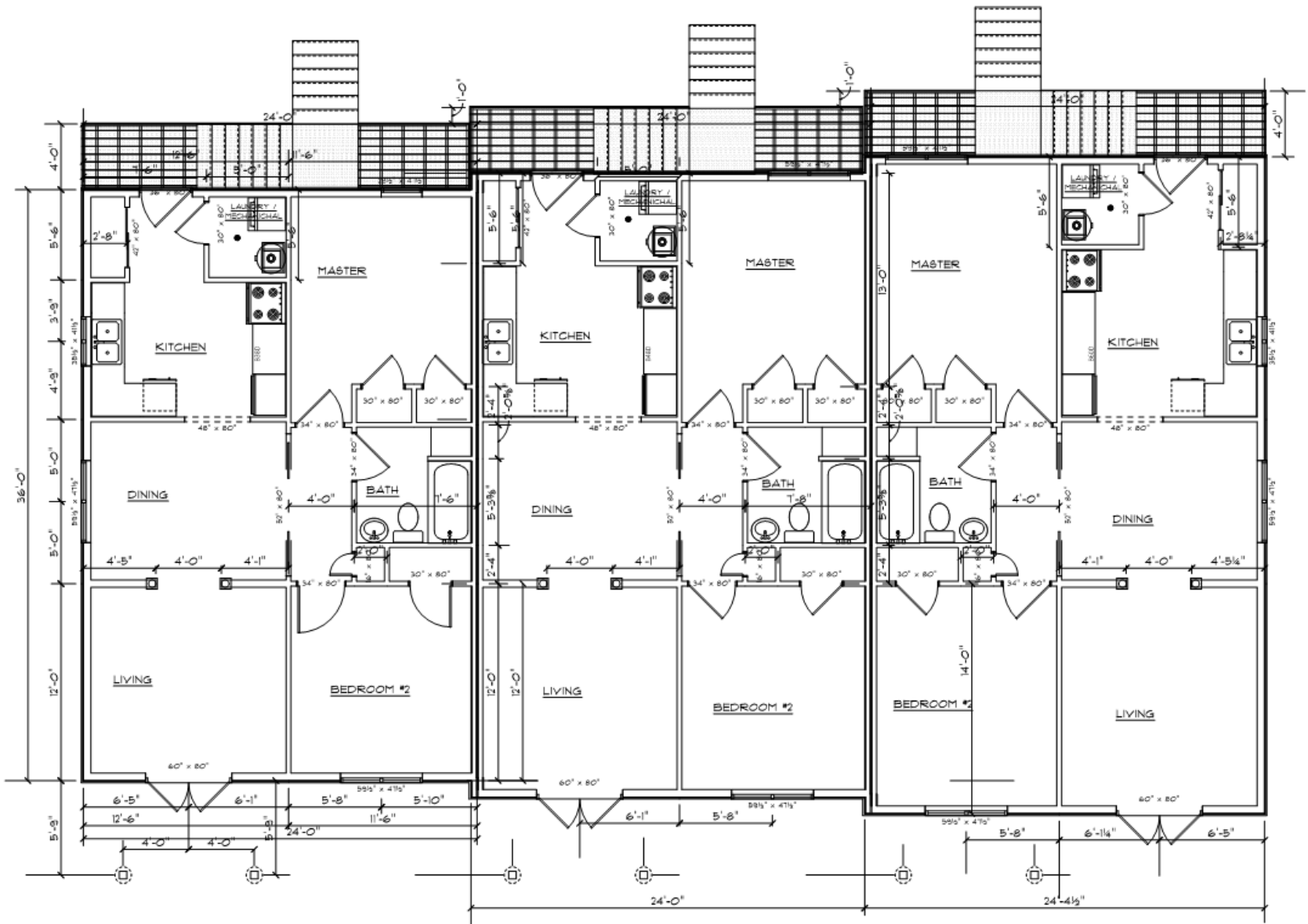
FILE No.

**MUNICIPALITY USE ONLY**

1) APPLICATION FOR LOT GRADING PERMIT	2) PERMISSION IS GRANTED TO COMPLETE THE LOT GRADING AND DRAINAGE WORK IN COMPLIANCE WITH THIS PLAN AND THE LOT GRADING BY-LAW.
APPLICANT	ENGINEER
DATE	DATE
BUILDING PERMIT #	CONDITIONS

**SERVICE LATERALS**  
 Sanitary ..... 5" PVC SDR28 (Minimum)  
 Storm ..... 5" PVC SDR35 (Minimum)  
 Water ..... 3/4" Type K copper







26 Bissett Road, Cole Harbour

Case #20136

4 Unit Ranch style (880 sq.ft+ storage  
room/1 Floor living)

-Seniors/People with mobility issues  
and small families

To lease at \$900-\$995/month

**LOT GRADING PLAN**

**LEGEND**

EXISTING ELEVATION .....	100
PROPOSED ELEVATION .....	101
FOUNDATION WALL HEIGHT .....	WH
TOP OF WALL ELEVATION .....	TW
PROPOSED BASEMENT FLOOR ELEVATION .....	BF.LEL
CURB OPENING FOR DRIVEWAY .....	—
DIRECTION OF DRAINAGE .....	→
SWALE ON PROPERTY LINE .....	—
WATER STAND PIPE .....	Co
FIRE HYDRANT .....	⊕
CATCH BASIN .....	■
SANITARY MANHOLE .....	●
STORM MANHOLE .....	○
SANITARY COMBINED MANHOLE .....	⊙
WATER MAIN .....	—W
SANITARY SEWER .....	—S
STORM SEWER .....	—SD
PROPOSED LATERAL TRENCH .....	—
EXISTING CONTOUR .....	- 98 -
PROPOSED DOWNSPOUT .....	ODS
HYDROPOLE .....	OHF
TREE(6") - HEDGE .....	○ - ○○○

- NOTES**
- 1) LANDSCAPING MUST BE PERFORMED IN SUCH A WAY TO ENSURE POSITIVE DRAINAGE OF STORMWATER FROM AROUND DWELLING.
  - 2) SERVICE LATERALS MUST BE EXPOSED PRIOR TO EXCAVATION FOR FOOTINGS TO ENSURE A PROPER CONNECTION CAN BE MADE TO DWELLING.
  - 3) MINIMUM VERTICAL DISTANCE FROM TOP OF FOUNDATION WALL TO GRADE TO BE 0.7' EXCEPT AT GARAGE ENTRANCES.
  - 4) CONTRACTOR TO VERIFY FOUNDATION DIMENSIONS SHOWN WITH BUILDING PLANS PRIOR TO CONSTRUCTION.
  - 5) CONTOURS ARE BASED ON TOPOGRAPHICAL SURVEYS WITH AN INTERVAL OF 2 FEET AND REPRESENT EXISTING GRADES PRIOR TO HOUSE CONSTRUCTION.
  - 6) ALL DISTURBED AREAS TO BE FINISHED WITH EITHER GRAVEL, ASPHALT OR TOPSOIL AND SOO, UNLESS OTHERWISE INDICATED.
  - 7) IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE BUILDER SHALL ADVISE THE DESIGNER IMMEDIATELY.

LOT GRADING PLAN SHOWING PROPOSED DWELLING LOCATION

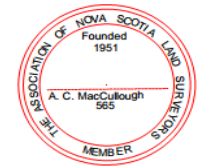
**LOT 4**  
PID 00402990

Lands of  
**SOUTHERN COMFORT CONSTRUCTION INC.**

ALLAN MacCULLOUGH  
Nova Scotia Land Surveyor

SCALE: 1 in. = 20 ft.  
DATE: December 21, 2016

ALLAN C. MacCULLOUGH N.S.L.S.



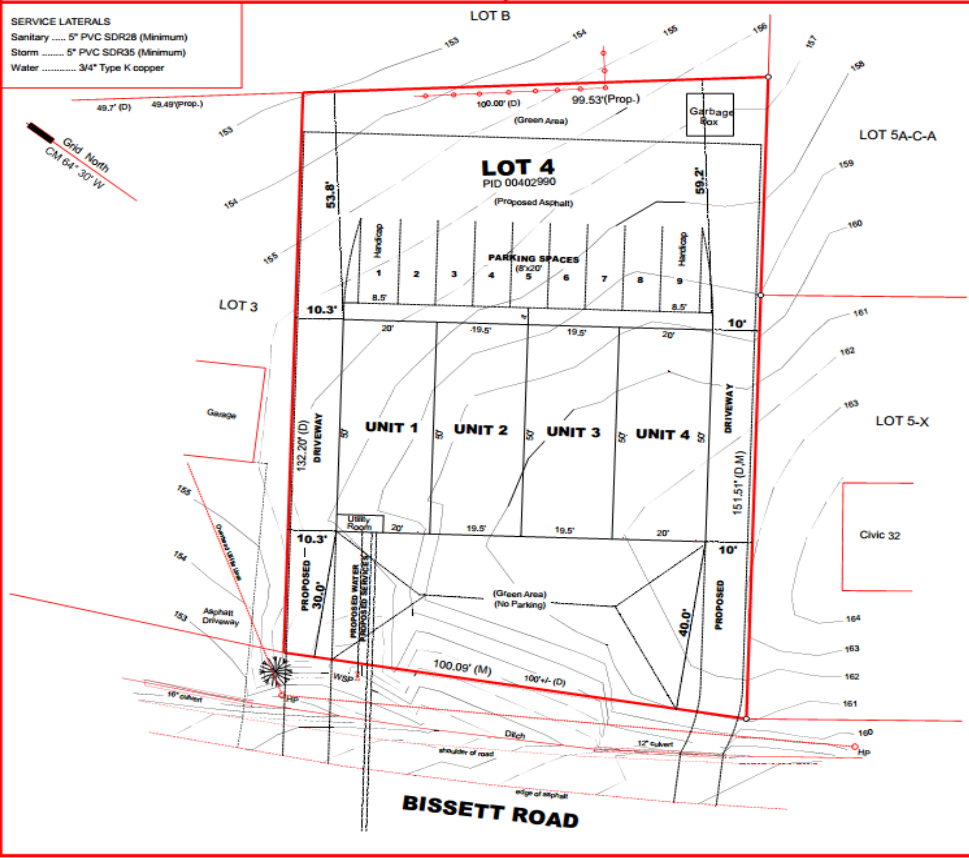
**MUNICIPALITY USE ONLY**

1) APPLICATION FOR LOT GRADING PERMIT	2) PERMISSION IS GRANTED TO COMPLETE THE LOT GRADING AND DRAINAGE WORK IN COMPLIANCE WITH THIS PLAN AND THE LOT GRADING BY-LAW.
APPLICANT .....	ENGINEER .....
DATE .....	DATE .....
BUILDING PERMIT # .....	CONDITIONS .....

APPLICANT:  
Fred Southern

FILE No.

**SERVICE LATERALS**  
Sanitary ..... 5" PVC SDR28 (Minimum)  
Storm ..... 5" PVC SDR35 (Minimum)  
Water ..... 3/4" Type K copper



# PIKE'S HOME DESIGN

Monday, January 05, 2015

Southern Comfort  
Construction Inc.  
Lot 26 Bisset Rd.

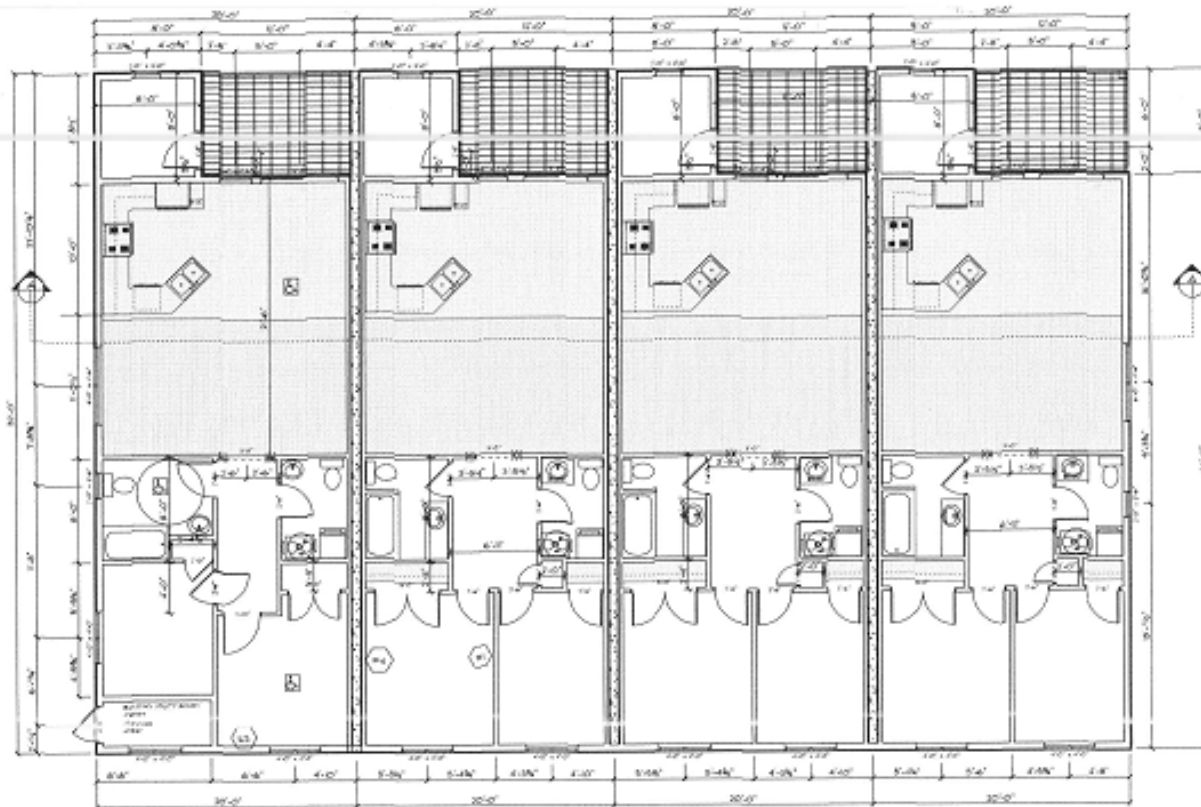
DRAWN BY:  
Paul Pike

PAGE 2

PLAN #

SCALE: 1/8" = 1'-0"

- IMPORTANT NOTES**
1. ALL WORK MUST BE IN CONFORMANCE WITH THE NBCO 2010 & THE LOCAL BUILDING CODE 2015.
  2. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING ANY WORK.
  3. GRADES SHOWN ON ELEVATIONS ARE FOR PERMIT PURPOSES ONLY.
  4. GRADES TO BE DETERMINED BY PROJECT MEASURE.
  5. ALL PLUMBING FITTINGS MUST MEET THE FERRY CODE (PART 2 OF THE 2015 NC PLUMBING CODE).
  6. BEDROOM WINDOWS TO MEET CODES AS PER NATIONAL BUILDING CODE ANGLE 503.1 ALL WINDOWS TO BE 1/2" CLEARANCE OF HEAVY HANGERS OR NOT MORE THAN 18" OR AN ENERGY RATING OF NOT LESS THAN 20 FOR DOUBLE GLAZING & 30 FOR FIXED WINDOWS.
  7. ANY GROUT FROM SINKS TO HOLES TO HAVE WEATHER STRIPPING ON GROUND.
  8. SMOKE CO. DETECTORS AND CO. MD. REQUIRED ALL FLOOR LEVELS AND IN ALL BEDROOMS CO. MONITOR SHALL BE INSTALLED WITHIN 5' OF ALL SLEEPING ROOMS BATH & KITCHEN HALLS DRAINATED TO-OUT SIDE TO: RADON GAS DETECTOR PIPE REQUIRED UNDER SLAB NEAR CENTER OF SLAB.



MAIN FLOOR PLAN

# PIKE'S HOME DESIGN



Monday, January 05, 2015

Southern Comfort Construction Inc.  
Lot 26 Bisset Rd.

DRAWN BY :  
Paul Pike

PAGE 1

PLAN #

SCALE : 1/8" = 1'-0"

- IMPORTANT NOTES**
1. ALL WORK MUST BE IN CONFORMANCE WITH THE NBCC 2010 & THE LOCAL BUILDING CODE 2010.
  2. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING ANY WORK
  3. GRADES SHOWN ON ELEVATIONS ARE FOR PERMIT PURPOSES ONLY
  4. GRADES TO BE DETERMINED BY PROJECT MANAGER
  5. ALL PLUMBING FIXTURES MUST MEET THE ENERGY CODE (PART 2 OF THE 2010 NS PLUMBING CODE)
  6. BEDROOM WINDOWS TO MEET EGRESS AS PER NATIONAL BUILDING CODE AREA 9.9.1
  7. ALL WINDOWS TO MEET THE COEFFICIENT OF HEAT TRANSFER OF NOT MORE THAN 1.8 OR AN ENERGY RATING OF NOT LESS THAN 25 FOR OPERATORS & 35 FOR FIXED WINDOWS
  8. ANY DOOR FROM GARAGE TO HOUSE TO HAVE WEATHER STRIPPING C/W CLOSER
  9. SMOKE DETECTORS AND CO. MO. REQUIRED ALL FLOOR LEVELS AND IN ALL BEDROOMS
  10. CO/BATTERY BACKUP CO. MONITOR SHALL BE INSTALLED WITHIN 3m OF ALL SLEEPING ROOMS
  11. BATH & KITCHEN FANS EXHAUSTED TO OUT SIDE
  12. RADON GAS DETECTOR PIPE REQUIRED UNDER SLAB NEAR CENTER OF SLAB



# 26 Bissett Road, Cole Harbour

## New 4 Unit Residential building

### The Southern Comfort Key features;

- 4 self contained units at 960 sq.ft each
- 2 bedroom and 1 & ½ bathrooms
- Water included
- Each tenant has own power meter(energy efficient units)
- Mini split heat pump at 100% efficient & electric baseboard heat
- 6 new appliances
- Upgraded trim package
- Choice of finishes
- 12x8 rear deck
- Individual 8x8 storage sheds
- Paved driveway & paved rear yard parking
- Privacy fence around perimeter of building
- Landscaping as per by-law
- Close to all amenities
- Ideal for small families, seniors and people with mobility issues
- Lease from \$900-\$995 per month