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Public Hearing

**Case 20540 – Substantive Amendments
to an Existing Development Agreement
39 Seapoint Road, Dartmouth**

**Harbour East & Marine Drive Community
Council**

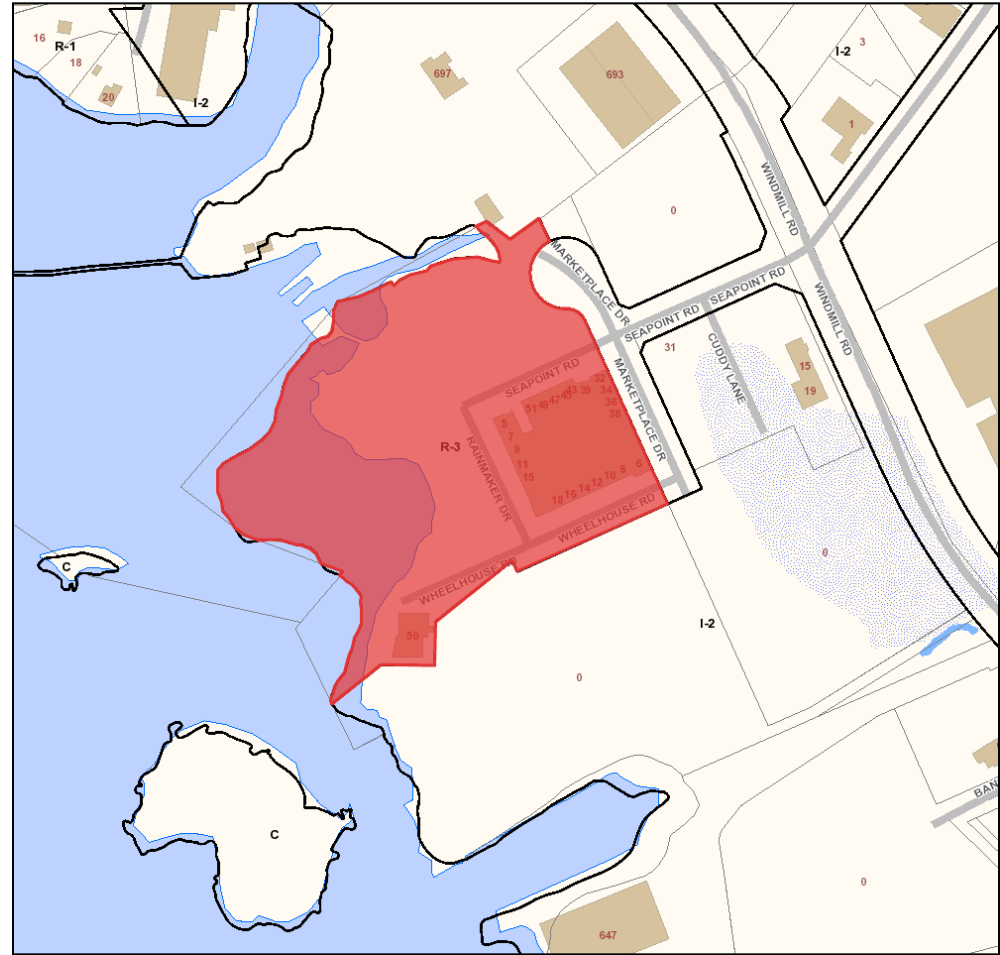
January 5, 2017

Application

- **Applicant:** WSP Canada Inc.
- **Proposal:** The applicant wishes to amend the existing Development Agreement at 39 Seapoint Road to
 - allow for lot subdivision;
 - to change the number of townhouse units permitted;
 - and to alter underground parking access locations.

Subject Site

- **Location:** 39 Seapoint Road, Dartmouth
- **Size:** 8.51 acres (370,852 sq. ft.)
- **Designation:** WCSPS (Wright's Cove Secondary Planning Strategy)
- **Sub-Designation:** HRCR (Harbour-Related Commercial Residential)
- **Secondary Plan:** Wright's Cove Secondary Plan within the Dartmouth MPS
- **Zone:** R-3 (Multiple Family Residential – Medium Density Zone)







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Existing Development Agreement

- Three (3) buildings, one of which is already constructed
- A maximum of 299 dwelling units
- 4,500 square feet of ground floor commercial space
- Publically accessible waterfront trail
- Amenity space provided through internal common rooms, balconies and access to the waterfront trail

Policy Overview

The existing agreement was approved pursuant to:

1. Policy WC-4 of the Wright's Cove Secondary Plan
 - Setbacks
 - Height
 - Noise
 - Waterfront Trail
2. Policies IP-5 and IP-1(c) of the Dartmouth Municipal Planning Strategy
 - Minimize impacts on surrounding properties

Proposed Amendments

	Existing Agreement	Proposed Amendments
Subdivision	One (1) Lot	Four (4) Lots
Unit Allocation		
Building 2	98 units, 7 townhouses	97 units, 8 townhouses
Building 3	93 units, 12 townhouses	95 units, 10 townhouses
Total	105 units per building	105 units per building
Parkade Entrances	One proposed shared entrance	Two parkade entrances

Recommendation

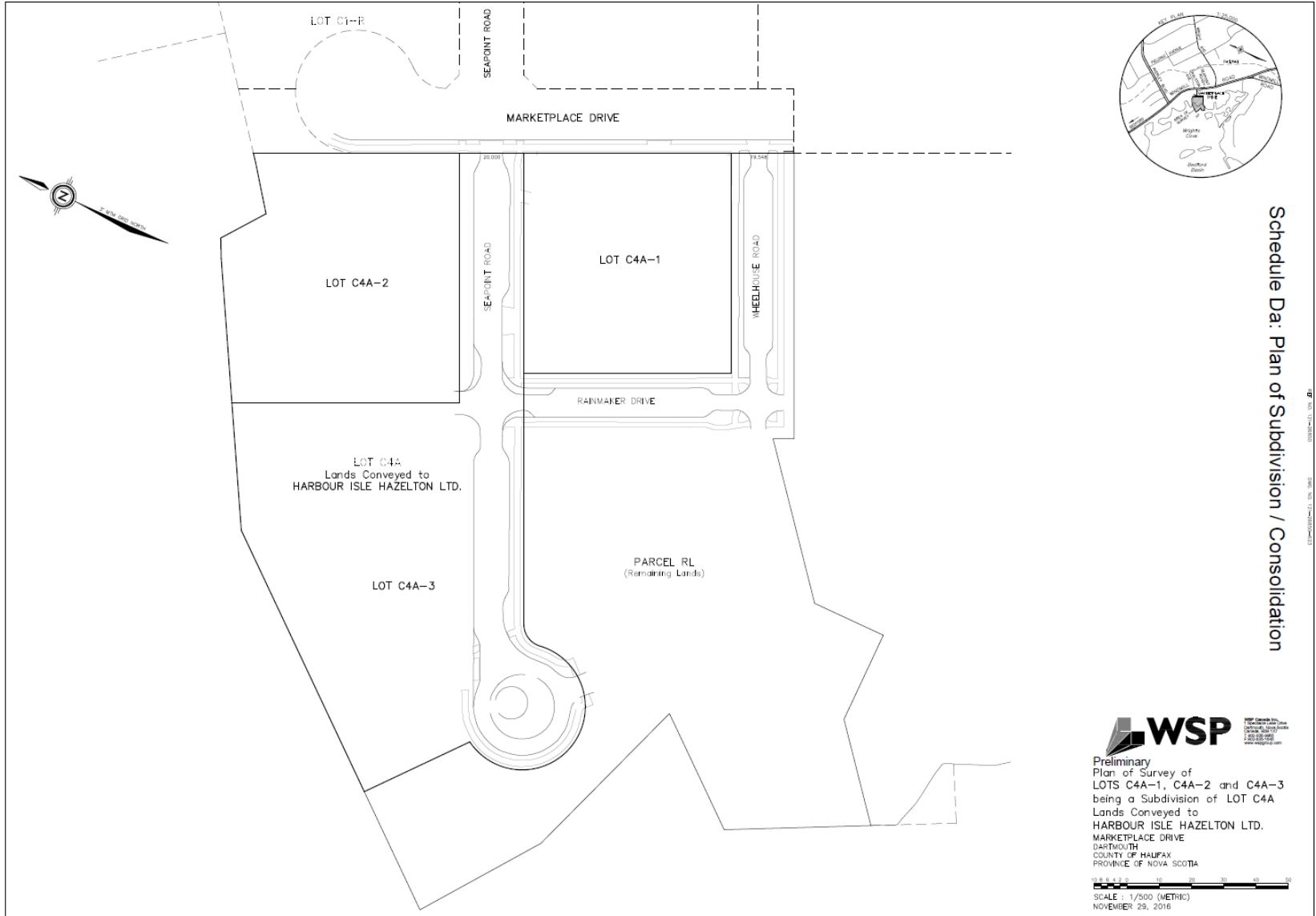
Staff recommends that Harbour East & Marine Drive Community Council approve the proposed amendments to the existing Development Agreement as set out in Attachment A of the Staff Report, dated November 18, 2016.

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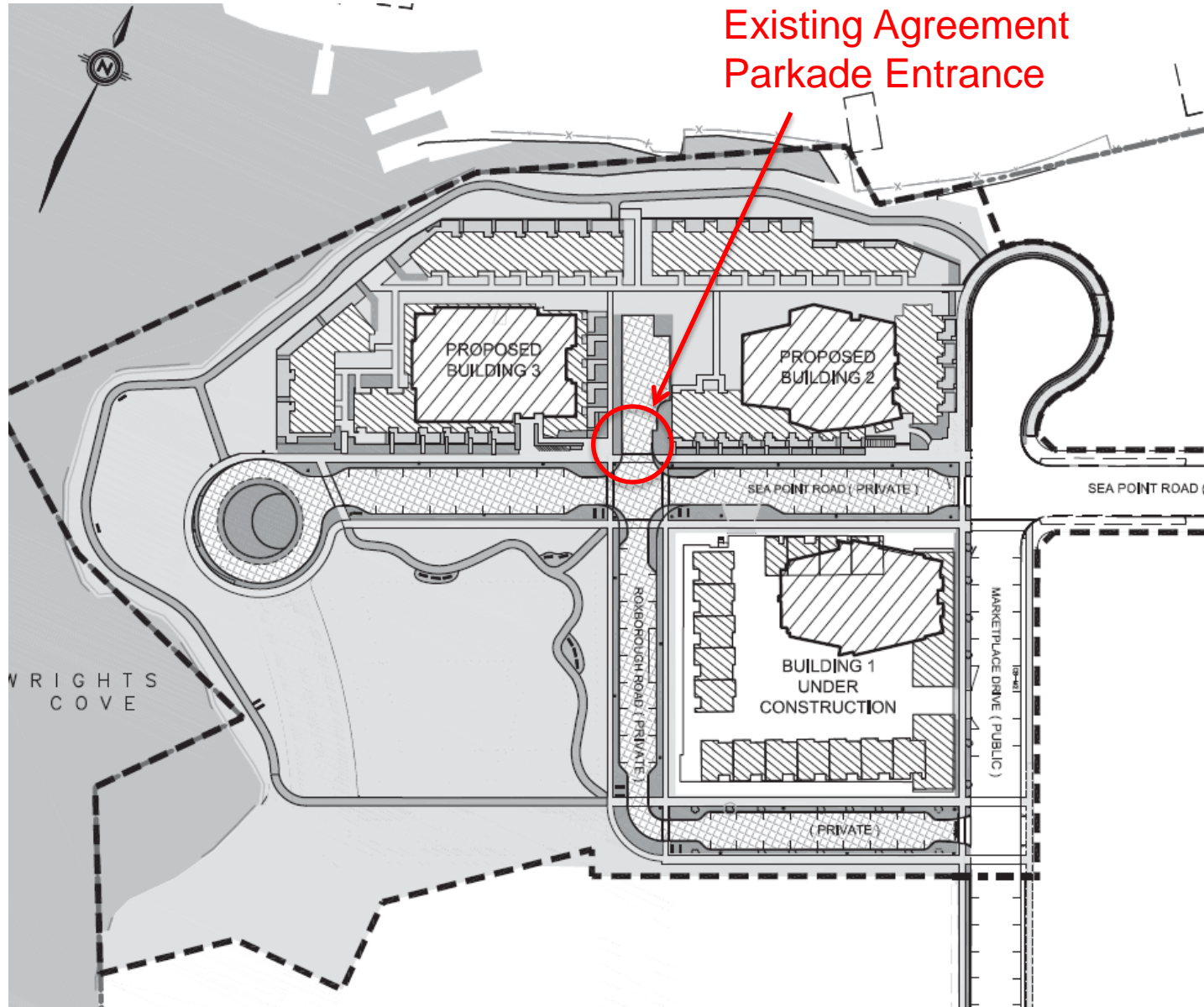


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Subdivision



Parkade Entrance



Parkade Entrances

