

PO Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

MEMORANDUM

TO: Chair and Members of North West Planning Advisory Committee

FROM: Stephanie Salloum, Planner II

DATE: June 26, 2017

SUBJECT: Case 21084: Application for a development agreement to permit the sale and installation of automotive accessories at 429 Cobequid Road, Lower Sackville

Feedback is sought from North West Planning Advisory Committee relative to the proposed application. The committee's recommendation will be forwarded along with the staff report to North West Community Council.

Please find enclosed the following documents for your consideration:

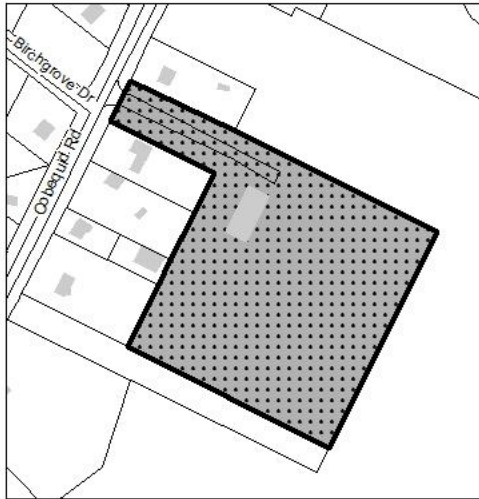
- Fact Sheet
- Summary of Public Feedback
- Map 1 – Generalized Future Land Use Map
- Map 2 – Zoning Map
- Site Plan
- Location Certificate
- Building Elevations and Plans
- Traffic Impact Statement
- Stormwater Management Plan
- On-site Septic Replacement
- Site Photos
- Relevant MPS Policies

In preparing your recommendation to North West Community Council, kindly advise whether the proposal complies with the policy in consideration of the following:

- Change in use
- Building massing
- Buffering and screening
- Site design
- Potential environmental impacts, if any
- Adequacy of services
- Hours of operation
- Traffic
- Open storage
- Signage

PLANNING APPLICATION CASE NO. 21084

An application has been submitted by Clyde Cooper Enterprises Ltd. for a development agreement to permit a commercial business that sells and installs automotive accessories at this property, 429 Cobequid Road, Lower Sackville.



SITE INFORMATION

Plan Area	Sackville
District	15 (Lower Sackville) – Steve Craig
Regional Plan Designation	Rural Commutershed
Community Plan Designation	Rural Residential
Current Zoning	P-2 (Community Facility)
Size of Site	6.44 acres
Street Frontage	100 feet
Current Land Use	Vacant (previously used as a school bus depot)
Surrounding Uses	Residential and commercial uses

PROPOSAL DETAILS

The applicant has submitted a request to enter into a development agreement to allow for an addition to the existing building and to permit the sales and installation of truck, van, and trailer accessories such as racks and caps. The property is designated Rural Residential under the Sackville Municipal Planning Strategy (MPS) and Zoned P-2 (Community Facility) under the Sackville Land Use By-law (LUB). Commercial uses are not permitted under the P-2 Zone; however, this application may be considered through enabling Policy UR-24 of the MPS.

APPLICABLE POLICY

Policy UR-24 allows Council to consider permitting community commercial zone uses on properties along the Cobequid Road, between Sackville Drive and First Lake Drive, through the development agreement process. The sale of automotive accessories, such as truck caps, is a retail store, which is a community commercial use.

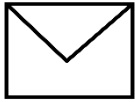
For further information, please visit <http://www.halifax.ca/planning/applications/case21084details.php> or contact **Stephanie Salloum**, Planner II, 902-490-4223, sallous@halifax.ca

SUMMARY OF PUBLIC FEEDBACK
PLANNING APPLICATION CASE NO. 21084

Clyde Cooper Enterprises Ltd. applied for a development agreement to permit a commercial business that sells and installs automotive accessories at 429 Cobequid Road, Lower Sackville.

The community engagement process for this application is consistent with the intent of the HRM Community Engagement Strategy. The level of community engagement was consultation, achieved through providing information and seeking comments through the HRM website, signage posted on the subject site, and postcard notifications mailed to all property owners within the notification area (see Map 2).

Notifications Mailed



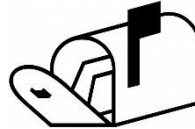
17

Phone Calls Received



0

Letters Received



0

Total Public Interactions

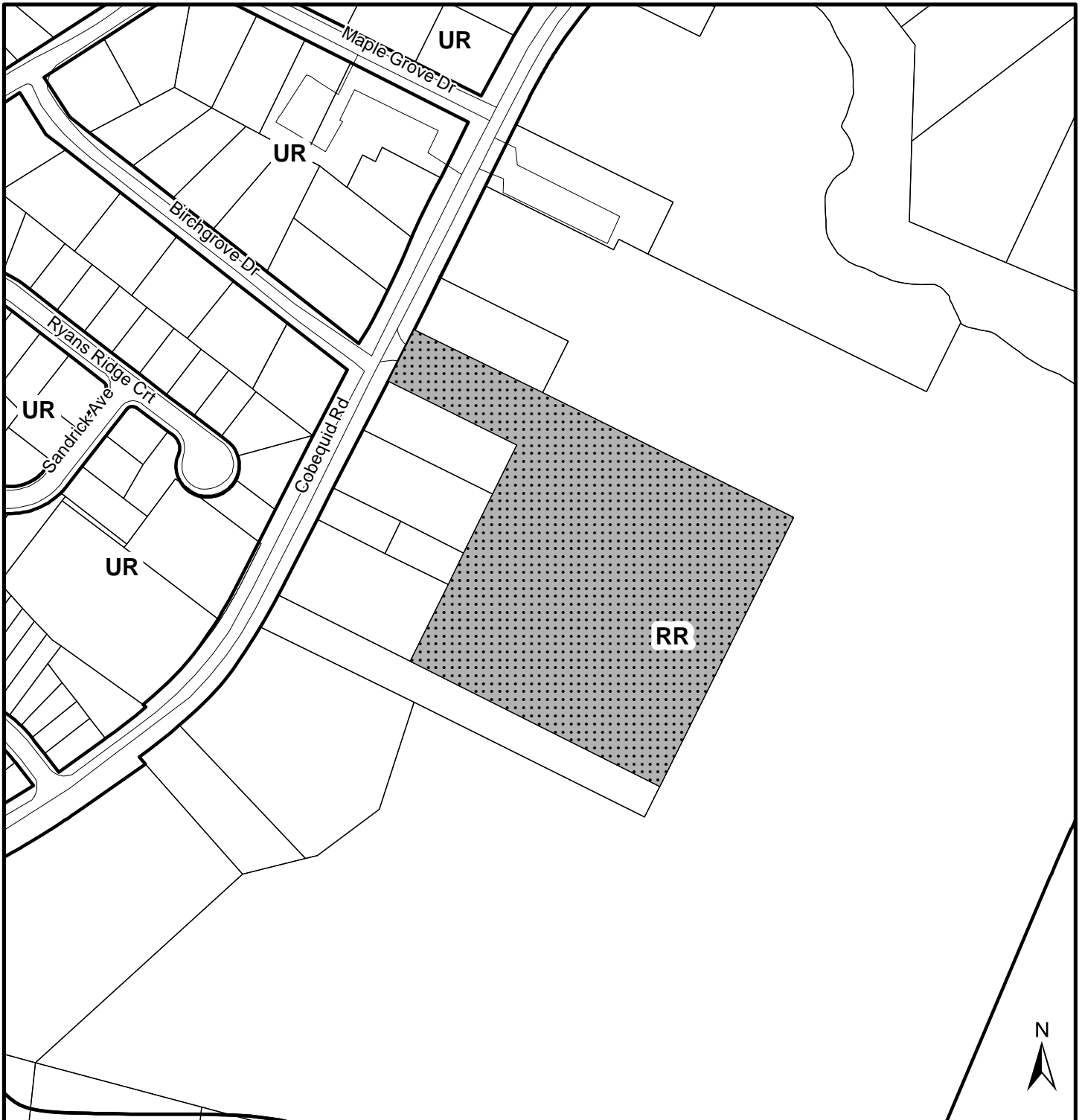


0

COMMENTS AND CONCERNS


To date, no comments or questions were received from the public regarding the proposal. Any comments received after this memo will be discussed in staff's presentation.

For further information, please visit <http://www.halifax.ca/planning/applications/case21084details.php>
or contact **Stephanie Salloum**, Planner II, 902-490-4223, sallous@halifax.ca



**Map 1 - Generalized Future Land Use
429 Cobequid Road**

HALIFAX

 Subject Site

Designations

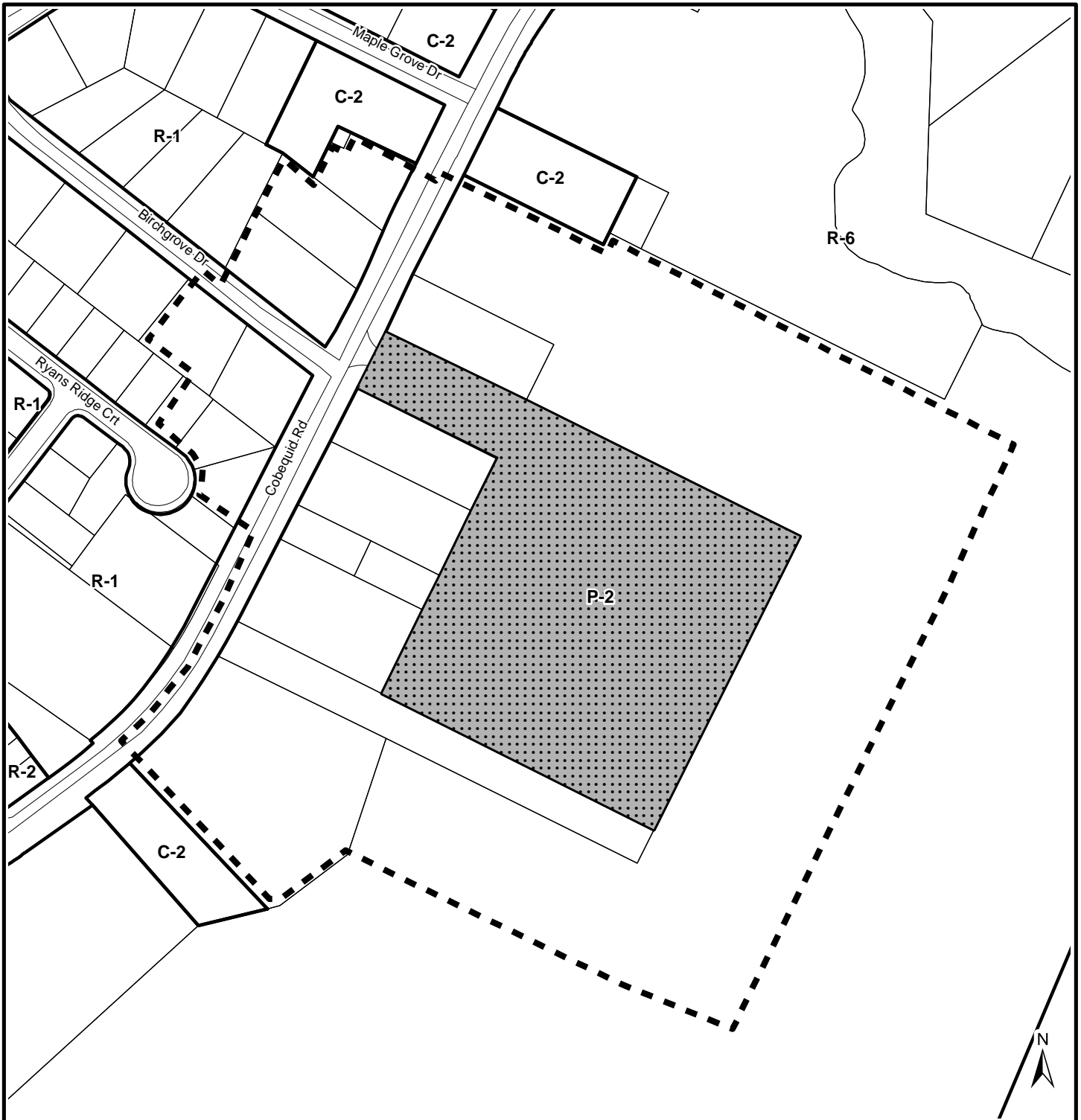
UR Urban Residential
RR Rural Residential



This map is an unofficial reproduction of a portion of the Generalized Future Land Use Map for the plan area indicated.



The accuracy of any representation on this plan is not guaranteed.

Sackville
Plan Area



Map 2 - Zoning and Notification
429 Cobequid Road

HALIFAX

-  Subject Site
-  Area of notification

Zone

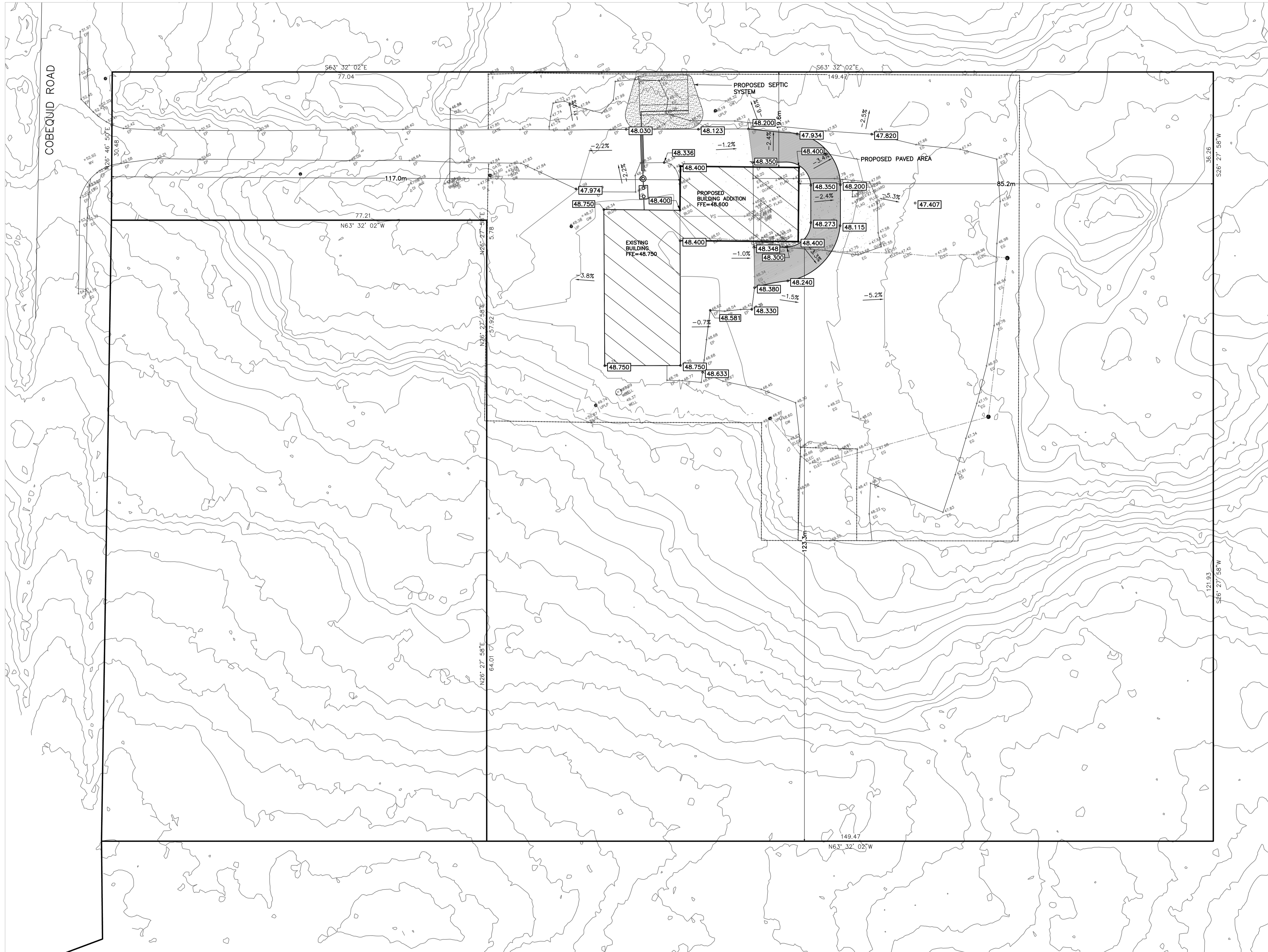
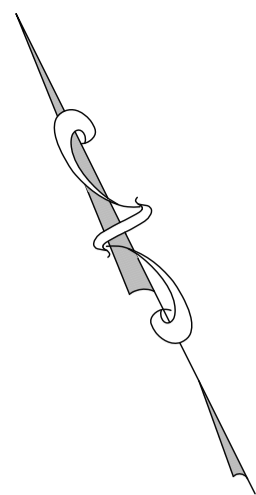
- R-1 Single Unit Dwelling
- R-2 Two Unit Dwelling
- R-6 Rural Residential
- BP-1 Business Park 1
- C-2 Community Commercial
- P-2 Community Facility



This map is an unofficial reproduction of a portion of the Zoning Map for the plan area indicated.

The accuracy of any representation on this plan is not guaranteed.

Sackville
 Plan Area



LEGEND

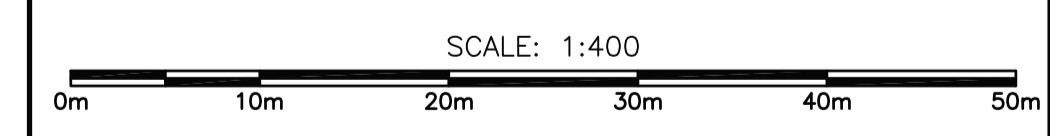
EXISTING		PROPOSED
⊙	GATE/BUTTERFLY VALVE	⊙
▽	STREET SIGN	▽
○/○→	POWER POLE/LIGHT POLE	○/○→
⊠	CATCHBASIN	⊠
⌒	CULVERT	⌒
158.5	ELEVATION	[346.0]
○	HYDRANT	○
---	PROPERTY BOUNDARY	---
---	OVERHEAD LINE	---
SA-□-SA	SANITARY MANHOLE & PIPE	SA-□-SA
ST-○-ST	STORM MANHOLE & PIPE	ST-○-ST
WM-—-WM	WATERMAIN	WM-—-WM
FM-—-FM	FORCEMAIN	FM-—-FM
C-—-C	UNDERGROUND CONDUIT	C-—-C
□	CONCRETE THRUST BLOCK	□
---	CURB AND DRIVEWAY CUT	---
---	SIDEWALK	---
---	STREET LINE	---
→	DRAINAGE DIRECTION	→
→	SWALE FLOW	→
346	CONTOUR LINES	346
GAS-GAS	GAS LINE	GAS-GAS
○	TREE	○
---	BOTTOM OF SLOPE	---
---	TOP OF SLOPE	---
---	GUARD RAIL	---
---	SILT FENCE	---

- NOTES:**
1. LANDSCAPING MUST BE PERFORMED IN SUCH A WAY TO ENSURE POSITIVE DRAINAGE OF STORM WATER FROM AROUND DWELLING. A MINIMUM SLOPE OF 1.0% AWAY FROM THE DWELLING IS REQUIRED FOR THE FIRST 1.5 METRES. ALL OTHER CONSTRUCTED GRADES A MAXIMUM OF 3:1, EXCEPT FOR ENGINEERED WALLS.
 2. SERVICE LATERALS MUST BE EXPOSED PRIOR TO EXCAVATION FOR FOOTING TO ENSURE A PROPER CONNECTION CAN BE MADE TO DWELLING.
 3. MINIMUM VERTICAL DISTANCES FROM TIP OF FOUNDATION WALL TO FINISHED GRADE TO BE MINIMUM 0.2m, EXCEPT FOR GARAGE ENTRANCES. CONTRACTORS TO VERIFY FOUNDATION DIMENSION SHOWN WITH BUILDING PLANS PRIOR TO CONSTRUCTION.
 4. TOPOGRAPHIC SURVEY DATA SHOWN AS BEEN PRODUCED BY ABLE ENGINEERING SERVICES INC. -30/11/2016- VALUES SHOWN ARE DERIVED FROM G.P.S. OBSERVATIONS ON NOVA SCOTIA COORDINATE GRID SYSTEM.
 5. PROPOSED CONTOURS ARE SHOWN WITH AN INTERVAL OF 0.200m AND 1.0M
 6. ALL DISTURBED AREAS TO BE PERMANENTLY STABILIZED AND FINISHED WITH EITHER GRAVEL, ASPHALT, AND/OR LANDSCAPING, UNLESS OTHERWISE INDICATED.
 7. IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE BUILDER SHALL ADVISE THE DESIGNER IMMEDIATELY.
 8. PROPOSED CONTOURS ARE IN INTERVALS OF 0.5m
 9. ALL RAIN WATER LEADERS DOWN SPOUTS TO DISCHARGE TO SPLASH PADS.
 10. ALL WORK TO BE IN ACCORDANCE WITH HALIFAX REGIONAL MUNICIPALITY AND HALIFAX WATER COMMISSION SPECIFICATIONS.
 11. ALL MEASUREMENTS ARE IN METRIC UNITS OF METRES UNLESS OTHERWISE NOTED.
 12. FOUNDATION WALLS DESIGNED BY OTHERS AS PER SECTION 9 OF THE NATIONAL BUILDING CODE.
 13. RETAINING WALLS OVER 1.0m ARE TO BE DESIGNED BY STRUCTURAL ENGINEER

4			
3			
2			
1	01/12/16	CREATED	
No.	Date	Revision	Description

Seal

ABLE
ENGINEERING SERVICES INC
4073 HIGHWAY 3, CHESTER, NS B0J 1J0
TEL. 902-273-3050 FAX. 902-273-3072
civil@ableinc.ca www.ableinc.ca



HALIFAX REGIONAL MUNICIPALITY
429 COBEQUID ROAD
LOWER SACKVILLE, NOVA SCOTIA
PID: 40300030

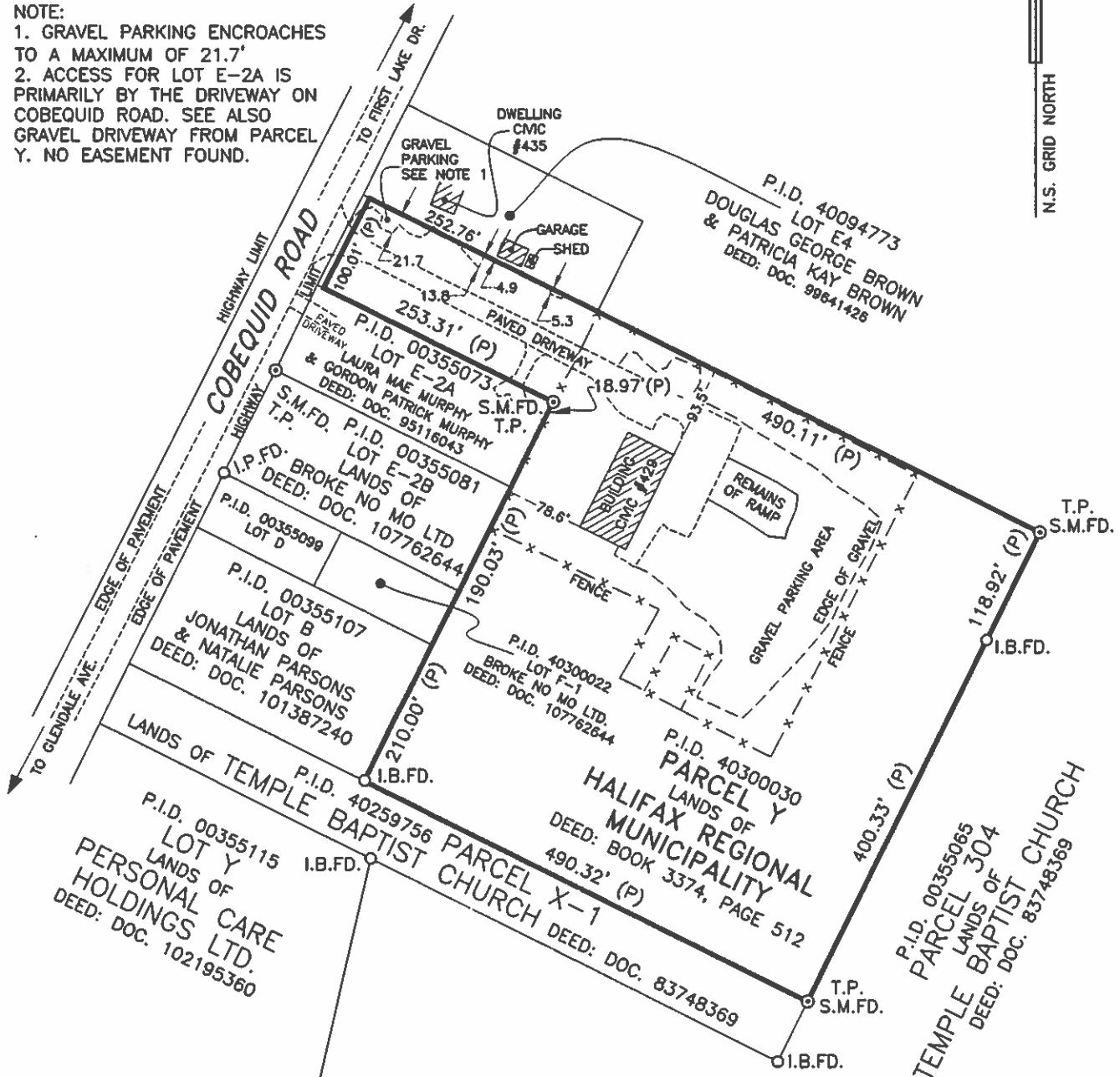
EXISTING SITE PLAN

Date	DECEMBER 01, 2016	Drawn J. KEEPING B. JENKINS-MURRAY	Project No. 161116-03
Scale	1:400	Engineer J.PINHEY	Plan No. C101

SURVEYOR'S LOCATION CERTIFICATE

NOTE:

1. GRAVEL PARKING ENCROACHES TO A MAXIMUM OF 21.7'
2. ACCESS FOR LOT E-2A IS PRIMARILY BY THE DRIVEWAY ON COBEQUID ROAD. SEE ALSO GRAVEL DRIVEWAY FROM PARCEL Y. NO EASEMENT FOUND.



SEE PLAN IN REFERENCE REGARDING LOT X-4.
 LOT X-4 DOES NOT APPEAR IN THE DEED TO HRM IN BOOK 3374, PAGE 512

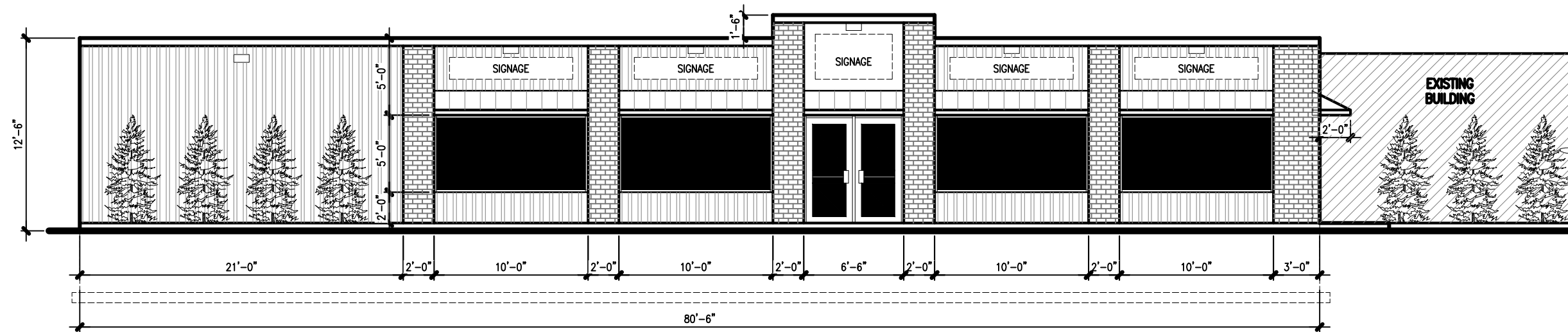
SCALE : 1" = 150'

CERTIFIED TO : CLYDE COOPER,

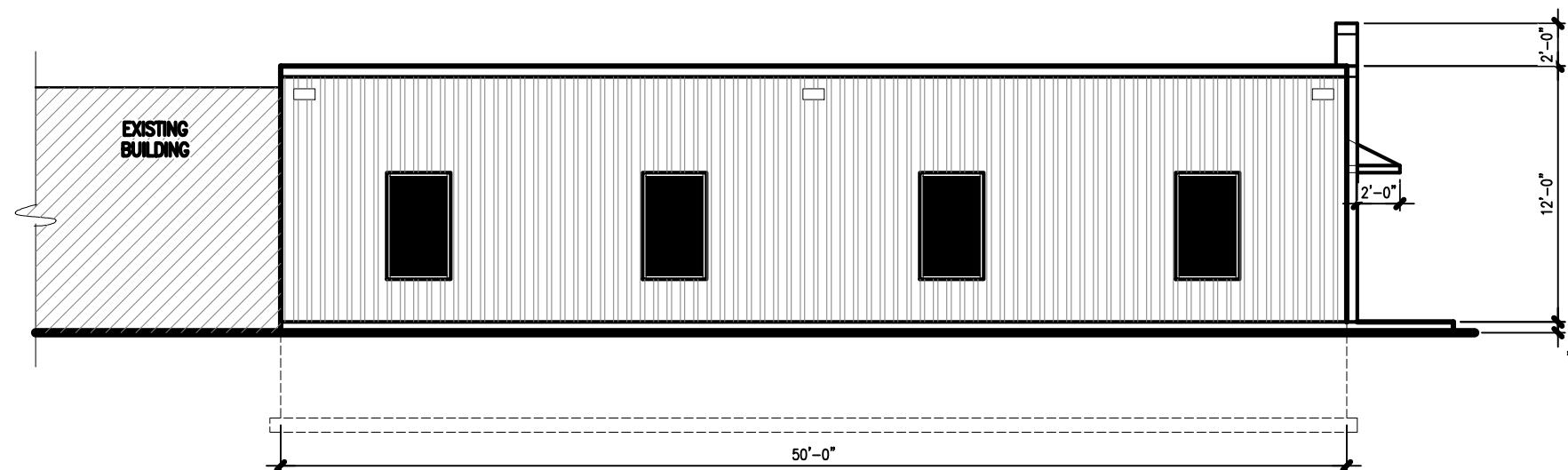
RE : LOCATION OF BUILDING ON PARCEL Y, LANDS OF HALIFAX REGIONAL MUNICIPALITY,
 PROPERTY AT 429 COBEQUID ROAD,
 LOWER SACKVILLE,
 HALIFAX COUNTY, NOVA SCOTIA.
 P.I.D. NO. 40300030

- FD. FOUND
- (D),(P): DEED, PLAN
- ⊙ S.M. SURVEY MARKER
- I.B. IRON BAR
- I.P. IRON PIPE
- (M) MEASURED
- U.P. UTILITY POLE

I, ROBERT C. BECKER, NOVA SCOTIA LAND SURVEYOR, HEREBY CERTIFY THAT THIS SURVEYOR'S LOCATION CERTIFICATE WAS PREPARED UNDER MY SUPERVISION, AND IN ACCORDANCE WITH THE LAND SURVEYORS ACT, REGULATIONS AND STANDARDS MADE THERE UNDER.



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

project name:
**PROPOSED
COMMERCIAL BUILDING**
LOT 521A

drawing name:
**PROPOSED BUILDING
ELEVATIONS**

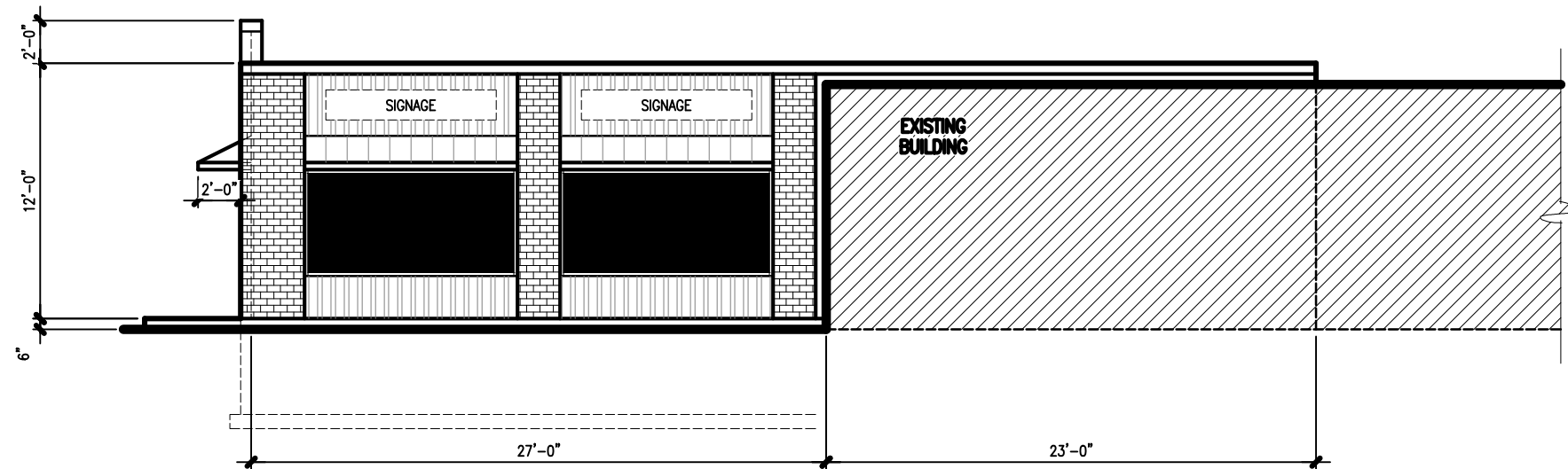
drawn by: CADtech

scale: AS NOTED

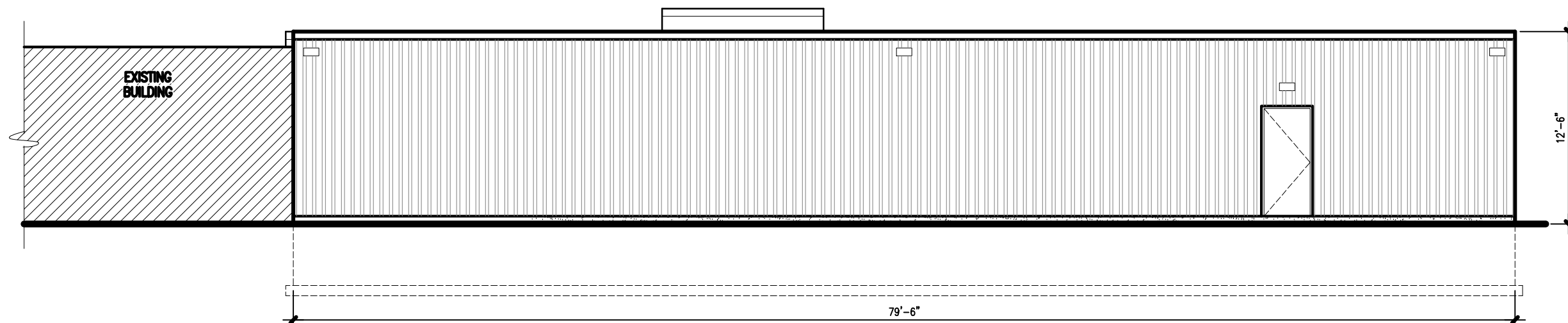
date: FEBRUARY 21, 2017

project no.
2017CP-01

drawing no.
A-1



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

project name:
**PROPOSED
COMMERCIAL BUILDING**
LOT 521A

drawing name:
**PROPOSED BUILDING
ELEVATIONS**

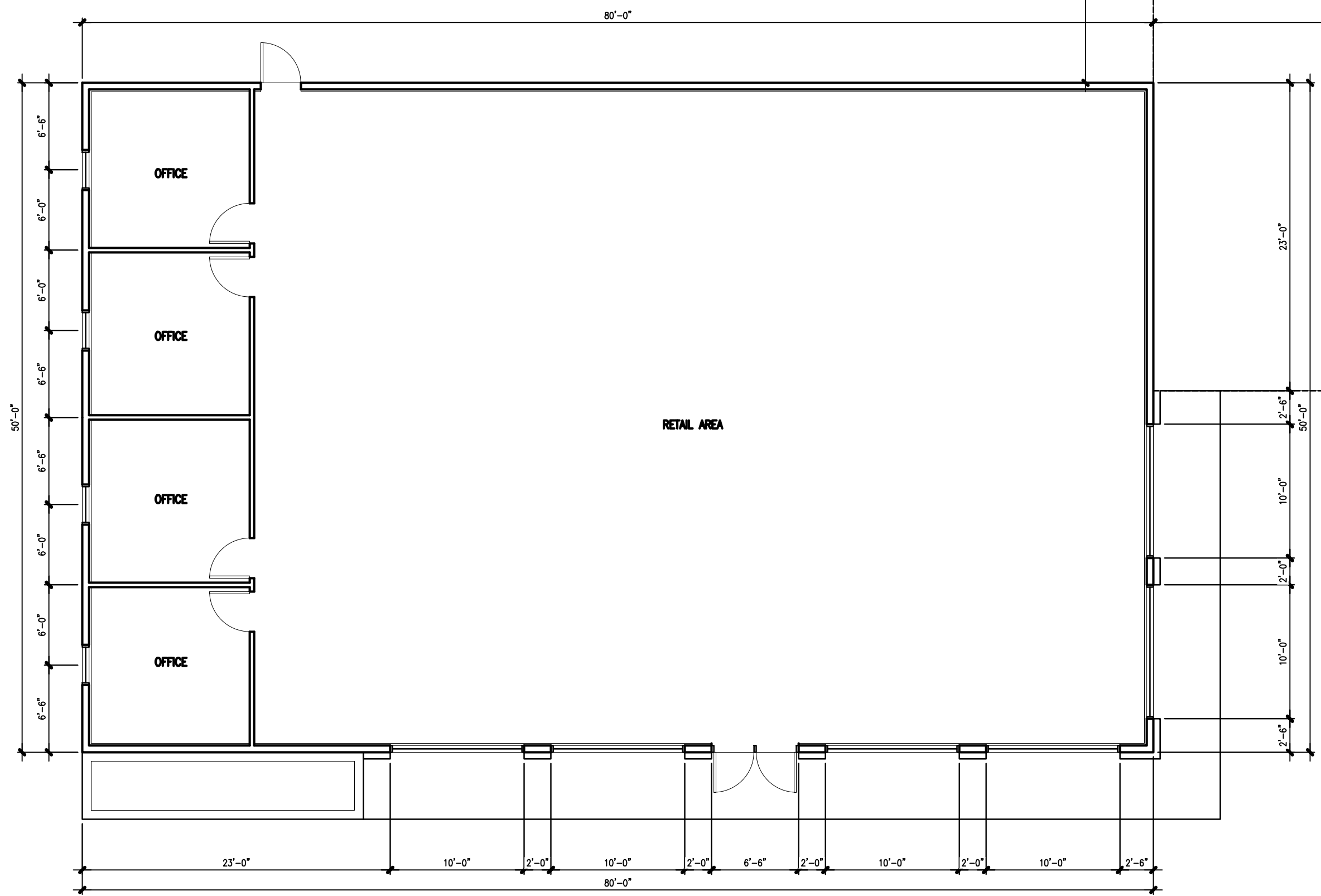
drawn by: CADtech

scale: AS NOTED

date: FEBRUARY 21, 2017

project no.
2017CP-01

drawing no.
A-2



TOTAL BUILDING = 4000 SQ.FT.

PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

project name:
PROPOSED COMMERCIAL BUILDING
LOT 521A

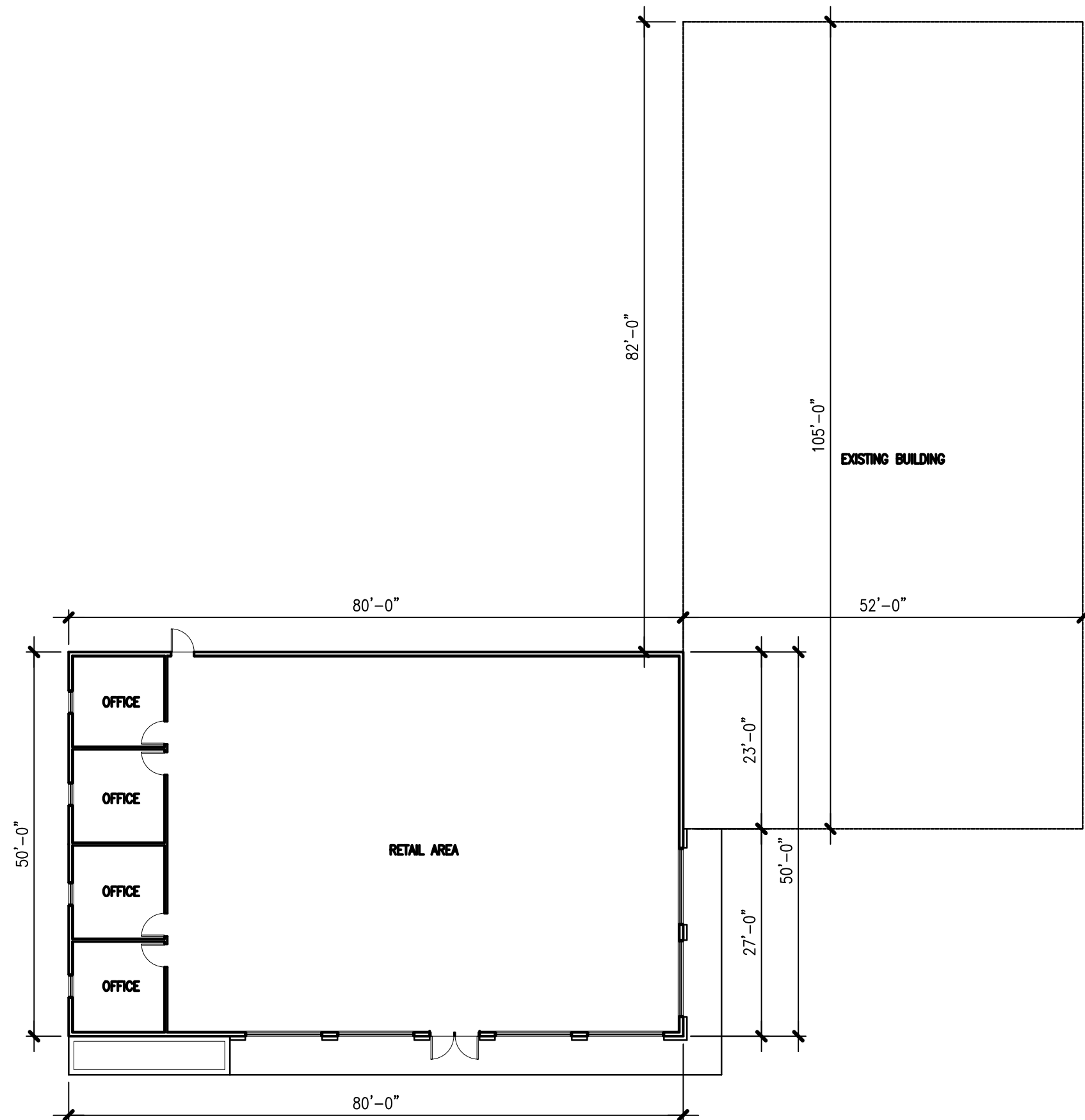
drawing name:
PROPOSED BUILDING FLOOR PLAN

drawn by: CADtech

scale: AS NOTED

date: FEBRUARY 21, 2017

project no. 2017CP-01	drawing no. A-3
---------------------------------	---------------------------



PROPOSED FLOOR PLAN
 SCALE: 1/16" = 1'-0"

project name:
**PROPOSED
 COMMERCIAL BUILDING**
 LOT 521A

drawing name:
**PROPOSED BUILDING
 FLOOR PLAN**

drawn by: CADtech

scale: AS NOTED

date: FEBRUARY 21, 2017

project no.
2017CP-01

drawing no.
A-4

3 February 2017

HTC Project: 172004

Caps Plus
732 Old Sackville Rd
Lower Sackville, NS
B4C 2K3

T. 902.865.4459
E. clyde@capsplus.ca

ATTENTION: CLYDE COOPER

RE: TRAFFIC IMPACT STATEMENT – 429 COBEQUID ROAD

Dear Mr. Cooper,

As per your request, Harbourside Transportation Consultants (HTC) has completed a traffic impact statement (TIS), as per Halifax Regional Municipality (HRM) requirements, for the proposed Caps Plus vehicle accessories and equipment store at 429 Cobequid Road in Lower Sackville, NS. The location of the development is shown in Figure 1.



Figure 1 - Location of the proposed development

The development, shown in Figure 2, is proposing an expansion of 3875 sq. ft. to the existing 5340 sq. ft. building, for a total of 9215 sq. ft. It should be noted that the existing building is currently not in service and does not generate any traffic on Cobequid Road.

The proposed development will maintain the existing driveway access on Cobequid Road. Cobequid Road is classified as a major collector road under HRM's Road Hierarchy Classification. Cobequid Road connects Sackville Drive in Lower Sackville to Rocky Lake Drive in Waverley, and provides access to number of commercial and residential properties. Typical daily volumes for major collector roads in HRM range from 12,000 to 20,000. In the vicinity of the proposed development, Cobequid Road has a two-lane rural cross section and is posted to a speed limit of 50 km/h.

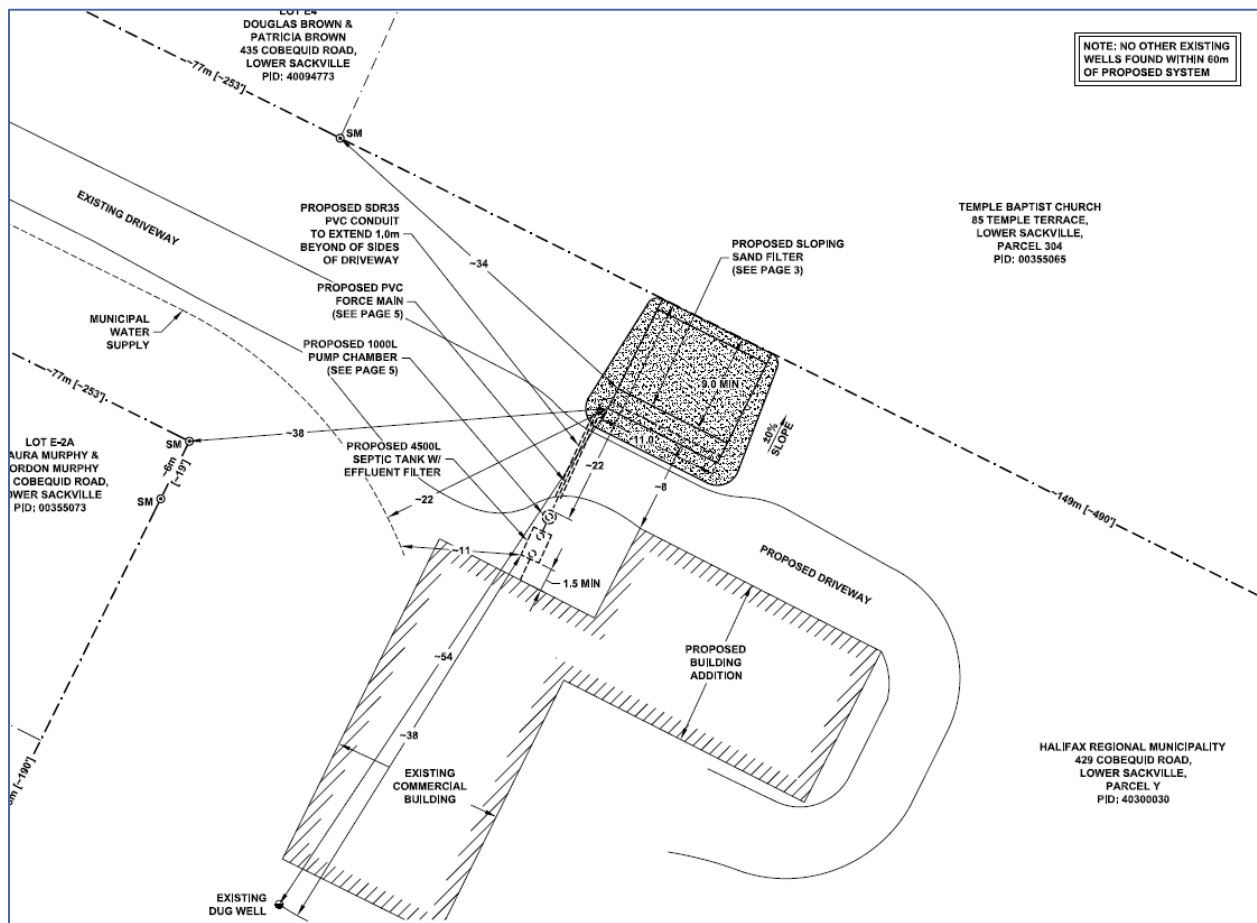


Figure 2 – Development plan

Sight Distance Review

The development is accessed by an existing driveway and there are no plans to modify this access. HRM's Design Guidelines state that the sight distance requirements for a major collector roadway are the turning sight distance requirements as defined by the Transportation Association of Canada's Geometric Design Guide.

For a two-lane roadway posted to a speed of 50 km/h, 100m of sight distance is required for crossing movements and vehicles turning left across vehicles approaching from the left. For turning movements with vehicles approaching in the intended direction of travel, 100m of sight distance is required for vehicles to turn left without being overtaken by a vehicle approaching from the right or to turn right without being overtaken by a vehicle approaching from the left.

HTC reviewed the turning sight distance at the existing driveway. Figure 3 and Figure 4 show the sight distances available in each direction. The required turning sight distance of 100m is met in both directions.



Figure 3 - Sight distance to the left at 429 Cobequid Road driveway



Figure 4 - Sight distance to the right at 429 Cobequid Road driveway

Transit and Pedestrians

The property is serviced by Halifax Transit on Route 82 Millwood, with both stops located within 100m of the driveway. The property is located along the section of the route that provides regular service between the Sackville and Cobequid Terminals. During peak hours, the route extends its service to the Water Street Terminal located downtown Halifax.

There are no pedestrian facilities in place along this section of Cobequid Road, however, there are graveled shoulder on both sides of the road.

Trip Generation

HTC quantified the trip generation rates for the proposed development based on the Institute of Transportation Engineers (ITE) 9th edition of the *Trip Generation Manual*. A single land use code was used to determine the additional trips on the network:

- ‘Automobile Parts Sales’ (Land Use Code 843)

The trip generation rates for both the AM and PM peak hours of adjacent stream traffic are noted below in Table 1. The proposed development is anticipated to generate 20 trips (10 in/10 out) in the AM peak period and 55 trips (27 in/28 out) in the PM peak hour. The site generated traffic will likely follow the existing trip distribution patterns along Cobequid Road in the AM and PM peak hours.

Table 1 – Trip Generation Rates

Use	Number	Unit	1000 sq. ft. GFA * Coverage	ITE Code	AM Peak Rate	AM Peak Trip Gen	AM Peak In	AM Peak Out	PM Peak Rate	PM Peak Rate Gen	PM Peak In	PM Peak Out
Automobile Parts Sales	9,215	DU	9.22	843	2.21	20	10	10	5.98	55	27	28
Future Development Total						20	10	10		55	27	28

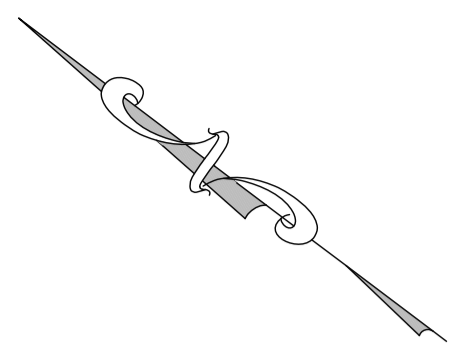
If you have any questions or additional discussion, please feel free to contact the undersigned.

Regards,

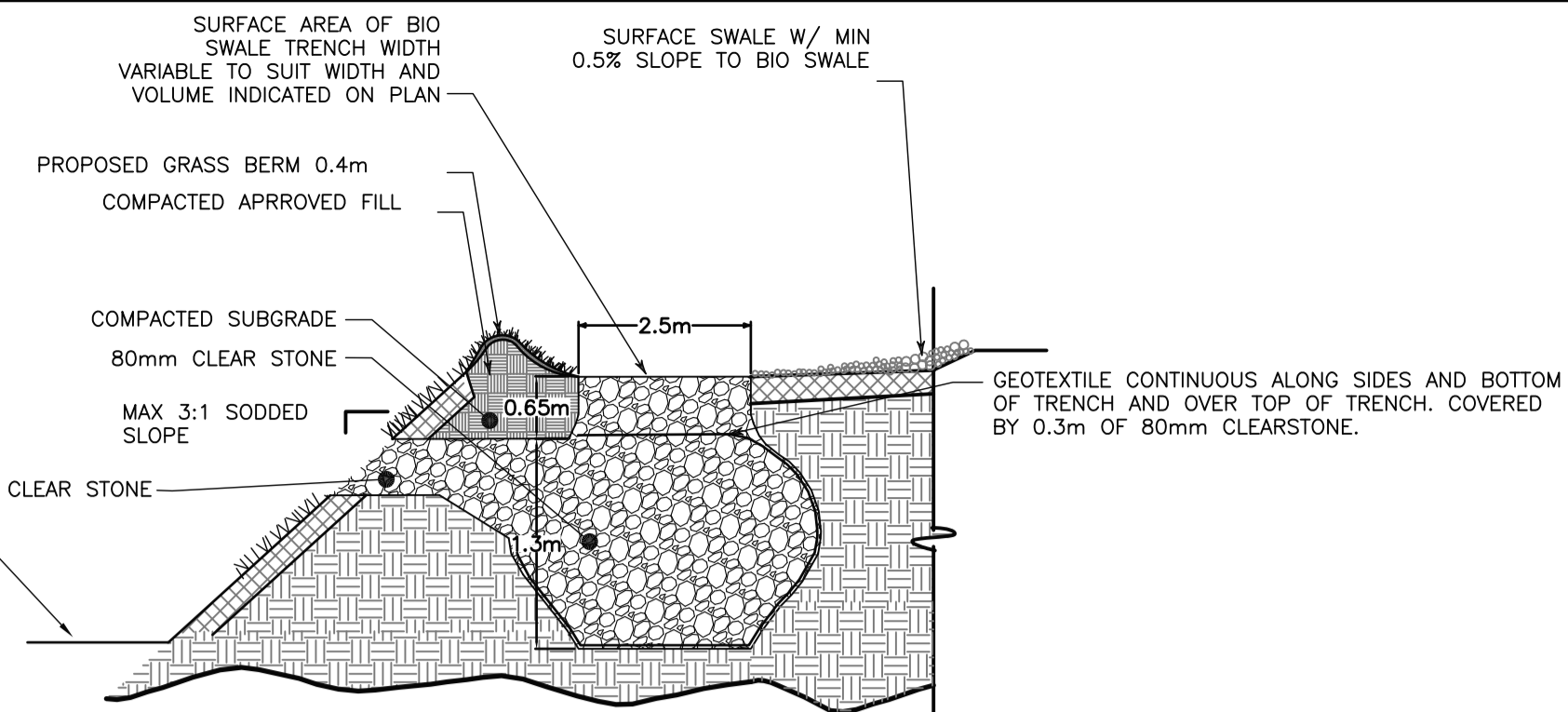
Original Signed

Harbourside Transportation Consultants
 Michael MacDonald, P. Eng.
 Senior Transportation Engineer, Principal

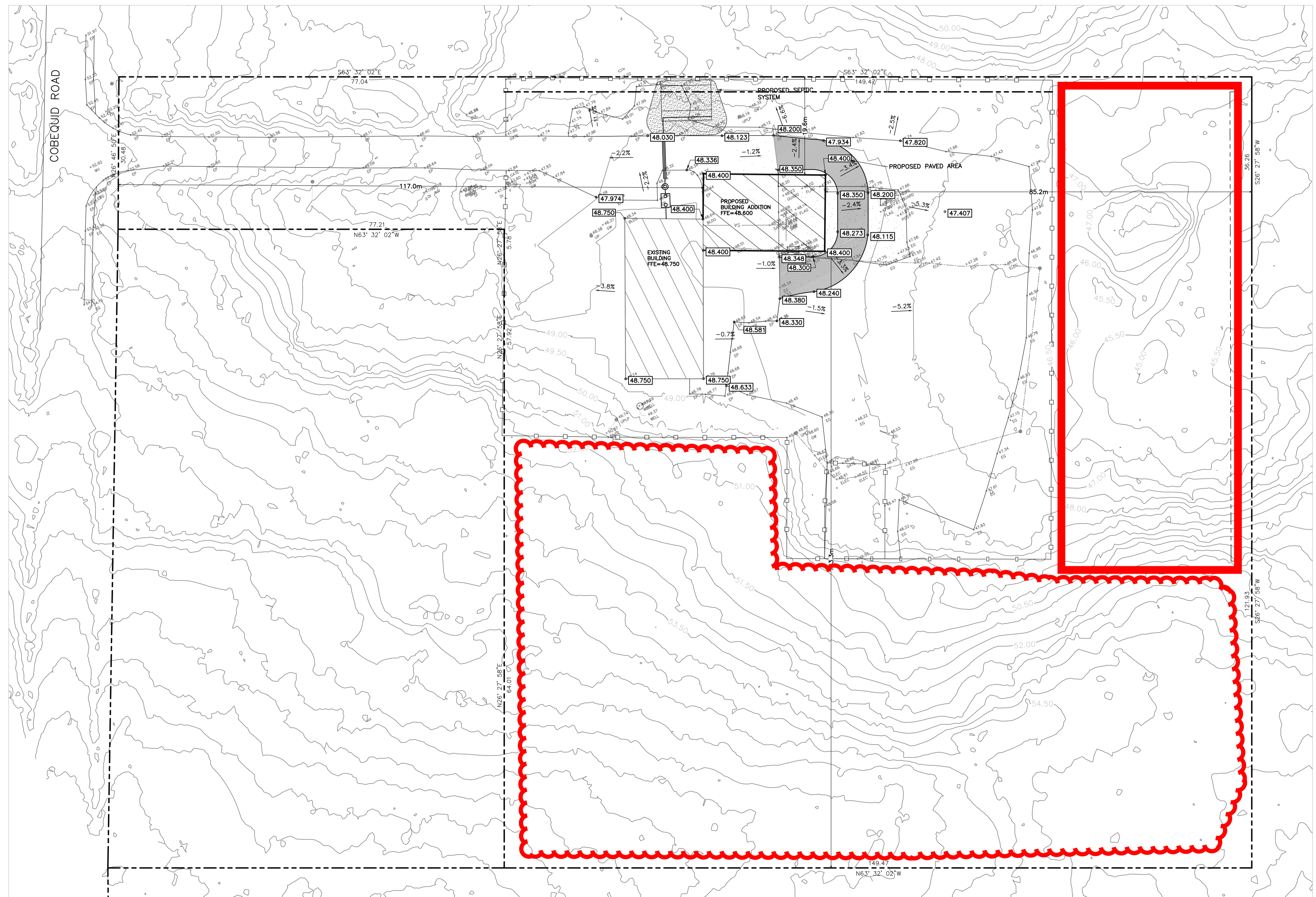




2
102
BIO-SWALE
WITH TRENCH DRAIN AND BERM
NTS



NOTE:
1. SEE GRADING PLAN C-101 FOR PROPOSED GRADE ELEVATIONS
2. ROUND OFF ALL GRADE TRANSITIONS.



KEYPLAN

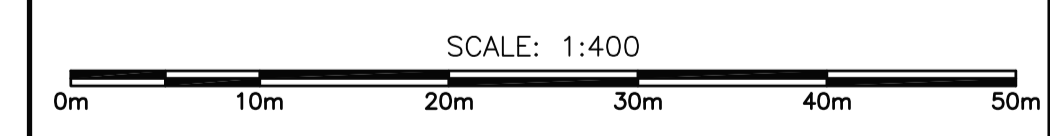
LEGEND

EXISTING		PROPOSED
⊙	GATE/BUTTERFLY VALVE	⊙
▽	STREET SIGN	▽
○/○→	POWER POLE/LIGHT POLE	○/○→
⊙/■	CATCHBASIN	⊙/■
⌋	CULVERT	⌋
158.5	ELEVATION	[346.0]
○	HYDRANT	○
---	PROPERTY BOUNDARY	---
---	OVERHEAD LINE	---
SA-□-SA	SANITARY MANHOLE & PIPE	SA-□-SA
ST-○-ST	STORM MANHOLE & PIPE	ST-○-ST
WM-—-WM	WATERMAIN	WM-—-WM
WM-○-WM	WATER SERVICE	WM-○-WM
FM-—-FM	FORCEMAIN	FM-—-FM
C-—-C	UNDERGROUND CONDUIT	C-—-C
□	CONCRETE THRUST BLOCK	□
---	CURB AND DRIVEWAY CUT	---
---	SIDEWALK	---
---	STREET LINE	---
→	DRAINAGE DIRECTION	→
→	SWALE FLOW	→
346	CONTOUR LINES	346
GAS-—-GAS	GAS LINE	GAS-—-GAS
○	TREE	○
---	BOTTOM OF SLOPE	---
---	TOP OF SLOPE	---
---	GUARD RAIL	---
---	SILT FENCE	---

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 - RETAINING WALLS OVER 1.0m ARE TO BE DESIGNED BY STRUCTURAL ENGINEER

4				
3				
2				
1	01/12/16	CREATED		
No.	Date	Revision	Description	Appr'd

Seal



HALIFAX REGIONAL MUNICIPALITY
429 COBEQUID ROAD
LOWER SACKVILLE, NOVA SCOTIA
PID: 40300030

STORM WATER MANAGEMENT PLAN

Date	FEBRUARY 21, 2017	Drawn J. KEEPING J.HENMAN	Project No. 161116-03
Scale	1:400	Engineer J.PINHEY	Plan No. C102



ABLE ENGINEERING SERVICES INC.
 4073 HIGHWAY #3
 P.O. BOX 959
 CHESTER, NOVA SCOTIA, B0J 1J0
 TEL. 902-273-3050
 FAX. 902-273-3072
 engineering@ableinc.ca

LEGEND

- TREE
- FOUND SURVEY MARKER SET (IRON BAR WITH CAP)
- POLE POWER POLE
- IRON PIPE (OR BAR)
- BOUNDARY LINE
- DITCH LINE..CENTER LINE OF DITCH
- OHWM.....ORDINARY HIGH WATER MARK
- OWM.....ORDINARY WATER MARK
- ROW.....RIGHT OF WAY BOUNDARY

GENERAL NOTES:

- DRAWING UNITS ARE IN METERS.
- PROPERTY BOUNDARIES SHOWN HAVE BEEN DERIVED FROM NSPRD INFORMATION, AERIAL IMAGERY AND SURVEY PLAN BY THOMPSON AND PURCELL SURVEYING LTD. JOB NO. 78J27 DATED 27 OCTOBER 1978.

PROJECT

HALIFAX REGIONAL MUNICIPALITY
 429 COBEQUID ROAD,
 LOWER SACKVILLE
 PID: 40300030

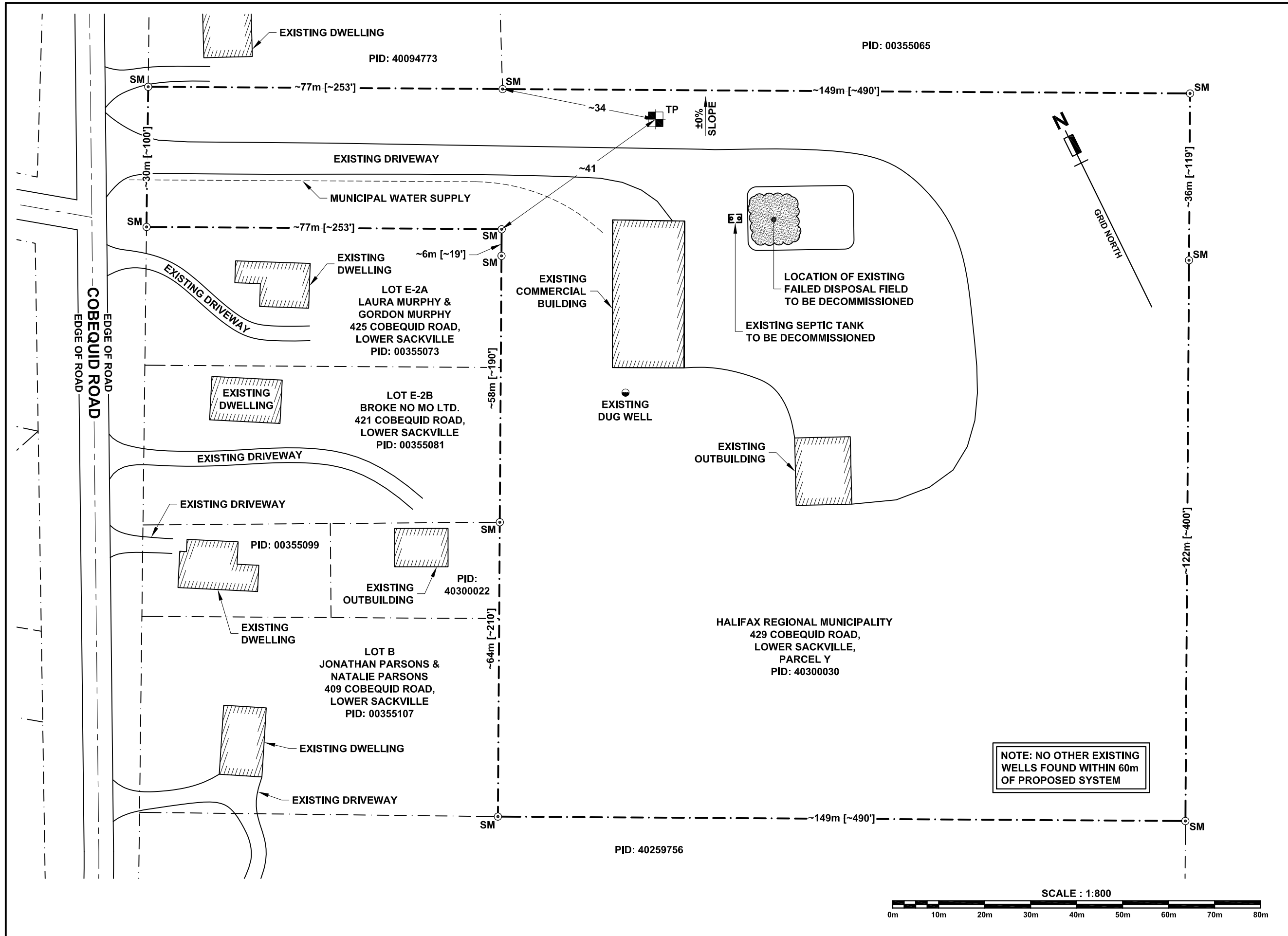
DRAWING

REPLACEMENT ON-SITE SEWAGE DISPOSAL SYSTEM EXISTING PLAN

DESIGNED	A.VEINOTTE
DATE	13DECEMBER2016
DRAWN	M.HARLOW
DATE	13DECEMBER2016
CHECKED	A.VEINOTTE
DATE	13DECEMBER2016
APPROVED	CLYDE COOPER
DATE	13DECEMBER2016



PROJECT NO.	161116-03	REVISION	-
DRAWING NO.	161116-03	SHEET NO.	1 OF 5



NOTE: NO OTHER EXISTING WELLS FOUND WITHIN 60m OF PROPOSED SYSTEM





ABLE ENGINEERING SERVICES INC.
 4073 HIGHWAY #3
 P.O. BOX 959
 CHESTER, NOVA SCOTIA, B0J 1J0
 TEL. 902-273-3050
 FAX. 902-273-3072
 engineering@ableinc.ca

LEGEND

- TREE
- FOUND SURVEY MARKER SET (IRON BAR WITH CAP)
- POWER POLE
- IRON PIPE (OR BAR)

--- BOUNDARY LINE
 - - - - - DITCH LINE..CENTER LINE OF DITCH
 OHWM.....ORDINARY HIGH WATER MARK
 OWM.....ORDINARY WATER MARK
 ROW.....RIGHT OF WAY BOUNDARY

GENERAL NOTES:
 - DRAWING UNITS ARE IN METERS.
 - PROPERTY BOUNDARIES SHOWN HAVE BEEN DERIVED FROM NSPRD INFORMATION, AERIAL IMAGERY AND SURVEY PLAN BY THOMPSON AND PURCELL SURVEYING LTD. JOB NO. 78J27 DATED 27 OCTOBER 1978.

PROJECT
HALIFAX REGIONAL MUNICIPALITY
 429 COBEQUID ROAD,
 LOWER SACKVILLE
 PID: 40300030

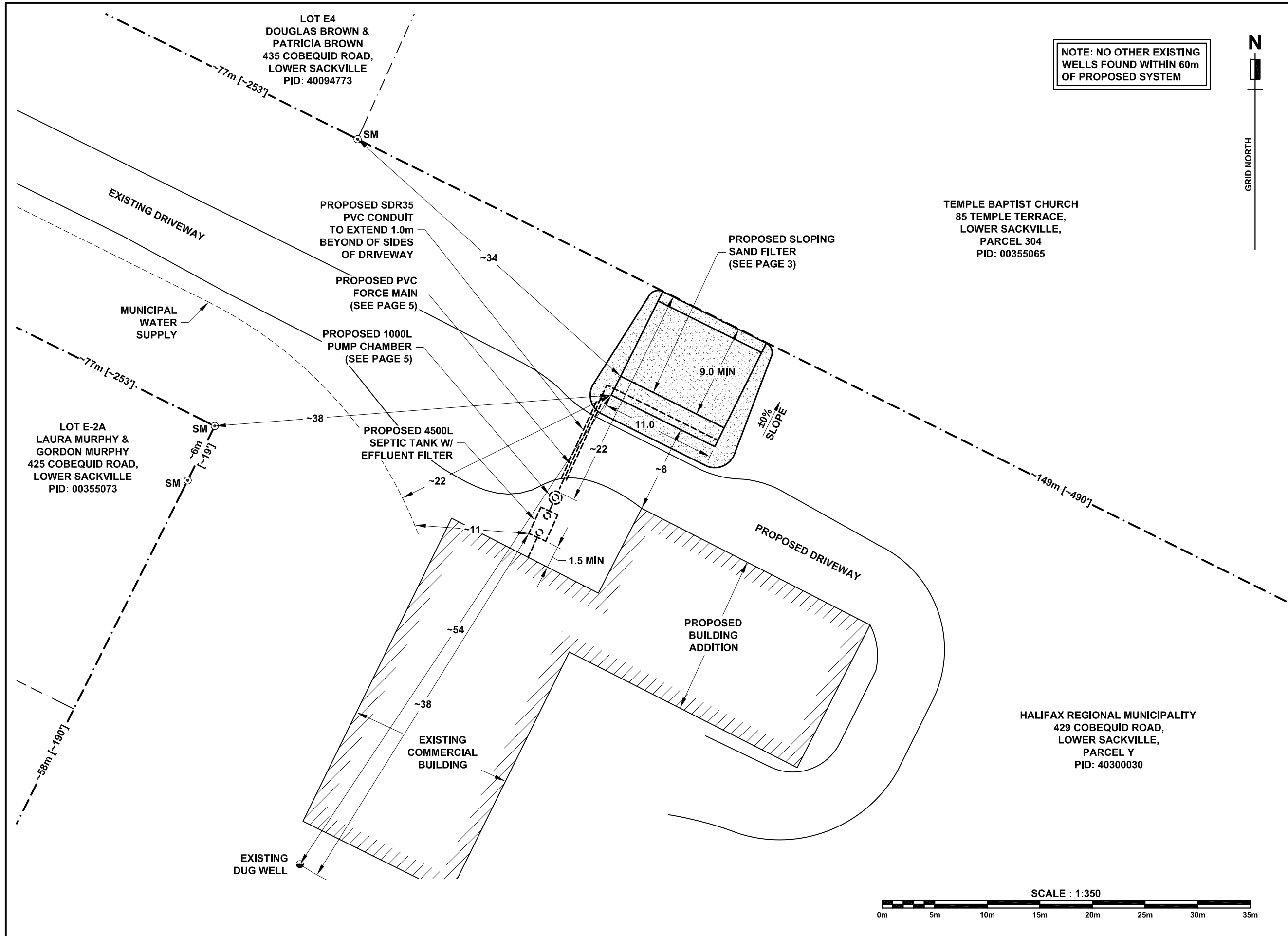
DRAWING
REPLACEMENT
ON-SITE SEWAGE
DISPOSAL SYSTEM
PROPOSED PLAN

DESIGNED	A.VEINOTTE
DATE	13DECEMBER2016
DRAWN	M.HARLOW
DATE	13DECEMBER2016
CHECKED	A.VEINOTTE
DATE	13DECEMBER2016
APPROVED	CLYDE COOPER
DATE	13DECEMBER2016



PROJECT NO.	161116-03	REVISION	-
DRAWING NO.	161116-03	SHEET NO.	2 OF 5

NOTE: NO OTHER EXISTING WELLS FOUND WITHIN 60m OF PROPOSED SYSTEM



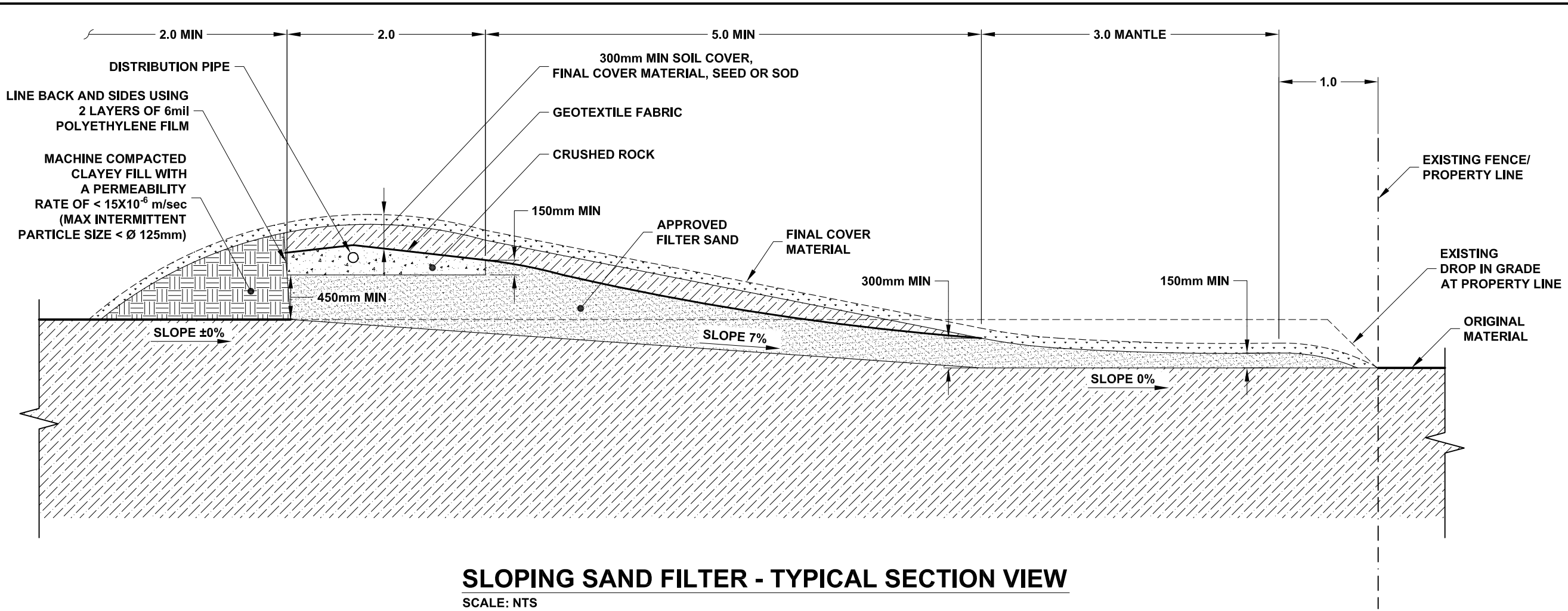
HALIFAX REGIONAL MUNICIPALITY
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LEGEND
 - - - - - BOUNDARY LINE
 DITCH LINE.....CENTER LINE OF DITCH
 OHWM.....ORDINARY HIGH WATER MARK
 OWM.....ORDINARY WATER MARK
 ROW.....RIGHT OF WAY BOUNDARY
 GENERAL NOTES:
 - DRAWING UNITS ARE IN METERS UNLESS OTHERWISE SPECIFIED



SLOPING SAND FILTER - TYPICAL SECTION VIEW
 SCALE: NTS

PROJECT
HALIFAX REGIONAL MUNICIPALITY
 429 COBEQUID ROAD,
 LOWER SACKVILLE
 PID: 40300030

DRAWING **REPLACEMENT ON-SITE SEWAGE DISPOSAL SYSTEM SECTION AND DETAIL**

DESIGNED **A.VEINOTTE**
 DATE **13DECEMBER2016**
 DRAWN **M.HARLOW**
 DATE **13DECEMBER2016**
 CHECKED **A.VEINOTTE**
 DATE **13DECEMBER2016**
 APPROVED **CLYDE COOPER**
 DATE **13DECEMBER2016**



PROJECT NO. **161116-03** REVISION **-**
 DRAWING NO. **161116-03** SHEET NO. **3 OF 5**

GENERAL CONDITIONS

CONTRACTOR SHALL VERIFY LOCATION OF ALL WELLS, WATERCOURSES, LOT BOUNDARIES AND ALL ELEVATIONS PRIOR TO CONSTRUCTION (WITHIN 30.5m FROM THE LOCATION OF DISPOSAL SYSTEM)

STEPS MUST BE TAKEN TO ENSURE THAT THE AREA IS NOT SUBJECT TO VEHICULAR TRAFFIC OF ANY OTHER DISTURBANCE SUCH AS EXCAVATION OR STOCKPILING OF EXCAVATED MATERIAL ETC., INSTALLATION OF A PHYSICAL BARRIER IS RECOMMENDED.

BACKWASH WATER FROM WATER TREATMENT DEVICES MUST NOT BE DISCHARGED TO THE ON-SITE SEWAGE DISPOSAL SYSTEM.

IT IS THE OWNERS RESPONSIBILITY TO ASSURE THAT THE CONSTRUCTION OF FOUNDATIONS, DRIVEWAY, WELL OR ANY OTHER DEVELOPMENT ON THE LOT WILL NOT IMPACT ON THE FEASIBILITY OF ON-SITE SEWAGE DISPOSAL FIELD INSTALLATION.

ROOF, FOUNDATION AND LOT DRAINAGE MUST BE DIRECTED AWAY FROM THE DISPOSAL FIELD, SEPTIC TANK AND PUMP (SIPHON) CHAMBER.

DISPOSAL SYSTEM MUST BE INSTALLED BY A CONTRACTOR LICENSED TO INSTALL ON-SITE SEWAGE DISPOSAL SYSTEMS IN NOVA SCOTIA.

THIS DIAGRAM IS TO BE READ IN COMBINATION WITH DOCUMENTS SUBMITTED WITH THE APPLICATION FOR APPROVAL TO INSTALL THE ON-SITE SYSTEM AND THE ATTACHED SPECIFICATIONS.

ALL WORK MUST BE COMPLETED IN ACCORDANCE WITH THE NOVA SCOTIA ON-SITE SEWAGE DISPOSAL SYSTEMS REGULATIONS. ON-SITE SEWAGE SYSTEMS STANDARD AND CONDITIONS OF THIS APPROVAL.

APPROXIMATE MATERIAL REQUIREMENTS		
5.2 [6.8]	m ³ [yd ³]	CRUSHED ROCK
43.5 [56.9]	m ³ [yd ³]	APPROVED FILTER SAND
11.0 [14.4]	m ³ [yd ³]	LOCAL CLEAN FILL

ALL MATERIAL REQUIREMENT VALUES ARE APPROXIMATE AND DO NOT INCLUDE MATERIAL BEYOND LENGTH OF DISTRIBUTION TRENCH

SELECTION CRITERIA			
FLOW (l/d)	650	AUTHORIZED	CLYDE COOPER
SLOPE	7%	NOTIFICATION / APPROVAL #: EXPIRY DATE:	2016-099283 13DECEMBER2019
SOIL TYPE	FILTER SAND	LOCATION	429 COBEQUID ROAD, LOWER SACKVILLE
SOIL DEPTH	300mm	APPLICANT	ANDRE VEINOTTE P.ENG

DISPOSAL FIELD REQUIREMENTS				
100	mm	FINAL COVER MATERIAL, SEED OR SOD		
200 TO 350	mm	CLEAN LOCAL PERMEABLE BACKFILL		
GEOTEXTILE FABRIC REQUIRED OVER CRUSHED ROCK & FILTER SAND				
75	mm	CRUSHED ROCK OVER PIPE		
50	mm	DISTRIBUTION PIPE DIAMETER		
11.0	m	DISTRIBUTION PIPE LENGTH		
125	mm	CRUSHED ROCK BELOW PIPE		
450	mm	FILTER SAND	PERMEABILITY m/s	5E-4 TO 1E-4
			MINUTES AT 20°C	1.8 TO 10.0

GENERAL SPECIFICATIONS:

- ALL CONSTRUCTION WORK AND INSTALLATION METHODS AND PRACTICES SHALL BE IN ACCORDANCE WITH ALL MANUFACTURERS INSTRUCTIONS, AND THE NSE ON-SITE SEWAGE DISPOSAL SYSTEMS STANDARD OR AS DIRECTED BY THE ENGINEER.
- ALL ELECTRICAL WORK SHALL BE INSTALLED ACCORDING TO ALL APPLICABLE ELECTRICAL CODES AND CARRIED OUT AND CERTIFIED IN WRITING BY A LICENSED ELECTRICIAN.
- PROPERTY BOUNDARIES SHOWN ARE ONLY APPROXIMATE AND SHALL BE VERIFIED ON SITE BY THE CONTRACTOR AS REQUIRED PRIOR TO CONSTRUCTION.
- ANY ERRORS OR OMISSIONS FOUND IN THESE PLANS AND SPECIFICATION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- UNSUITABLE SOIL CONDITIONS ENCOUNTERED DURING CONSTRUCTION MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND ADDITIONAL GRAVEL BEDDING MAY BE REQUIRED.
- ALL STRUCTURES, TANKS, PIPES, MATERIALS AND DEVICES SHALL BE INSTALLED OR AS SHOWN ON THESE PLANS OR AS PER THE ON-SITE SEWAGE DISPOSAL SYSTEMS STANDARD OR AS DIRECTED BY THE ENGINEER.

PIPING:

- ALL BUILDING SEWER GRAVITY PIPE TO BE 100mm DIAMETER PVC SDR 35 (CSA-B137.0-02 OR CSA B-182.1) WITH MINIMUM 2% SLOPE.
- ALL GRAVITY DISTRIBUTION PIPES SHALL HAVE A MINIMUM SLOPE OF 50-100mm PER 30 METERS OF LENGTH, AND CONFORM TO CSA B-182.1 WITH HOLE SPACING AS SHOWN IN DIAGRAM 3D OF NSE ON-SITE SEWAGE DISPOSAL SYSTEMS STANDARD.
- UNLESS OTHERWISE SPECIFIED ALL PRESSURIZED DISTRIBUTION PIPE SHALL HAVE NO SLOPE AND IS TO BE 50mm SOLID PIPE WITH FIELD DRILLED HOLES UNLESS OTHERWISE SPECIFIED.
- UNLESS OTHERWISE SPECIFIED PRESSURIZED DISTRIBUTION PIPE HOLES SHALL BE FIELD DRILLED 11mm DIAMETER AND SPACED AT 1.0m OVER THE LENGTH OF THE PIPE OR AS PROVIDED BY THE ENGINEER.
- ALL PUMP SYSTEMS SHALL BE CONNECTED TO THE DISPOSAL FIELD BY A "SIPHON BREAKER".
- ALL SYSTEMS USING AN "EVENDOSE - LOW PRESSURE MICRO DOSING SYSTEM" SHALL HAVE THE DISTRIBUTION PIPE SLOPE, HOLE SIZES AND SPACING SET AS PER THE MANUFACTURERS INSTRUCTIONS OR AS DIRECTED BY THE ENGINEER.
- ALL PIPE TO PIPE AND PIPE TO STRUCTURE CONNECTIONS TO BE SECURELY FITTED OR GLUED TO PROVIDE A WATERTIGHT SEAL.

BACKFILL MATERIAL AND PROCEDURES:

- NO BACKFILL MATERIAL SHALL BE PLACED ON SITE WITHOUT APPROVAL BY THE ENGINEER.
- CONTRACTOR SHALL PROVIDE THE SOURCE OF BACKFILL MATERIAL IN WRITING PRIOR TO INSTALLING ON SITE.
- STRUCTURAL BACKFILL MATERIAL SHALL BE COMPACTED IN LAYERS OF THICKNESS SPECIFIED BY THE ENGINEER.

SUB-DRAIN AND INTERCEPTOR TRENCH SPECIFICATIONS:

- SWALE DITCH SHALL HAVE MINIMUM 2% SLOPE AND BE CONSTRUCTED TO CREATE POSITIVE DRAINAGE AWAY FROM THE DISPOSAL FIELD.
- SUB-DRAIN PIPE TO BE FLEXIBLE PLASTIC 4" PERFORATED BIG-O OR EQUIVALENT.
- SUB-DRAIN TRENCH DEPTH TO BE DETERMINED BY THE ENGINEER DURING CONSTRUCTION.
- SUB-DRAIN PIPE TO HAVE MINIMUM 2% POSITIVE SLOPE.
- SUB-DRAIN TRENCH TO BE FILLED WITH Ø25mm CLEAR STONE.
- SUB-DRAIN TRENCH TO BE COVERED WITH GEOTEXTILE FABRIC AND EXTENDED DOWN EACH SIDE OF TRENCH TO MIN 300mm DEPTH.

PUMP AND EFFLUENT FORCE MAIN SPECIFICATIONS (WHERE INCLUDED IN SYSTEM DESIGN):

- ALL FORCE MAIN PIPE TO BE CONTINUOUS LENGTH.
- ALL FORCE MAIN PIPE TO HAVE MINIMUM 100mm SAND BEDDING.
- ALL PIPE SHALL HAVE A MINIMUM GROUND COVER OF 450mm.
- PUMP CHAMBER SHALL BE FITTED WITH EFFLUENT PUMP (AS SPECIFIED HEREIN).
- PUMP SHALL BE SET UP TO PROVIDE DOSING VOLUME OF 500LITERS OR AS DIRECTED BY THE ENGINEER.
- PUMP SHALL BE EQUIPPED WITH A HIGH LEVEL ALARM PROVIDING AUDIBLE AND VISUAL ALERT WITHIN THE FACILITY.
- EFFLUENT PUMP IS TO MEET OR EXCEED FLOW SPECIFICATIONS WITH HIGH LEVEL ALARM AS APPROVED BY THE ENGINEER.
- PUMP ELECTRICAL PANEL TO BE RATED FOR THIS APPLICATION AS APPROVED BY THE ENGINEER.
- ELECTRICAL JUNCTION BOX TO BE WATERPROOF AND LOCATED 1.0m ABOVE GROUND, MOUNTED ON 4X4 PT WOOD POST.
- ALL ELECTRICAL WIRING TO BE CONTAINED IN WATERPROOF CONDUIT.
- FORCE MAIN PIPING BURIED UNDER ROADWAYS SHALL BE PROTECTED BY SECONDARY ENCLOSURE TO PREVENT CRUSHING.

EXISTING DISPOSAL FIELD: (IF APPLICABLE)

ALL EXISTING DISPOSAL FIELD MATERIAL SHALL BE DISPOSED OF AS DIRECTED BY THE ENGINEER. EXISTING GROUND MATERIAL SHALL BE EXCAVATED TO A DEPTH AS DIRECTED BY THE ENGINEER. ALL EXISTING DISPOSAL AREA BED MATERIAL SHALL BE REPLACED WITH BACKFILL MATERIAL SPECIFIED HEREIN OR AS APPROVED BY THE ENGINEER.

LAUNDRY FACILITY SPECIFICATIONS:

IT IS RECOMMENDED THAT ALL WASHING MACHINES HAVE A LINT FILTER ATTACHED TO THE OUTLET PIPE AS SPECIFIED HEREIN. LINT FILTER SHALL BE SUPPLIED BY ENVIRONMENTAL ENHANCEMENTS, DARTMOUTH, NOVA SCOTIA. FILTER SHALL BE THE "LINT LUV-R" MODEL. FILTER UNIT SHALL BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS DIRECTLY TO EACH WASHING MACHINE. EQUIVALENT UNITS WILL BE ACCEPTED UPON REVIEW BY THE ENGINEER.

IMPORTED FILTER SAND SPECIFICATIONS:

CONTRACTOR SHALL PROVIDE THE SOURCE OF IMPORTED FILTER SAND AND RECENT PERTINENT PERMEABILITY TEST RESULTS IN WRITING TO THE ENGINEER PRIOR TO SHIPPING ANY MATERIAL. THE ENGINEER RESERVES THE RIGHT TO TEST ALL IMPORTED SAND PRIOR TO INSTALLATION. THE ENGINEER RESERVES THE RIGHT TO TEST ALL IMPORTED SAND AFTER SAND INSTALLATION AND PRIOR TO ANY OTHER WORK. APPROVAL OF IMPORTED SAND WILL BE BASED ON IN-PLACE FIELD TESTS TAKEN AFTER INSTALLATION. ANY SAND INSTALLED WITHOUT PRIOR APPROVAL BY THE ENGINEER MAY NOT BE ACCEPTED AND MAY BE REQUIRED TO BE REMOVED.

SEPTIC TANK/ PUMP CHAMBER:

SEPTIC AND HOLDING TANKS MUST CONFORM TO A STANDARD CAN/CSA-B66-10. ACCEPTABLE MATERIALS ARE REINFORCED CONCRETE, FIBERGLASS OR POLYETHYLENE. CONCRETE MINIMUM STRENGTH: 4000 PSI (28 MPA) AT 28 DAYS. AIR ENTRAINING: 5-7%, STRUCTURAL FIBER REINFORCEMENT. CONSTRUCTION JOINTS TO BE SEALED WITH BUTYL ROPE OR EQUIVALENT. MAXIMUM BURY: 5 FEET (1.5 METERS) ALL TANKS, RISERS, AND COVERS MUST BE WATERTIGHT. ALL TANKS MUST BE ASSEMBLED AND INSTALLED AS PER MANUFACTURERS INSTRUCTIONS. TANKS MUST INCLUDE A WATERTIGHT ACCESS FOR MAINTENANCE, INSPECTION AND PUMP OUT. EFFLUENT FILTERS MUST BE INSTALLED AT EXIT T-HOUSING OF ALL SEPTIC TANKS. WHERE TOP OF TANK IS MORE THAN 300mm BELOW FINISHED GRADE, A RISER MUST BE INSTALLED TO EXTEND WITHIN 300mm OF FINISHED GRADE. ALL TANK STRUCTURES TO HAVE MINIMUM 150mm COMPACTED DEPTH OF 25mm DIA. CRUSHER RUN GRAVEL OR 25mm DIA. CLEAR CRUSHED STONE BEDDING.

TOPSOIL, SEED AND SOD:

ALL DISTURBED GROUND TO BE COVERED WITH TOPSOIL AND SEEDED OR COVERED WITH SOD. SHOULD SEASONAL CONDITIONS PROHIBIT THE PLACEMENT OF SEED OR SOD. ALL DISTURBED GROUND SHALL BE COVERED WITH STRAW OR MULCH OR OTHER MATERIAL TO PREVENT EROSION UNTIL SUCH A TIME THAT SEEDING OR SOD MAY BE PLACED. IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLETE SEEDING OR SODDING WHEN SEASONAL CONDITIONS PERMIT. IT IS RECOMMENDED THAT MULCH OR STRAW BE PLACED AFTER SEEDING TO PROMOTE GROWTH.

INSPECTIONS:

THE ENGINEER MAY INSPECT ALL PHASES OF THE WORK INCLUDING THE FOLLOWING:
 - EXISTING SITE PRIOR TO START OF ANY CONSTRUCTION TO VERIFY LOCATION OF DISPOSAL FIELD.
 - PRIOR TO PLACEMENT OF SAND FILL - AFTER SITE PREPARATION AND GRUBBING.
 - PRIOR TO COVERING DISTRIBUTION PIPE WITH GRAVEL.
 - PUMPED SYSTEMS MUST BE PRESSURE TESTED WITH WATER PRIOR TO COVERING DISPOSAL FIELD.
 - AFTER TOPSOIL INSTALLED.
 - AFTER INTERIM SOIL STABILIZATION.
 - AFTER GRASS HAS ROOTED.
 - FINAL APPROVAL WILL NOT BE GRANTED UNTIL FINISHED GRADE SURFACE HAS BEEN GRADED ACCORDING TO DESIGN AND ALL DISTURBED SOIL STABILIZED WITH GRASS.

SPECIAL NOTES:

- BACKFILL AGAINST FOUNDATION TO BE GRADED TO SLOPE AWAY FROM DISPOSAL FIELD.
- ALL ROOF DRAINS TO DISCHARGE AWAY FROM DISPOSAL FIELD.
- PROPOSED DRIVEWAYS SHOWN ARE FOR REFERENCE ONLY. ACTUAL DRIVEWAY LOCATION IS BY OTHERS, RECEIVING APPROVAL FROM NSTIR AND IN ACCORDANCE WITH ANY AND ALL APPLICABLE PROVENCAL, MUNICIPAL AND LOCAL BYLAWS.



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PROJECT
HALIFAX REGIONAL MUNICIPALITY
429 COBEQUID ROAD,
LOWER SACKVILLE
 PID: 40300030

DRAWING **REPLACEMENT ON-SITE SEWAGE DISPOSAL SYSTEM SPECIFICATIONS**

DESIGNED **A.VEINOTTE**
 DATE **13DECEMBER2016**
 DRAWN **M.HARLOW**
 DATE **13DECEMBER2016**
 CHECKED **A.VEINOTTE**
 DATE **13DECEMBER2016**
 APPROVED **CLYDE COOPER**
 DATE **13DECEMBER2016**



PROJECT NO. 161116-03	REVISION -
DRAWING NO. 161116-03	SHEET NO. 4 OF 5



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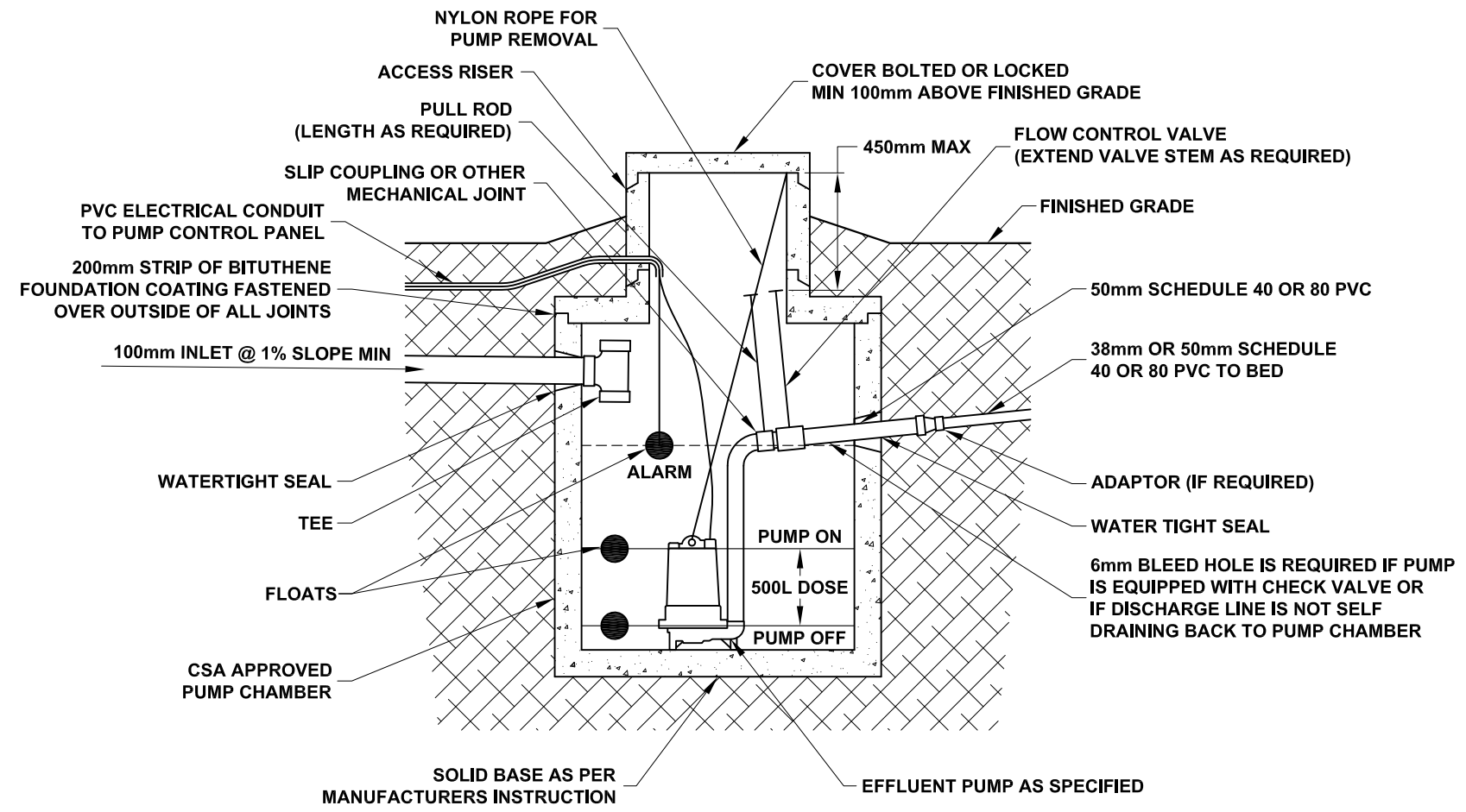
PROJECT
HALIFAX REGIONAL MUNICIPALITY
 429 COBEQUID ROAD,
 LOWER SACKVILLE
 PID: 40300030

DRAWING **REPLACEMENT ON-SITE SEWAGE DISPOSAL SYSTEM PUMP CHAMBER**

DESIGNED	A.VEINOTTE
DATE	13DECEMBER2016
DRAWN	M.HARLOW
DATE	13DECEMBER2016
CHECKED	A.VEINOTTE
DATE	13DECEMBER2016
APPROVED	CLYDE COOPER
DATE	13DECEMBER2016



PROJECT NO.	161116-03	REVISION	-
DRAWING NO.	161116-03	SHEET NO.	5 OF 5



TYPICAL 1000L PUMP CHAMBER
 SCALE: NTS

NOTES

CONTROL PANEL TO BE PLACED IN BUILDING OR WATERTIGHT ENCLOSURE - ALARM AND PUMP ON SEPARATE CIRCUITS.

THE SYSTEM MUST BE ALLOWED TO DRAIN BACK INTO THE PUMP CHAMBER WHEN THE PUMP IS NOT IN OPERATION.

GENERAL CONDITIONS

CONTRACTOR SHALL VERIFY LOCATION OF ALL WELLS, WATERCOURSES, LOT BOUNDARIES AND ALL ELEVATIONS PRIOR TO CONSTRUCTION (WITHIN 30.5m FROM THE LOCATION OF DISPOSAL SYSTEM)

BACKWASH WATER FROM WATER TREATMENT DEVICES MUST NOT BE DISCHARGED TO THE ON-SITE SEWAGE DISPOSAL SYSTEM.

ROOF, FOUNDATION AND LOT DRAINAGE MUST BE DIRECTED AWAY FROM THE DISPOSAL FIELD, SEPTIC TANK AND PUMP (SIPHON) CHAMBER.

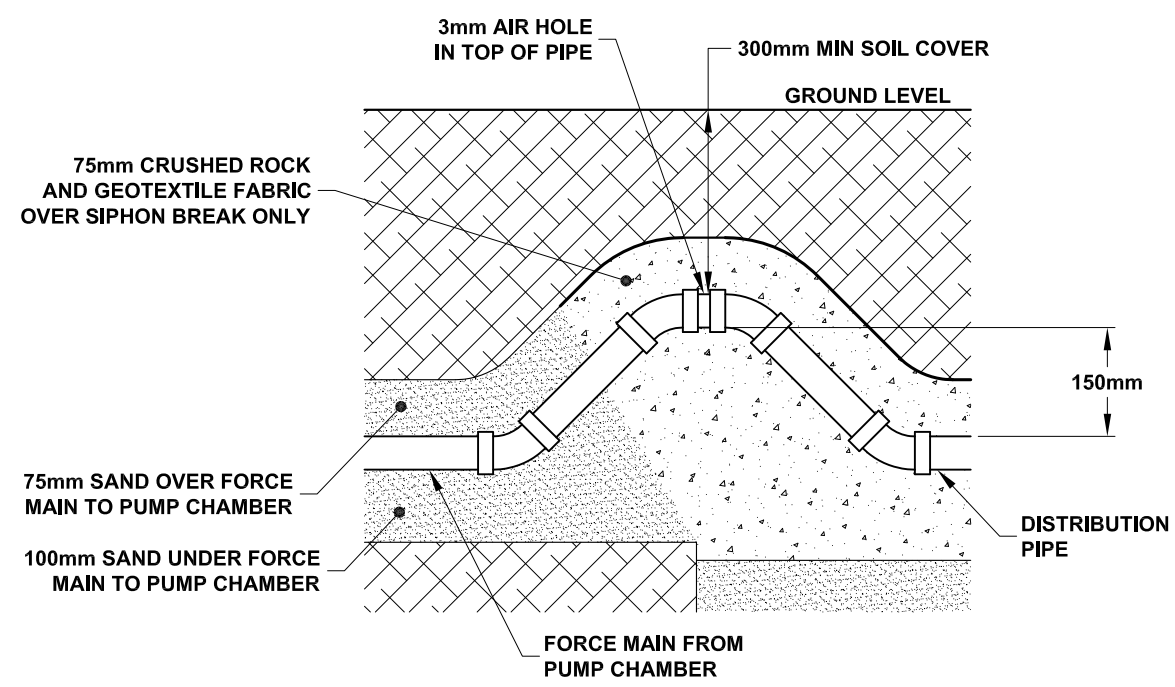
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STEPS MUST BE TAKEN TO ENSURE THAT THE AREA IS NOT SUBJECT TO VEHICULAR TRAFFIC OF ANY OTHER DISTURBANCE SUCH AS EXCAVATION OR STOCKPILING OF EXCAVATED MATERIAL ETC., INSTALLATION OF A PHYSICAL BARRIER IS RECOMMENDED.

IT IS THE OWNERS RESPONSIBILITY TO ASSURE THAT THE CONSTRUCTION OF FOUNDATIONS, DRIVEWAY, WELL OR ANY OTHER DEVELOPMENT ON THE LOT WILL NOT IMPACT ON THE FEASIBILITY OF ON-SITE SEWAGE DISPOSAL FIELD INSTALLATION.

DISPOSAL SYSTEM MUST BE INSTALLED BY A CONTRACTOR LICENSED TO INSTALL ON-SITE SEWAGE DISPOSAL SYSTEMS IN NOVA SCOTIA.

ALL WORK MUST BE COMPLETED IN ACCORDANCE WITH THE NOVA SCOTIA ON-SITE SEWAGE DISPOSAL SYSTEMS REGULATIONS. ON-SITE SEWAGE SYSTEMS STANDARD AND CONDITIONS OF THIS APPROVAL.



TYPICAL FORCE MAIN CONNECTION DETAIL
 SCALE: NTS

SITE PHOTOS









RELEVANT MPS POLICIES

Members of North West Planning Advisory Committee are asked to advise North West Community Council on whether the proposal is consistent with the relevant MPS policies. Staff conducted a preliminary review of the relevant MPS policies below.

UR-24 *Notwithstanding Policies UR-2 and RR-2, within the Urban and Rural Residential Designations, Council may consider permitting community commercial zone uses on properties along the Cobequid Road, between Sackville Drive and First Lake Drive, according to the development agreement provisions of the Planning Act. In considering such agreements, Council shall have regard to the following:*

UR-24 Policy Criteria	Comment
<i>(a) that no proposal shall be considered on lands along the northwest side of Cobequid Road, south of Glendale Drive;</i>	Satisfied. The subject site is located along the eastern side of Cobequid Road and north of Glendale Drive.
<i>(b) that the site has frontage on and direct access to Cobequid Road;</i>	Satisfied. The subject site has 100 ft. of frontage along Cobequid Road and has an existing driveway access from Cobequid Road.
<i>(c) that the height, bulk, lot coverage and appearance of any building is compatible with adjacent land uses;</i>	Satisfied. The existing building is about one and a half storeys. The proposed addition is about the same height as the existing building, is smaller than the existing footprint, and extends toward the rear of the lot. Surrounding residential buildings are generally one and a half to two storeys. The height and massing of the proposed building addition is compatible with the existing building and adjacent residential buildings. Lot coverage is much less than 50% which is the maximum permitted under the P-2 Zone.
<i>(d) that adequate provision is made for buffering and screening from adjacent residential properties;</i>	Satisfied. The existing building is setback considerably from Cobequid Road. Lush natural vegetation separates the existing building from surrounding residential development. The proposed addition is within the rear yard of the property. The existing vegetation is sufficient to screen the addition from adjacent residential development. The development agreement should establish a non-disturbance area to ensure a natural vegetated screen is maintained. Additionally, there is an existing fence to the property which is locked while the property is not in use. The development agreement should also require that any outdoor storage be wholly contained within a fence.
<i>(e) that site design features, including landscaping, signage, parking areas and driveways are of an adequate size and design to address potential impacts on adjacent development and to provide for the needs of users of the development;</i>	Satisfied. There is sufficient natural vegetation to screen the commercial activity from adjacent residential uses. Signage requirements should be provided in the development agreement. Development Engineering have reviewed the application and noted that the site driveway may need to be constructed to HRM commercial standards, which can be done at the permitting stage. A large area toward the back of the property is paved and was used previously for

	parking. Parking for customers will be provided in front of the proposed addition. The number of spaces required shall be according to the provisions of the Sackville Land Use By-law. The store front or main entrance is proposed along the north elevation of the proposed addition. It is setback considerably from Cobequid Road and is perpendicular to the street which reduces its impact and visibility from surrounding residential areas. The building is designed in a way that most of the activity relating to the installation of the automotive accessories would occur toward the rear of the lot, behind the building and proposed addition.
<i>(f) that appropriate controls are established to address environmental concerns, including stormwater runoff;</i>	The development agreement shall include requirements for an erosion and sedimentation plan, a site disturbance plan, and a detailed stormwater management plan prior to the approval of a development or building permit. A site grading and storm water management plan has been submitted with the application and reviewed by the Development Engineer. No issues were identified at this time.
<i>(g) hours of operation;</i>	Hours of operation shall be specified in the development agreement.
<i>(h) maintenance of the development; and</i>	The Developer shall be responsible for all normal maintenance, including maintenance of the fence, buildings, landscaping, and driveways.
<i>(i) the provisions of Policy IM-13.</i>	See below.

IM-13 *In considering amendments to the land use by-law or development agreements, in addition to all other criteria as set out in various policies of this planning strategy, the Sackville Community Council shall have appropriate regard to the following matters:*

IM-13 Policy Criteria	Comment
<i>(a) that the proposal is in conformity with the intent of this planning strategy and with the requirements of all other municipal by-laws and regulations;</i>	Satisfied. Staff have reviewed the proposal in terms of all relevant policy criteria. There is enabling policy to consider the application. Under Policy UR-24, an application for a community commercial use on the subject site can be considered. The proposal is consistent with the intent of the MPS.
<i>(b) that the proposal is not premature or inappropriate by reason of:</i> <i>(i) the financial capability of the Municipality to absorb any costs relating to the development;</i> <i>(ii) the adequacy of sewer and water services;</i> <i>(iii) the adequacy or proximity of school, recreation and other community facilities;</i>	Satisfied. The proposal is not premature or inappropriate by any of the reasons listed.

<p><i>(iv) the adequacy of road networks leading or adjacent to, or within the development; and</i></p> <p><i>(v) the potential for damage to or for destruction of designated historic buildings and sites.</i></p>	
<p><i>(c) that controls are placed on the proposed development so as to reduce conflict with any adjacent or nearby land uses by reason of:</i></p>	<p>The proposed development would be regulated by means of a development agreement, which contains requirements that address the following:</p>
<p><i>(i) type of use;</i></p>	<p>Uses would be limited to the sale and installation of automobile accessories and would be subject to the requirements of the development agreement enabled by Policy UR-24. In addition, uses permitted as-of-right, under the existing P-2 Zone, would be permitted.</p>
<p><i>(ii) height, bulk and lot coverage of any proposed building;</i></p>	<p>See subsection (c) of Policy UR-24.</p>
<p><i>(iii) traffic generation, access to and egress from the site, and parking;</i></p>	<p>HRM Development Engineering have reviewed the traffic impact submitted in support of the application and found it acceptable. The existing driveway may require upgrades to HRM commercial standards prior to the issuance of a development or building permit. Parking requirements shall be as per the Sackville LUB.</p>
<p><i>(iv) open storage;</i></p>	<p>All outdoor storage shall be wholly contained within a fence.</p>
<p><i>(v) signs; and</i></p>	<p>Signage requirements should be provided in the development agreement.</p>
<p><i>(vi) any other relevant matter of planning concern.</i></p>	<p>None identified.</p>
<p><i>(d) that the proposed site is suitable in terms of steepness of grades, soil and geological conditions, locations of watercourses, potable water supplies, marshes or bogs and susceptibility to flooding;</i></p>	<p>No issues have been identified at this time. No watercourses run through the site. The site is within the water service boundary. The development agreement shall include requirements for an erosion and sedimentation plan, a site disturbance plan, and a detailed stormwater management plan prior to the approval of a development or building permit.</p>
<p><i>(e) any other relevant matter of planning concern; and</i></p>	<p>None identified.</p>
<p><i>(f) Within any designation, where a holding zone has been established pursuant to "Infrastructure Charges - Policy IC-6", Subdivision Approval shall be subject to the provisions of the Subdivision By-law respecting the maximum number of lots created per year, except in accordance with the development agreement provisions of the MGA and the "Infrastructure Charges" Policies of this MPS.</i></p>	<p>N/A</p>