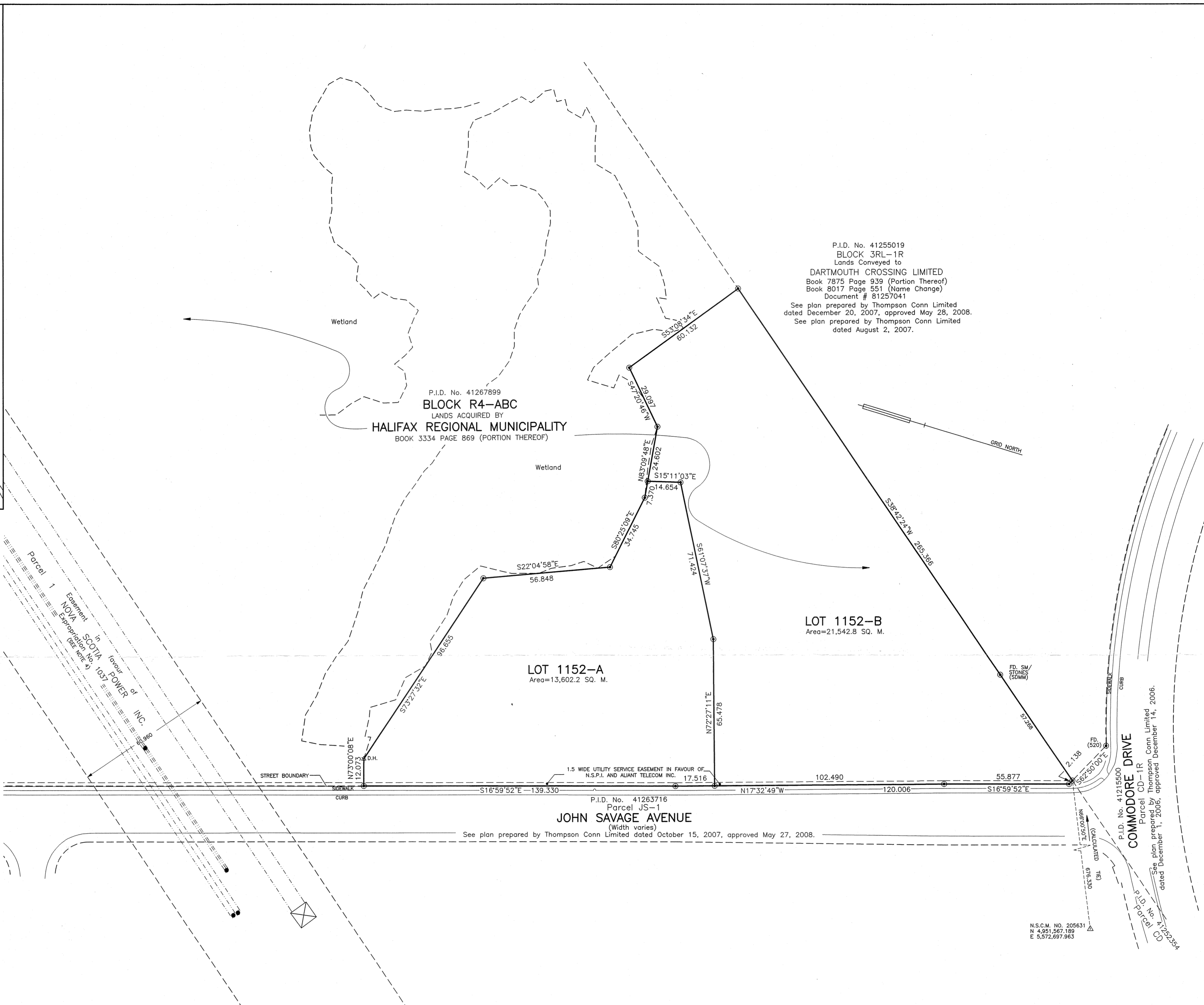


Inset of Remaining Lands Scale : 1:5,000



P.I.D. No. 41255019  
BLOCK 3RL-1R  
Lands Conveyed to  
DARTMOUTH CROSSING LIMITED  
Book 7875 Page 939 (Portion Thereof)  
Book 8017 Page 551 (Name Change)  
Document # 81257041  
See plan prepared by Thompson Conn Limited  
dated December 20, 2007, approved May 28, 2008.  
See plan prepared by Thompson Conn Limited  
dated August 2, 2007.

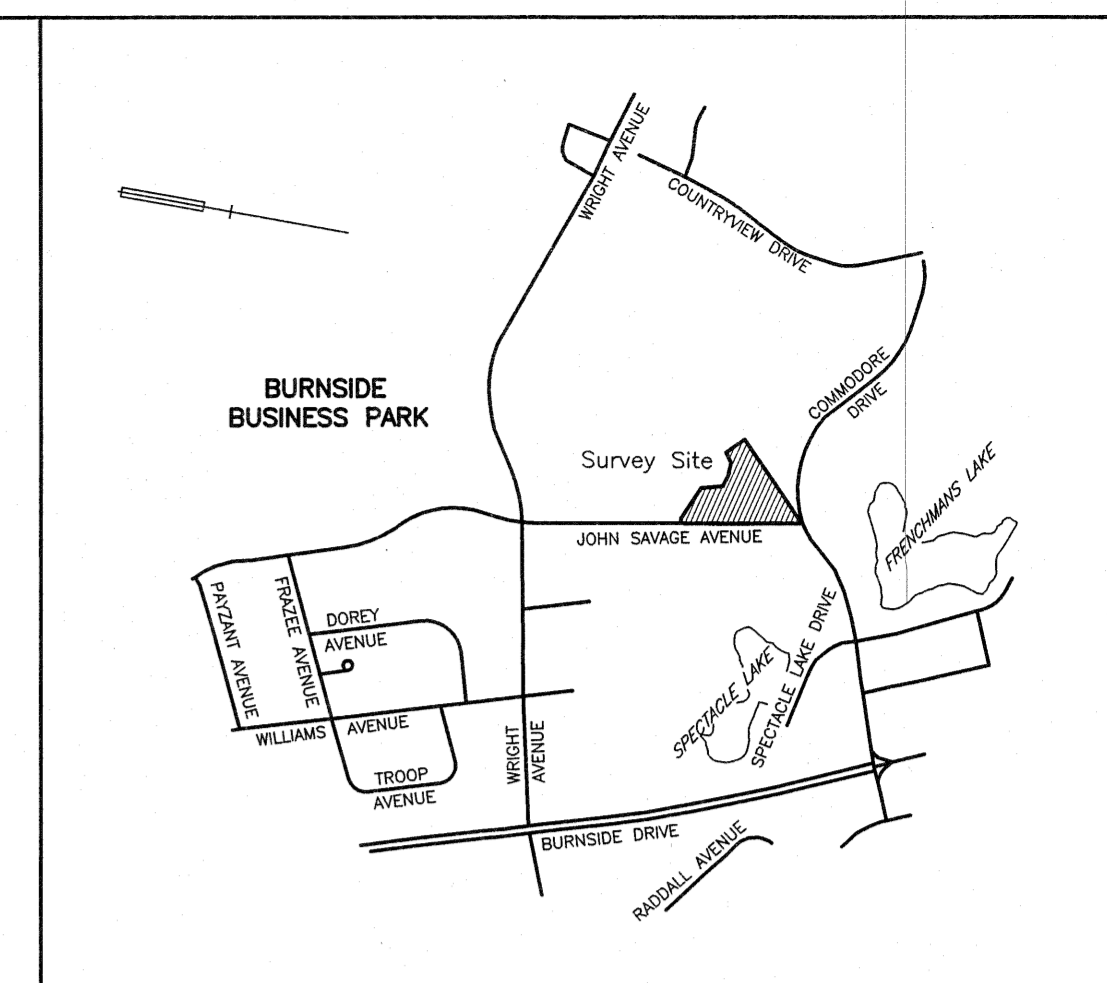
P.I.D. No. 41267899  
BLOCK R4-ABC  
LANDS ACQUIRED BY  
HALIFAX REGIONAL MUNICIPALITY  
BOOK 3334 PAGE 869 (PORTION THEREOF)

LOT 1152-A  
Area=13,602.2 SQ. M.

LOT 1152-B  
Area=21,542.8 SQ. M.

P.I.D. No. 41263716  
Parcel JS-1  
JOHN SAVAGE AVENUE  
(Width varies)

See plan prepared by Thompson Conn Limited dated October 15, 2007, approved May 27, 2008.



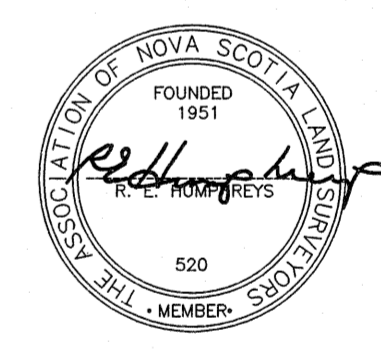
Key Plan Scale : 1:20,000

- LEGEND**
- △ N.S.C.M. Nova Scotia Coordinate Monument
  - Rock Post
  - I.B. Iron Bar
  - I.T. Iron Tube
  - Lands dealt with by this plan
  - FD. Found
  - P.C. Point of Curvature
  - P.C.C. Point of Compound Curvature
  - P.R.C. Point of Reverse Curvature
  - H.R.M. Halifax Regional Municipality
  - L.R.O. Land Registry Office
  - U.P. Utility Pole
  - O/W Overhead Wires
  - △ D.H. Drill Hole

- NOTES**
- 1) Bearings are grid derived from G.P.S. observations on Nova Scotia Coordinate Monument No. 205631 and are on the 3° M.T.M. projection, central meridian at 64° 30' west longitude, Zone 5, 1979 adjustment.
  - 2) The field traverse was unadjusted and no scale factor was applied to the field measurements.
  - 3) The field work was carried out during the period October 3, 2016 to October 11, 2016.
  - 4) See plan prepared by Granville Leopold N.S.L.S. dated July 27, 1984.
  - 5) Wetland Identification and delineation was supplied by CBCL Limited. Refer to Burnside Wetlands Delineation and Constraints Mapping Phase 12, Burnside Business Park dated February 12, 2007, prepared by CBCL Limited. Wetland location conducted by Thompson Conn Limited.

HALIFAX COUNTY LAND REGISTRATION OFFICE  
I certify that this plan was registered or recorded as shown here.  
Kim MacKay, Registrar

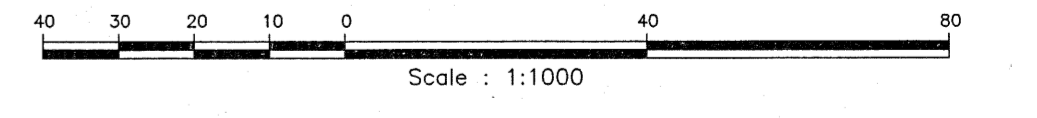
110640381  
DEC 13 2016  
MM DD YYYY  
11:32:07 PM  
Time



Surveyor's Certificate  
I, R. E. Humphreys, Nova Scotia Land Surveyor, hereby certify that the survey represented by this plan was conducted under my supervision and that the survey and plan were made in accordance with the Land Surveyors Act, regulations and standards made thereunder.  
Signed this 12th day of October, 2016.  
*R. E. Humphreys*, N.S.L.S.

PLAN OF SURVEY OF  
LOTS 1152-A and 1152-B  
SUBDIVISION OF BLOCK R4-ABC  
LANDS ACQUIRED BY  
HALIFAX REGIONAL MUNICIPALITY  
BURNSIDE BUSINESS PARK  
JOHN SAVAGE AVENUE and COMMODORE AVENUE  
DARTMOUTH, NOVA SCOTIA

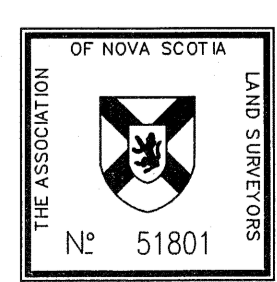
SUBDIVISION FILE NO.  
---20863  
HALIFAX REGIONAL MUNICIPALITY



Date: October 12, 2016

THOMPSON CONN LIMITED  
NOVA SCOTIA LAND SURVEYORS  
HALIFAX-NORTH SYDNEY NOVA SCOTIA

MAP NO. 5N10-80  
P.I.D. NO. 41267899  
FILE NO. 16682



Municipal Approvals  
**HALIFAX REGIONAL MUNICIPALITY**  
THIS FINAL PLAN OF SUBDIVISION  
IS APPROVED FOR  
LOT(S) 1152-A and 1152-B

DATE: DEC 02 2016  
*Trevor Creaser*  
Endorsed by Development Officer  
TREVOR CREASER

**WATERCOURSE ALTERATION & PROVINCIAL PERMITS**  
In the interest of water quality preservation, it is advised that there is a legal requirement under the NS Environment Act and the Activities Designation Regulations to obtain approval from the Dept. of Environment and Labour prior to commencing any work in or around the immediate vicinity of any watercourse, including the bed and shore of every river, stream, lake, creek, pond, spring, lagoon, swamp, marsh, wetland, ravine, gulch or other natural body of water, whether it contains water or not.

**HRM WATERCOURSE BUFFERS & DEVELOPMENT**  
HRM by-laws contain requirements for watercourse buffers relative to adjacent development. Buffers vary in width from a minimum of 20 metres increasing to a maximum of 60 metres, depending on slopes. Activity within buffers is limited and may affect the development of the lots shown on this plan. For specific information concerning watercourse buffer requirements, please contact HRM before applying for construction permits.

**NOTICE**  
An easement in favour of Nova Scotia Power Inc. runs over certain lots approved by this plan. The terms of this easement strictly prohibit the placement of buildings or other obstructions within its limits.

**CENTRAL SERVICES**  
LOT(S) as above  
ARE CAPABLE OF BEING SERVICED  
WITH MUNICIPAL WATER AND SEWER.

SERVICE LATERALS FROM THE MAINS  
TO THE BUILDING SHALL BE THE  
RESPONSIBILITY OF THE OWNER

PUBLIC STREETS  
THE FOLLOWING STREETS ARE OWNED AND  
MAINTAINED BY HALIFAX REGIONAL  
MUNICIPALITY:  
*John Savage Drive*